



## **Service Center Building D 2024 Parking Garage Restoration**

**Bid # 24-03**

**ADDENDUM No. 01**

**March 7, 2024**

Any and all changes to the Contract Document are valid only if they are included by written addendum to all potential respondents, which will be mailed, emailed and/or faxed prior to the proposal due date to all who are known to have received a complete bid document. Each respondent must acknowledge receipt of any addenda by indicating on the Bid Form. Each respondent, by acknowledging receipt of any addenda, is responsible for the contents of the addenda and any changes to the bid proposal therein. Failure to acknowledge receipt of any addenda may cause the proposal to be rejected. If any language or figures contained in this addendum are in conflict with the original document, this addendum shall prevail.

This addendum consists of the following:

1. Addendum Number One (1) is attached and consists of a total of twenty-two (22) pages including this cover sheet. Any changes to the drawings or specifications noted within Addendum Number One (1) will be reflected in subsequent drawing issues.

Please feel free to call (847-866-2971) or email ([johngonzalez@cityofevanston.org](mailto:johngonzalez@cityofevanston.org)) with any questions or comments.

Sincerely,

John Gonzalez  
Purchasing Specialist

# Service Center Building D 2024 Parking Garage Restoration

**Bid # 24-03**

**ADDENDUM No. 01**

**March 7, 2024**

This addendum forms a part of the Specifications and Bid Documents and modifies these documents. This addendum consists of the following:

## **Attachments:**

- Pre-Bid Meeting Attendance Sheet, 2 pages
- Full set of drawings, issued as Addendum No. 1, 9 pages
- Revised Exhibit A Bid Form, 9 pages

## **Clarifications to Questions Received:**

1. Question: Who do we contact for questions regarding the Local Employment Program?  
Response: All questions pertaining to the City of Evanston Local Employment Program (LEP) should be submitted in writing to Jessica Cooper, at [jcooper@cityofevanston.org](mailto:jcooper@cityofevanston.org).
2. Question: Who is responsible for moving the electrical conduit and mechanical ducts that interfere with the work?  
Response: The contractor is responsible for moving the electrical conduit and mechanical ducts as necessary to complete the work identified by the contract documents. Compensation for this work will be made to the contractor through Allowance Number 2. This work must be approved and agreed to in advance by the City of Evanston as described in Allowance Specification Section 01 21 00.

**Note: Acknowledgment of this Addendum is required in the Bid.**



Service Center - Evanston

Attendance

<u>Name</u>	<u>Company</u>	<u>Email</u>
Timothy Lindley	Manson Nicholas, Inc.	tlindley@mansonnicholas.com
Ernesto Esparza	Manson Nicholas	eesparza@mansonnicholas.com
Jeremiah Presley	Bee Line Learning Services	jeremiah@bee-line-services.com
Dan Caron	Blinderman	dcaron@blinderman.com
Bryan Rodriguez	BACR	brodriguez@bulley.com
Danny Jones	Hammer Construction	Danny.Jones@hammer-construction.com



# Service Center Building D 2024 Parking Garage Restoration

Evanston Service Center

2020 Asbury Ave.

Evanston, IL 60201

City of Evanston Project No. 24-03

Client: **City of Evanston**  
 2100 Ridge Avenue  
 Evanston, IL 60201

Engineer: **Wiss, Janney, Elstner Associates, Inc.**  
 330 Pfingsten Road  
 Northbrook, Illinois 60062  
 847.272.7400 tel | 847.291.9599 fax

Consultants

Project

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Mark	Date	Description
▲	3/5/24	Addendum No. 1



Project No. 2020.1793.4  
 Date February 2, 2024  
 Drawn SKA/AHD  
 Checked MJF/FAC  
 Scale As Noted

Sheet Title  
 Sheet No.

Cover Sheet

**S-1**

**INDEX TO DRAWINGS:**

- S-1 COVER SHEET
- S-2 PRECAST FRAMING PLAN
- S-3 UPPER LEVEL ROOF PLAN
- S-4 DOUBLE TEE STEM REPAIR DETAILS
- S-5 CONCRETE AND BEARING PAD REPAIR DETAILS
- S-6 CONCRETE REPAIR DETAILS
- S-7 CONCRETE AND MISCELLANEOUS REPAIR DETAILS
- S-8 WATERPROOFING DETAILS
- S-9 SEALANT AND MASONRY DETAILS

**ABBREVIATIONS:**

- MIN. MINIMUM
- OPP. OPPOSITE
- SIM. SIMILAR
- TYP. TYPICAL
- U.N.O. UNLESS NOTED OTHERWISE

**GENERAL DESCRIPTION AND SCOPE OF WORK:**

THE PARKING GARAGE OF THE EVANSTON SERVICE CENTER IN EVANSTON, ILLINOIS, IS A SINGLE-STORY PRECAST CONCRETE STRUCTURE WITH SLAB-ON-GRADE CONSTRUCTION FOR THE GARAGE FLOOR AND PRESTRESSED DOUBLE-TEE BEAMS WITH A TOPPING SLAB FOR THE ROOF AND PARKING AREA.

THE SCOPE OF WORK FOR THIS PROJECT GENERALLY CONSISTS OF THE FOLLOWING ITEMS:

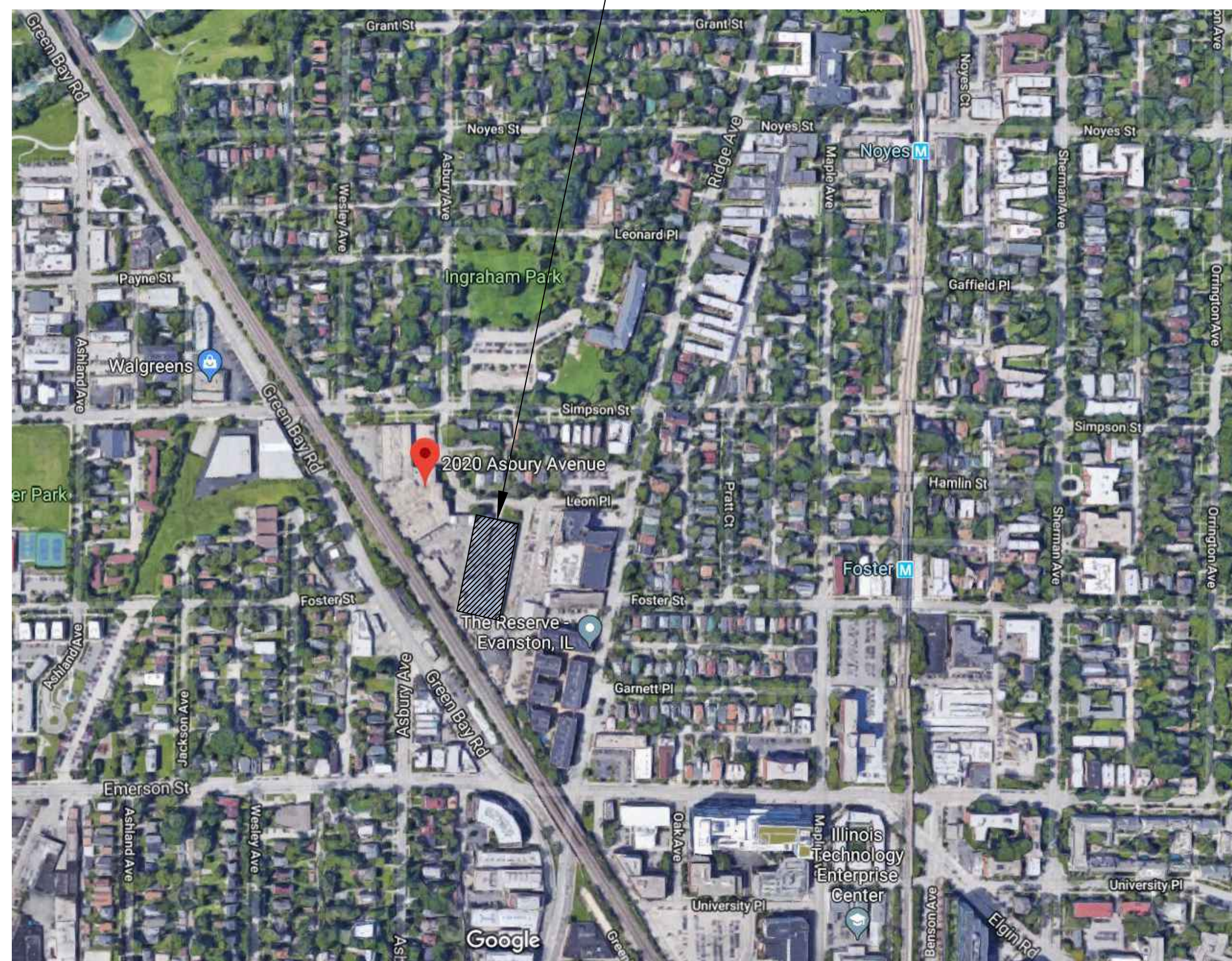
1. CONCRETE REPAIRS IN SELECT AREAS:
  - A. ROOF DECK TOPPING SLAB
  - B. DOUBLE TEE BEAM STEMS
  - C. DOUBLE TEE BEAM FLANGES
  - D. INVERTED TEE GIRDERS
  - E. COLUMNS (BASES AND NEAR TOP OF COLUMNS)
  - F. WALL PANELS (TOP SURFACES AND BASES)
  - G. HOLLOW CORE PLANK ROOF STRUCTURE AT SOUTH END STORAGE ROOMS
  - H. SLABS-ON-GRADE AND CURBS
2. INSTALLATION OF TRAFFIC-BEARING WATERPROOFING MEMBRANE IN SELECT AREAS OF THE ROOF DECK
3. DOUBLE TEE BEAM STEM MODIFICATION TO EXTEND BEARING LENGTH
4. DOUBLE TEE BEAM BEARING PAD REPLACEMENT
5. BRICK REPLACEMENT
6. POINTING OF CRACKED JOINTS IN BRICK VENEER AND CONCRETE MASONRY UNIT (CMU) WALLS
7. WALL SEALANT REPLACEMENT
8. REMOVAL OF TIMBER BUMPERS AND INSTALLATION OF NEW BUMPERS MOUNTED IN KIND TO PARAPET WALL

ADDITIONAL WORK ITEMS AND DETAILED DESCRIPTION OF WORK ARE CONTAINED IN SECTION 01 01 00 - SUMMARY OF WORK AND SECTION 01 27 00 - UNIT PRICES IN THE PROJECT MANUAL. COORDINATE THESE DRAWINGS WITH THE SPECIFICATIONS AND BID DOCUMENTS FOR THIS PROJECT, CITY OF EVANSTON PROJECT NO. 24-03.

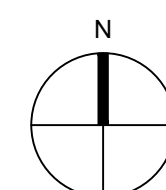
**USE OF PREMISES:**

1. ACCESS TO THE RAMP AND ROOF PARKING AREA MUST BE MAINTAINED AT ALL TIMES.
2. AT LEAST ONE LANE OF THE RAMP MUST REMAIN OPEN AT ALL TIMES.
3. THRU BAY ACCESS INSIDE THE FACILITY MUST BE MAINTAINED IN EACH BAY.
4. CONTRACTOR TO PROTECT ALL SHORING FROM MOVING VEHICLES WITH TEMPORARY JERSEY BARRIERS OR SIMILAR.
5. AN OPTION TO WORK ON SATURDAY WHEN THE FACILITY WILL BE LESS CONGESTED WILL BE CONSIDERED.
6. GENERALLY HEAVY TRAFFIC OF SERVICE VEHICLES FROM THE FACILITY OCCURS BETWEEN 6 AM AND 8 AM MONDAY THRU FRIDAY.
7. SITE STORAGE OF MATERIALS MUST BE COORDINATED WITH SITE. APPROXIMATELY 500 SQUARE FEET OF STORAGE SPACE CAN BE PROVIDED AT THE DISCRETION OF THE CITY OF EVANSTON.

**PROJECT LOCATION**



**1 SITE LOCATION PLAN**  
 SCALE: NTS





Consultants

Project

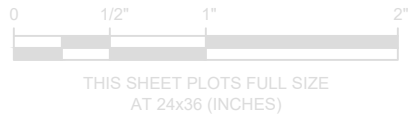
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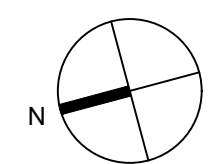
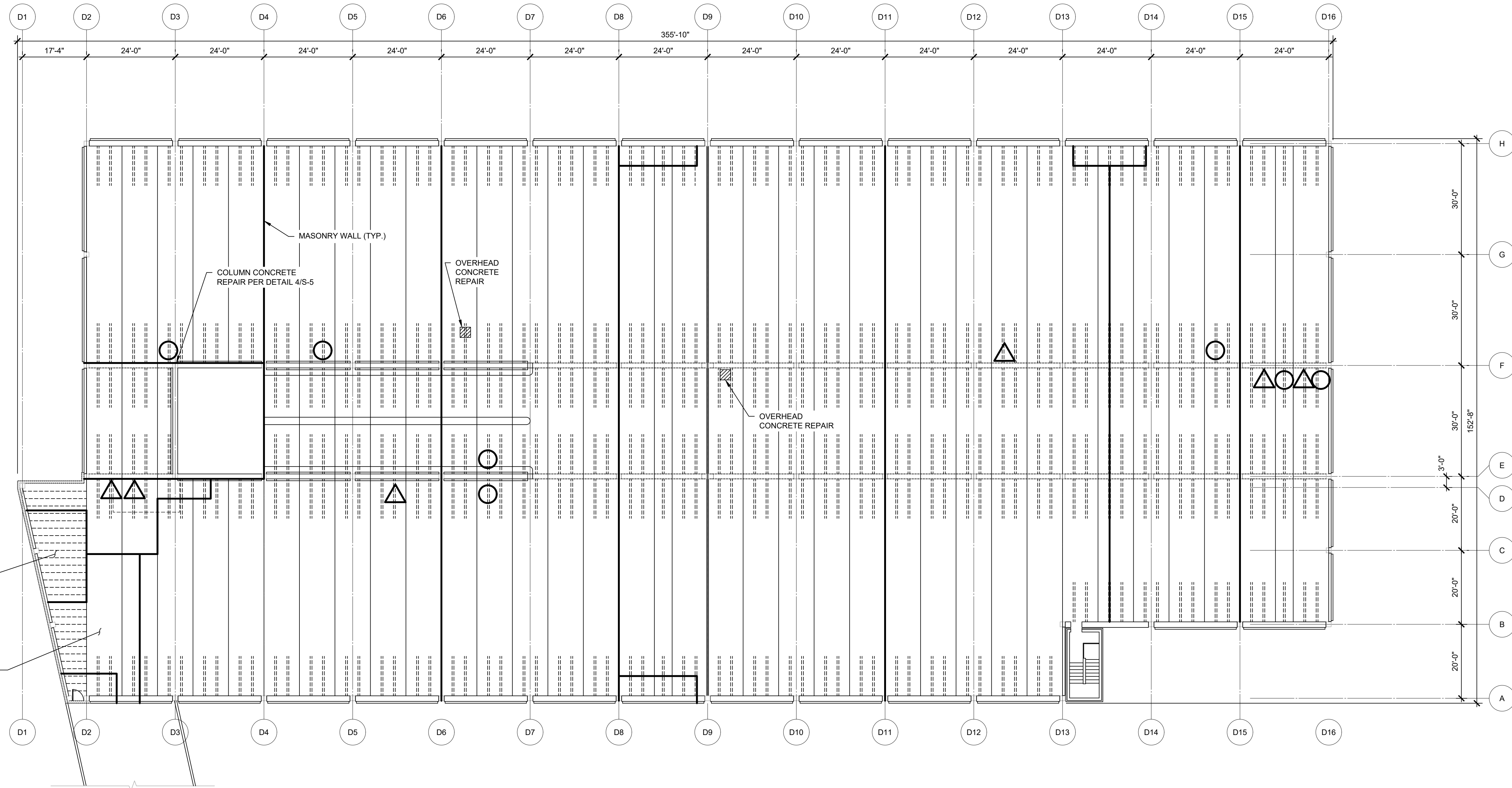
Checked MJF/FAC

Scale As Noted

**Precast Framing Plan**

Sheet Title

Sheet No.



**1 Service Center D Building - Precast Framing Plan**

SCALE: 1/16" = 1'-0"

**NOTES:**

- SOUND VERTICAL AND OVERHEAD SURFACES AT ALL LOCATIONS OF CRACKING, SPALLING, DELAMINATION, AND STAINING AND MARK ALL UNSOUND AREAS FOR VERIFICATION BY ENGINEER PRIOR TO REPAIR.
- PERFORM DOUBLE TEE BEARING PAD REPLACEMENT AND ASSOCIATED JACKING PER DETAIL 5/S-5 AND UNIT PRICE BID ITEM B-1 AT LOCATIONS DESIGNATED ON THE PLAN.
- PERFORM DOUBLE TEE STEM REPAIRS PER DETAILS ON SHEET S-4 AND UNIT PRICE BID ITEM B-2 AT LOCATIONS DESIGNATED ON THE PLAN.
- PERFORM OVERHEAD CONCRETE REPAIRS AT UNSOUND LOCATIONS IDENTIFIED ON DECK UNDERSIDE PER DETAIL 3/S-5 AND UNIT PRICE BID ITEM B-3.
- PERFORM FULL DEPTH REPAIRS TO DOUBLE TEE FLANGE PLUS TOPPING SLAB AT UNSOUND LOCATIONS IDENTIFIED BY THE ENGINEER PER DETAIL 2/S-5 AND UNIT PRICE BID ITEM B-4.
- PERFORM VERTICAL REPAIRS AT UNSOUND LOCATIONS IDENTIFIED ON COLUMN, BEAM AND WALL SURFACES PER DETAIL 4/S-5 PER BID AND UNIT PRICING LIST BID ITEM B-6.
- PROVIDE PROTECTION OF THE EQUIPMENT WITHIN THE ELECTRICAL SWITCHGEAR ROOM IN ACCORDANCE WITH SPECIFICATION SECTION 01 50 00 FOR ALL WORK WITHIN AND ABOVE THIS ROOM.
- NO STRUCTURAL WORK WITHIN OR ABOVE COMED VAULT WITHOUT COORDINATION WITH COMED AND CITY OF EVANSTON REPRESENTATIVE. SEE SPECIFICATION SECTION 01 50 00.
- VERIFY ALL REPAIR LOCATIONS IN THE FIELD.

**LEGEND**

- LOCATION TO PERFORM DOUBLE TEE JACKING AND BEARING PAD REPLACEMENT PER DETAIL 5/S-5. WORK TO BE PERFORMED UNDER BASE BID ITEM B-1. (7 LOCATIONS)
- ▲ LOCATION TO PERFORM DOUBLE TEE STEM REPAIR PER DETAILS ON SHEET S-4. WORK TO BE PERFORMED UNDER BASE BID ITEM B-2. (6 LOCATIONS)

DOUBLE TEE JACKING AND BEARING PAD REPLACEMENT LOCATIONS	DOUBLE TEE STEM REPAIR LOCATIONS
EE1/5	WE4/3
WE5/3	EE11/2
W15/3	WE1/2
EE3/4	WE1/3
E114/5	E114/4
E114/3	E114/2
EE13/4	

NOTE: THE NUMBERING IS FOR REFERENCE ONLY. THE NUMBERING IS MARKED ON THE SIDE OF THE DOUBLE TEE STEMS IN THE FIELD.

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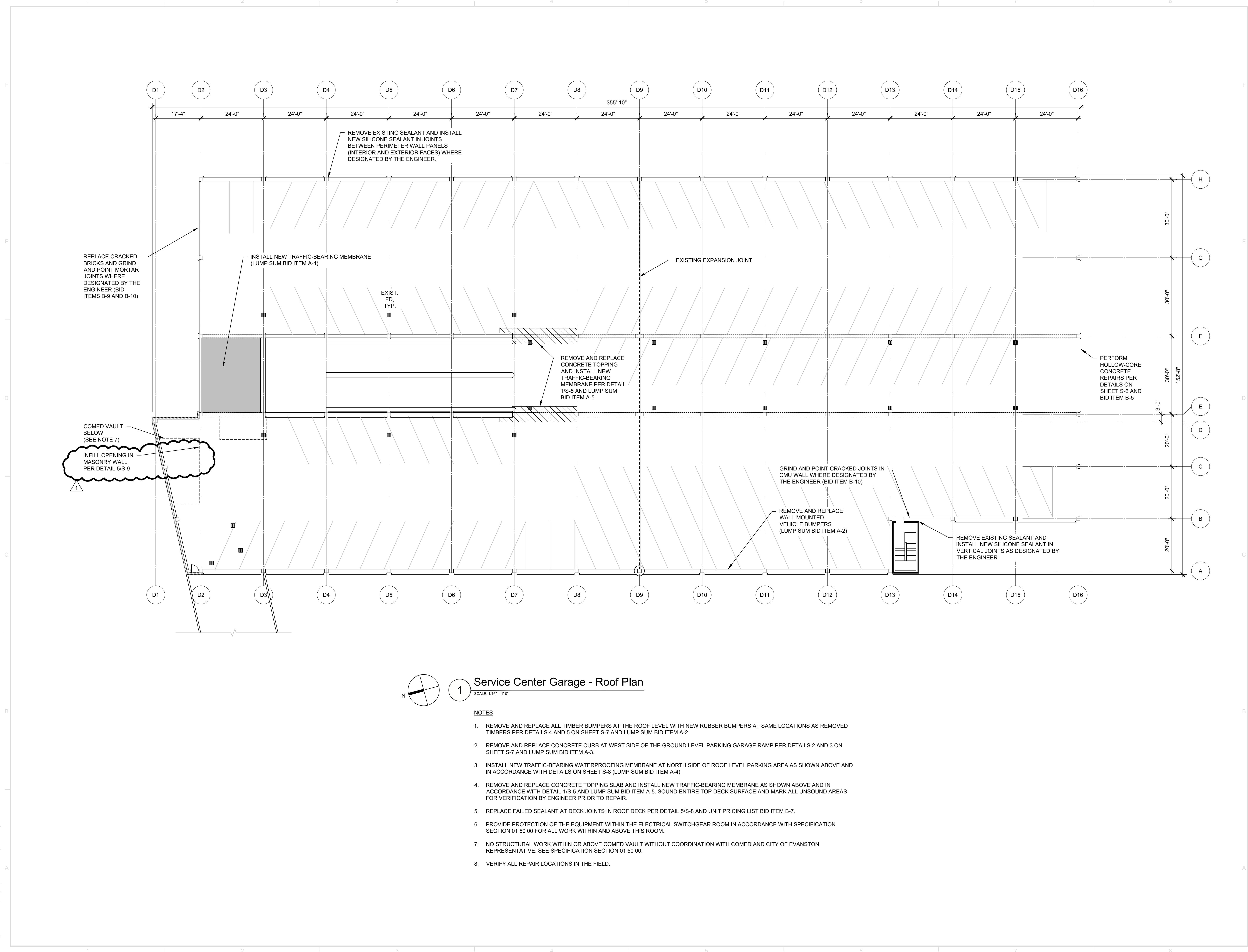
Scale **As Noted**

**Upper Level Roof Plan**  
 Sheet Title

Sheet No.

**S-3**

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**1 Service Center Garage - Roof Plan**  
 SCALE: 1/16" = 1'-0"

**NOTES**

- REMOVE AND REPLACE ALL TIMBER BUMPERS AT THE ROOF LEVEL WITH NEW RUBBER BUMPERS AT SAME LOCATIONS AS REMOVED TIMBERS PER DETAILS 4 AND 5 ON SHEET S-7 AND LUMP SUM BID ITEM A-2.
- REMOVE AND REPLACE CONCRETE CURB AT WEST SIDE OF THE GROUND LEVEL PARKING GARAGE RAMP PER DETAILS 2 AND 3 ON SHEET S-7 AND LUMP SUM BID ITEM A-3.
- INSTALL NEW TRAFFIC-BEARING WATERPROOFING MEMBRANE AT NORTH SIDE OF ROOF LEVEL PARKING AREA AS SHOWN ABOVE AND IN ACCORDANCE WITH DETAILS ON SHEET S-8 (LUMP SUM BID ITEM A-4).
- REMOVE AND REPLACE CONCRETE TOPPING SLAB AND INSTALL NEW TRAFFIC-BEARING MEMBRANE AS SHOWN ABOVE AND IN ACCORDANCE WITH DETAIL 1/S-5 AND LUMP SUM BID ITEM A-5. SOUND ENTIRE TOP DECK SURFACE AND MARK ALL UNSOUND AREAS FOR VERIFICATION BY ENGINEER PRIOR TO REPAIR.
- REPLACE FAILED SEALANT AT DECK JOINTS IN ROOF DECK PER DETAIL 5/S-8 AND UNIT PRICING LIST BID ITEM B-7.
- PROVIDE PROTECTION OF THE EQUIPMENT WITHIN THE ELECTRICAL SWITCHGEAR ROOM IN ACCORDANCE WITH SPECIFICATION SECTION 01 50 00 FOR ALL WORK WITHIN AND ABOVE THIS ROOM.
- NO STRUCTURAL WORK WITHIN OR ABOVE COMED VAULT WITHOUT COORDINATION WITH COMED AND CITY OF EVANSTON REPRESENTATIVE. SEE SPECIFICATION SECTION 01 50 00.
- VERIFY ALL REPAIR LOCATIONS IN THE FIELD.



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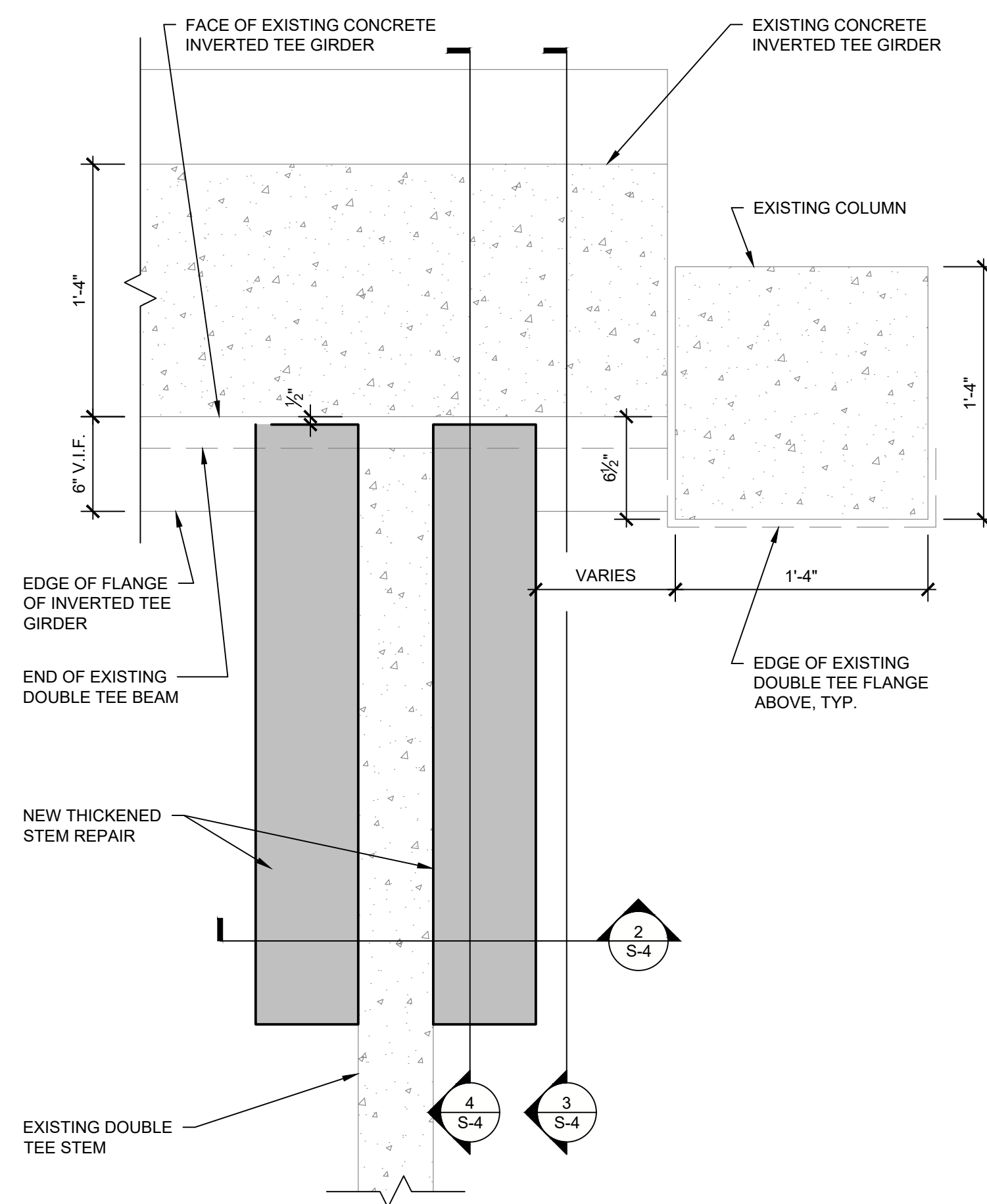
THIS SHEET PLOTS FULL SIZE AT 24x36 (INCHES)

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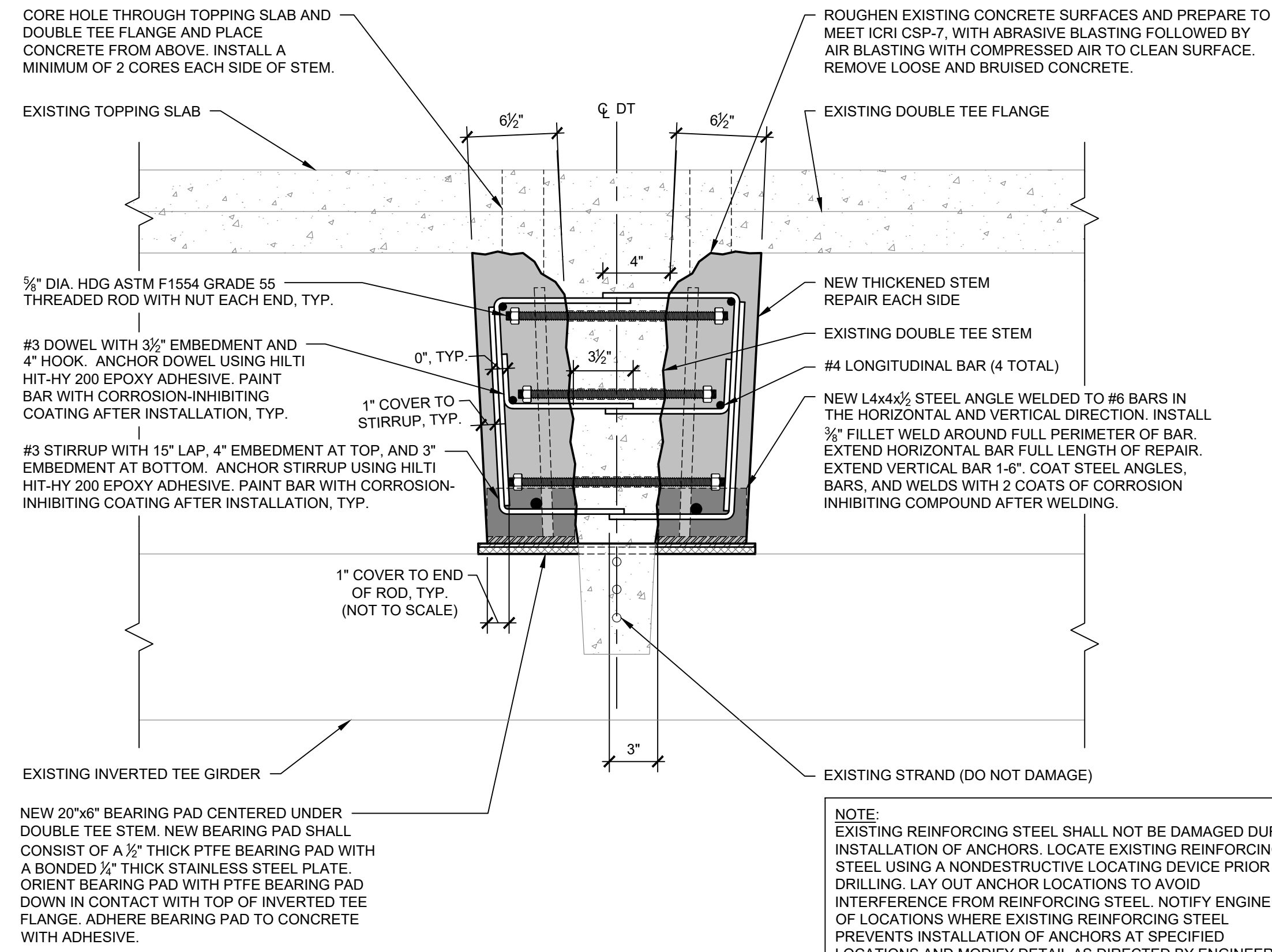
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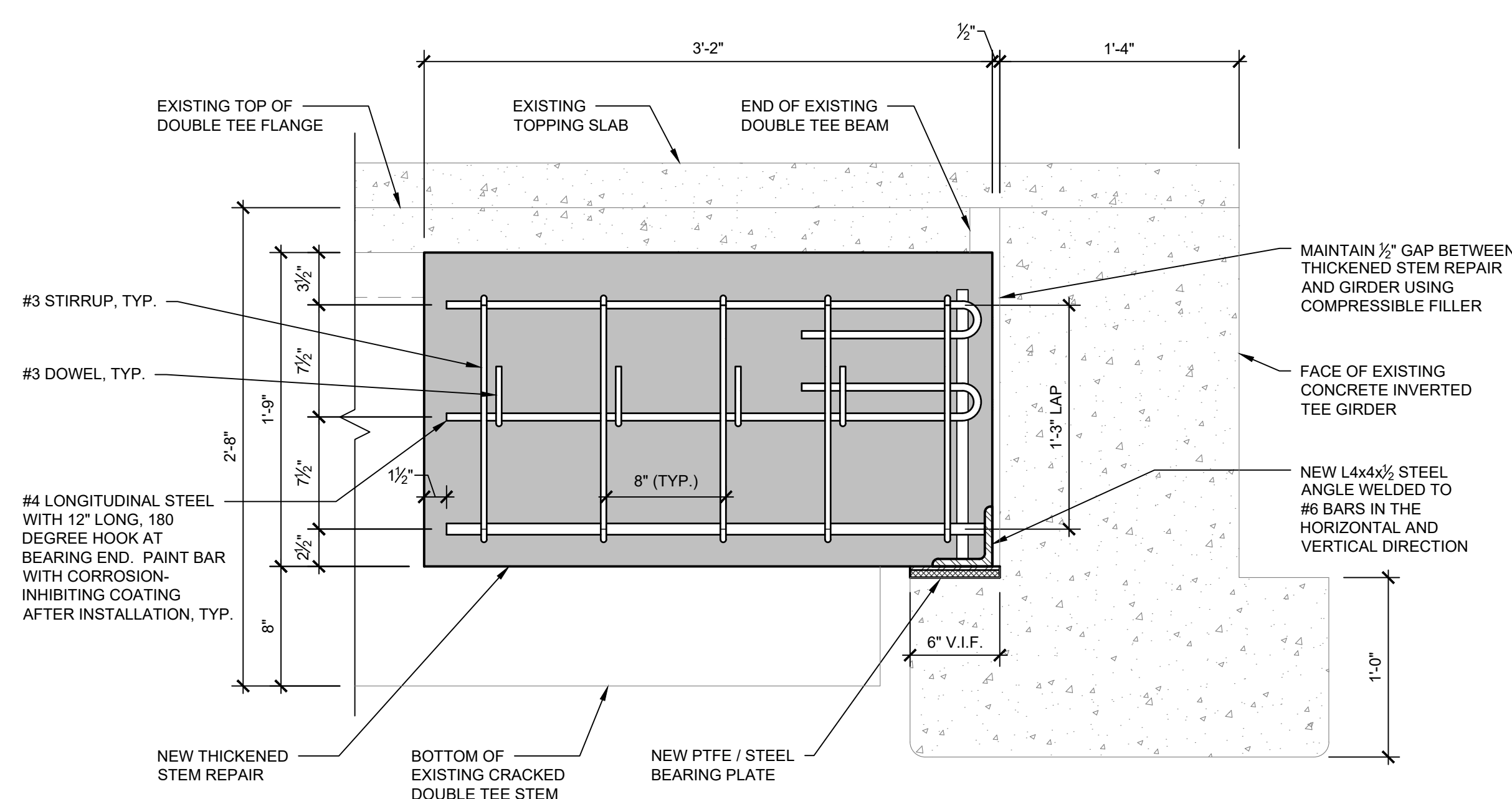
## Double Tee Stem Repair Details



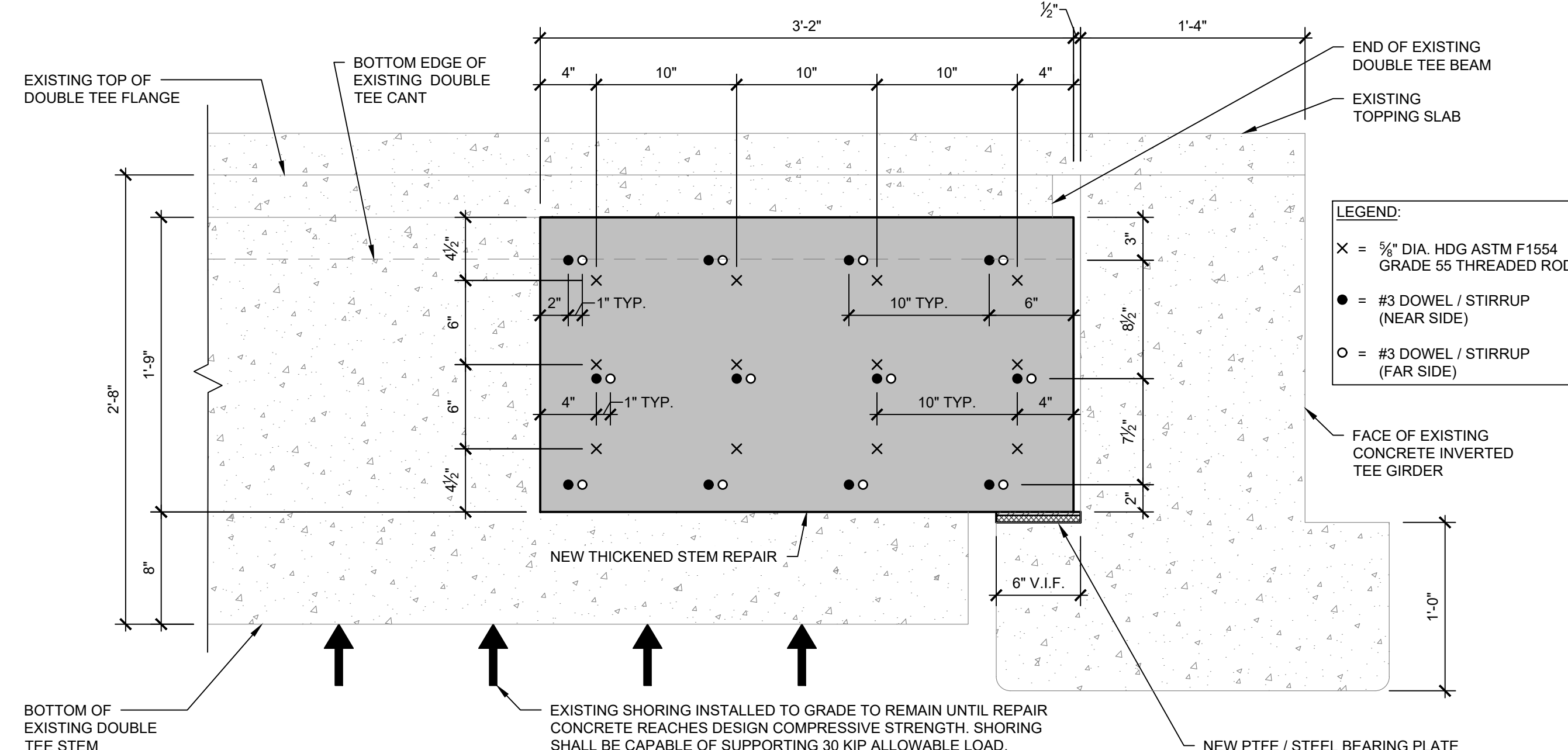
**1 Double Tee Stem Repair - Plan**  
 SCALE: 1 1/2" = 1'-0"



**2 Double Tee Stem Repair - Cross Section**  
 SCALE: 1 1/2" = 1'-0"



**3 Double Tee Stem Repair - Section**  
 SCALE: 1 1/2" = 1'-0"



**4 Double Tee Stem Repair - Section**  
 SCALE: 1 1/2" = 1'-0"



Mark	Date	Description
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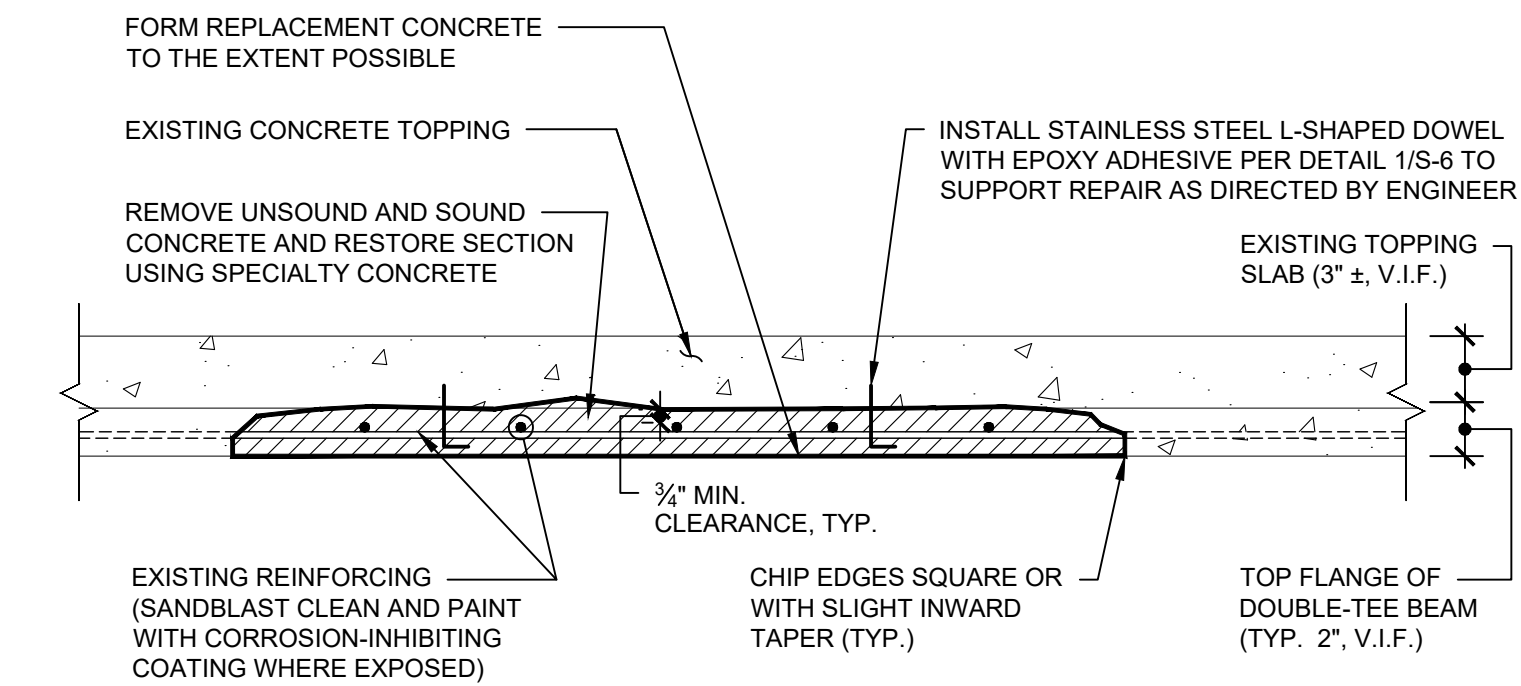
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Scale As Noted

## Concrete and Bearing Pad Repair Details

Sheet Title

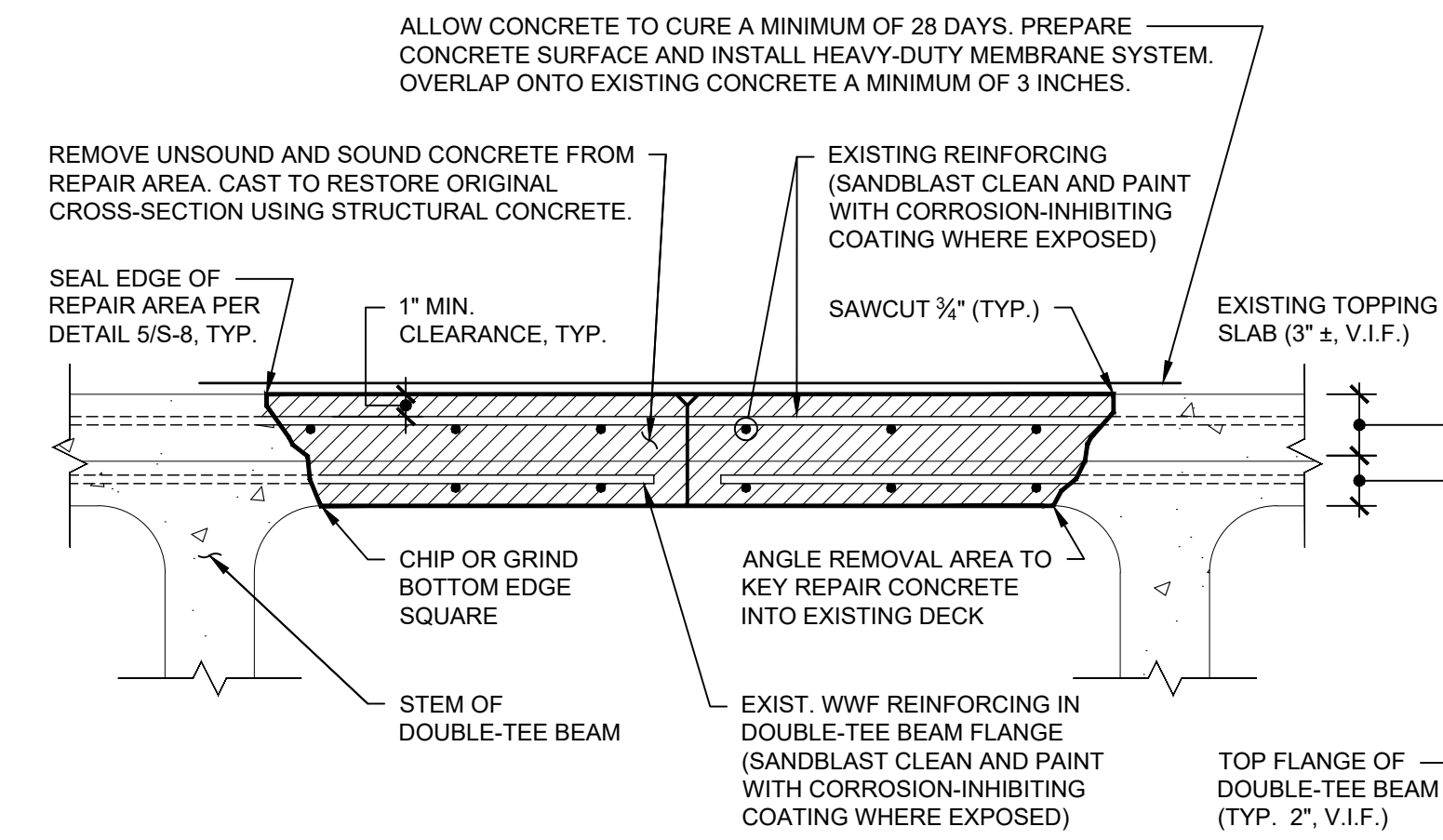
Sheet No.



NOTE: ADD SUPPLEMENTAL EPOXY-COATED WWF AS DIRECTED BY ENGINEER.

### 3 Overhead Concrete Repair - Double-Tee Flange

SCALE: 1 1/2" = 1'-0"

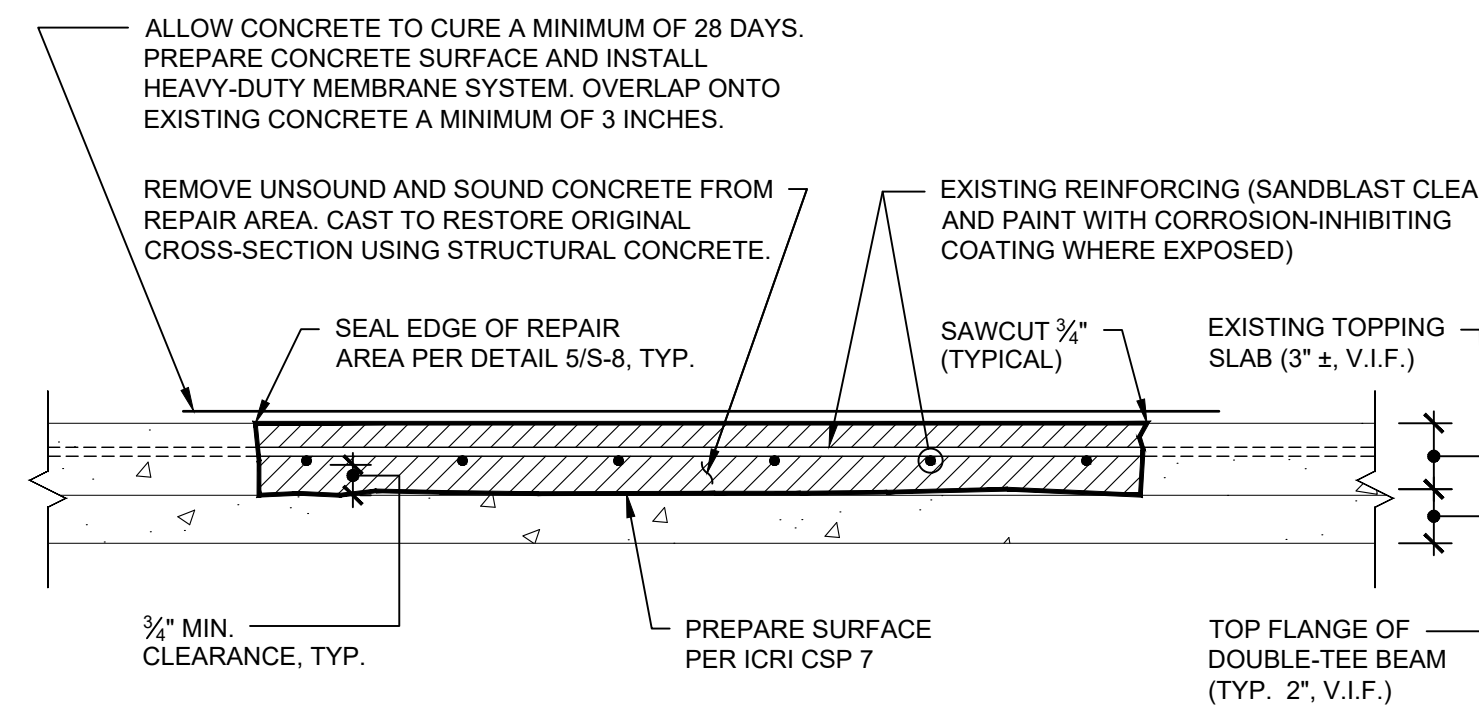


**NOTES:**

- DO NOT CUT EXISTING REINFORCING STEEL UNLESS OTHERWISE DIRECTED. IF CUT, PROVIDE #4 DOWELS AT 12" O.C. MAX AT PERIMETER OF OPENING, MIN. 2 DOWELS PER OPENING. INSTALL USING EPOXY ADHESIVE, SIM. DETAIL 1/S-6. REPLACE ANY REMOVED REINFORCEMENT WITH BARS OR WWF TO MATCH EXISTING.
- CUT OUT AND REPLACE EXISTING REINFORCING STEEL WITH NEW EPOXY COATED REINFORCING STEEL MATCHING ORIGINAL CONFIGURATION AT LARGER REPAIR OPENINGS (AS DIRECTED BY ENGINEER). PROVIDE DOWELS PER NOTE 1.

### 2 Full-Depth Concrete Repair

SCALE: 1 1/2" = 1'-0"



**NOTE:**

DO NOT CUT EXISTING REINFORCING STEEL UNLESS OTHERWISE DIRECTED. IF CUT, PROVIDE #4 DOWELS AT 12" O.C. MAX AT PERIMETER OF OPENING, MIN. 2 DOWELS PER OPENING. INSTALL USING EPOXY ADHESIVE, SIM. DETAIL 1/S-6. REPLACE ANY REMOVED REINFORCEMENT WITH BARS OR WWF TO MATCH EXISTING.

### 1 Topping Slab Replacement

SCALE: 1 1/2" = 1'-0"



**DOUBLE TEE BEAM STEM JACKING NOTES:**

- DO NOT JACK AGAINST DOUBLE TEE FLANGES OR CRACK THE DOUBLE TEE FLANGES, TOPPING, OR ANY OTHER CONCRETE. PRIOR TO JACKING, BLOCK AREA ON THE TOP DECK ABOVE DOUBLE TEE BEAM TO BE SUPPORTED AND PROVIDE METHOD TO MONITOR BEAM MOVEMENT DURING JACKING. CONTINUALLY INSPECT CONCRETE AT THE TOP DECK AND AT THE BEAM DURING THE JACKING PROCEDURE.
- JACKING SHALL BE PERFORMED SO AS TO LIFT THE EXISTING DOUBLE TEE STEM JUST ENOUGH TO REMOVE EXISTING DISPLACED BEARING PAD AND REPLACE WITH NEW PAD.
- JACKING SHOULD BE PERFORMED TO A LOAD OF APPROXIMATELY 13 KIPS PER STEM. DO NOT OVER LOAD.
- DISTRIBUTE SHORING LOAD REACTIONS AT SLAB ON GRADE WITH WOOD CRIBBING OR OTHER MEANS TO LIMIT BEARING PRESSURE TO 3,000 PSF.

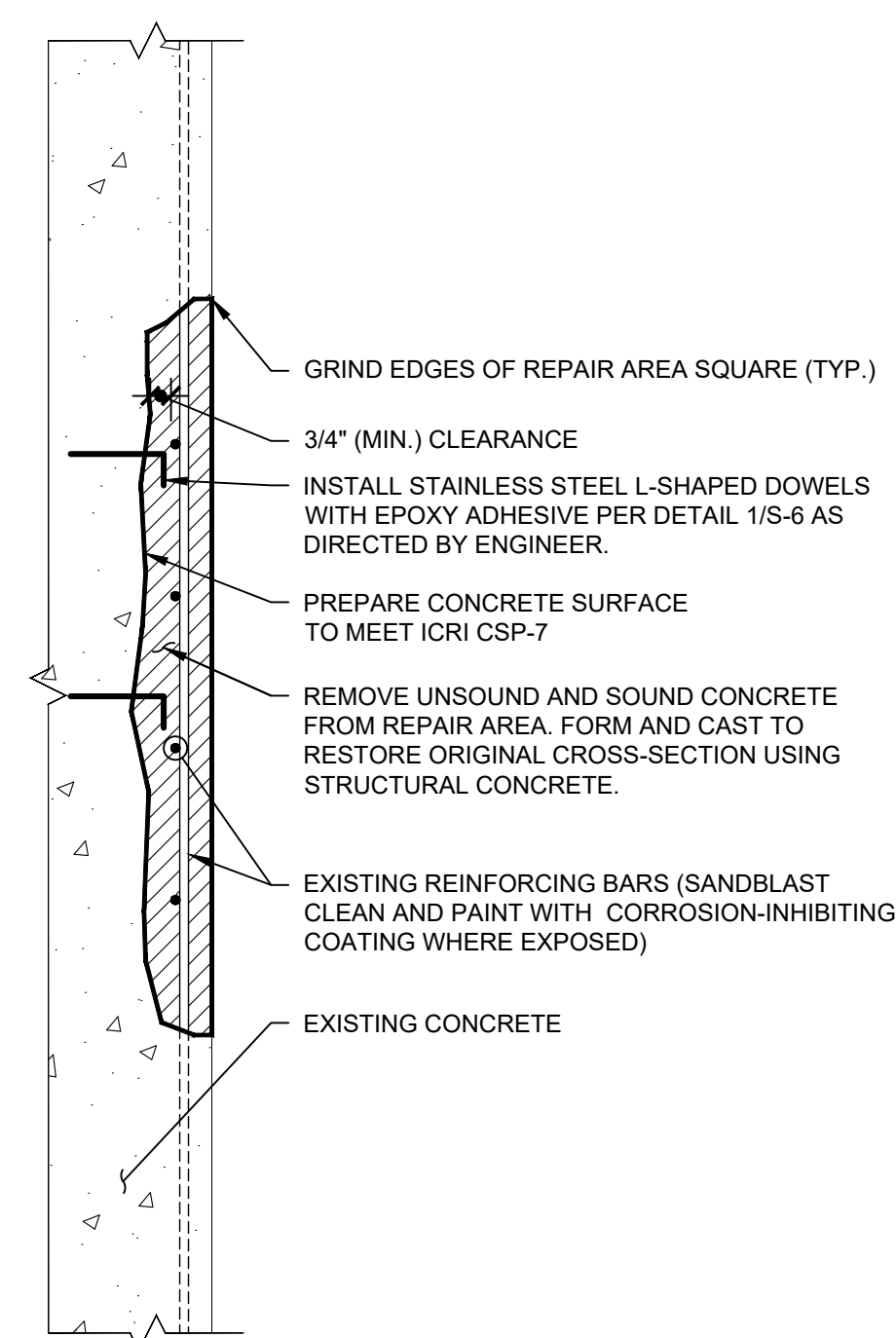
**BEARING PAD SPECIFICATIONS:**

- BEARING PADS SHALL BE PTFE SHIMS, PTFE SHEET BONDED TO A STEEL PLATE, OR BEARING ASSEMBLIES, JVI-INC. OR APPROVED EQUAL.
- PTFE MATERIAL: THE PTFE RESIN SHALL BE 100 PERCENT VIRGIN MATERIAL, PREMIUM GRADE, MEETING THE REQUIREMENTS OF ASTM D 4894 OR D 4895. THE PTFE SHEET (POLYTETRAFLUOROETHYLENE SHEET, PREMIUM GRADE) SHALL CONSIST OF PURE PTFE RESIN, COMPRESSION MOLDED AND SKIVED INTO SHEETS OF THE REQUIRED THICKNESS. THE FINISHED SHEET SHALL BE ACCORDING TO THE FOLLOWING.

ASTM STANDARD	PHYSICAL PROPERTIES	
D 638 (D 638 M)	TENSILE STRENGTH	2,800 PSI MIN. (19,300 kPa MIN.)
D 638 (D 638 M)	ELONGATION	200 % MIN.
D 792	SPECIFIC GRAVITY	2.15 - 2.20
D 2240	HARDNESS, DUROMETER D	50 - 65
---	DEFORMATION UNDER LOAD:	
	73° F / 100 PSI / 24 HRS (23° C / 690 kPa / 24 HRS)	2 - 3 %
	122° F / 1,200 PSI / 24 HRS (50° C / 8,300 kPa / 24 HRS)	4 - 8 %
---	73° F / 2,000 PSI / 24 HRS (23° C / 13,800 kPa / 24 HRS)	15 % MAX.
D 570	WATER ABSORPTION	0.01 % MAX.
---	STATIC COEFFICIENT OF FRICTION AT 500 PSI (3,450 kPa) BEARING PRESSURE ON STAINLESS STEEL	0.07 MAX.
D 429, B	ADHESION TO STEEL PEEL STRENGTH	25 LB/IN. (4.4 N/mm)

### 5 Double-Tee Beam Bearing Pad Replacement

SCALE: 1 1/2" = 1'-0"



### 4 Typical Vertical Concrete Repair Detail

SCALE: 1 1/2" = 1'-0"



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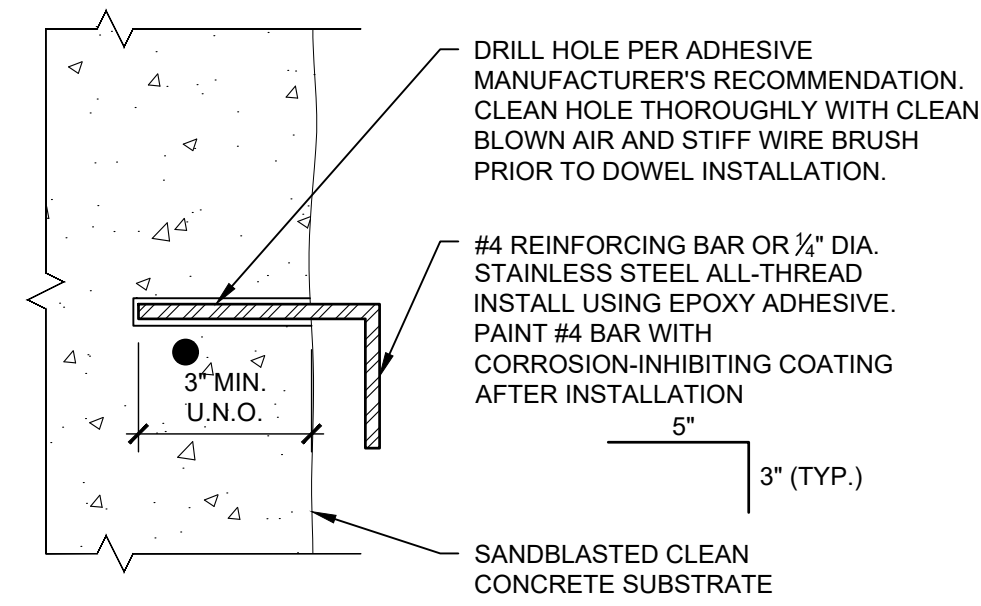
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## Concrete Repair Details

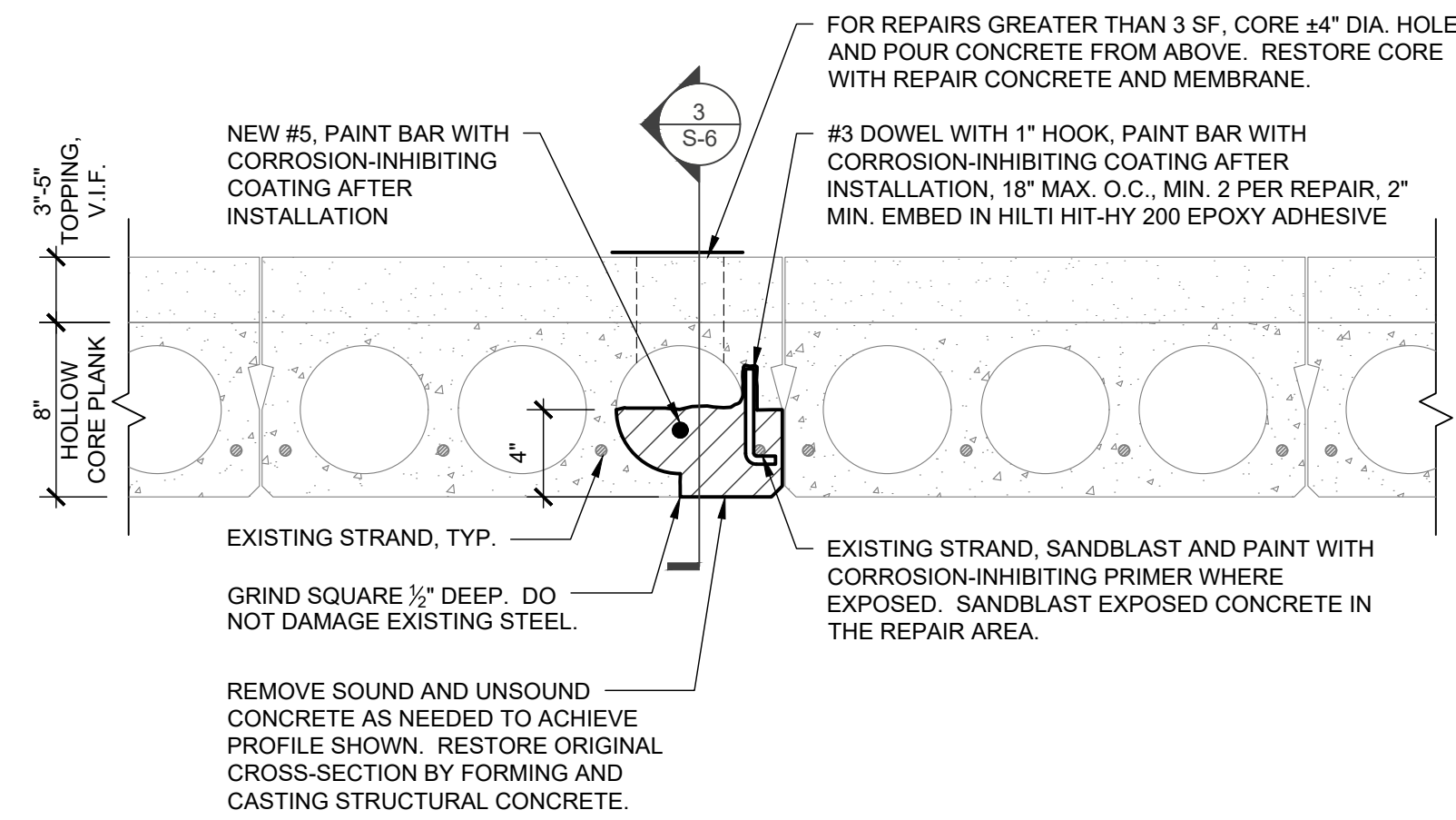
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NOTE: REMOVE ALL MACHINING OIL OR OTHER BOND-INHIBITING MATERIAL FROM STAINLESS STEEL DOWEL PRIOR TO INSTALLATION

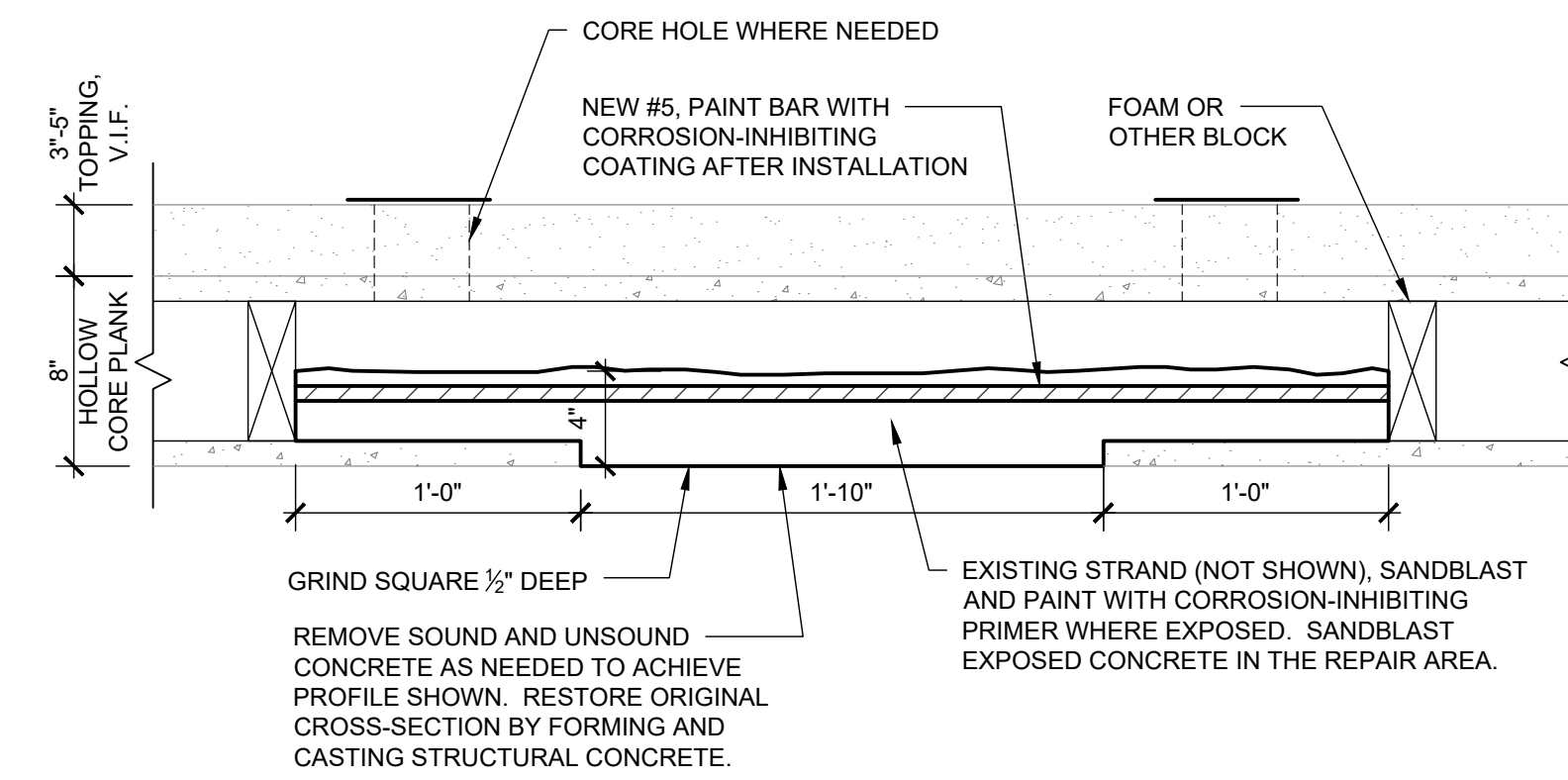
**1 Epoxy Dowel Detail**  
 SCALE: 3" = 1'-0"



REMOVE SOUND AND UNSOUND CONCRETE AS NEEDED TO ACHIEVE PROFILE SHOWN. RESTORE ORIGINAL CROSS-SECTION BY FORMING AND CASTING STRUCTURAL CONCRETE.

**2 Hollow-Core Plank Repair - Cross Section**  
 SCALE: 1 1/2" = 1'-0"

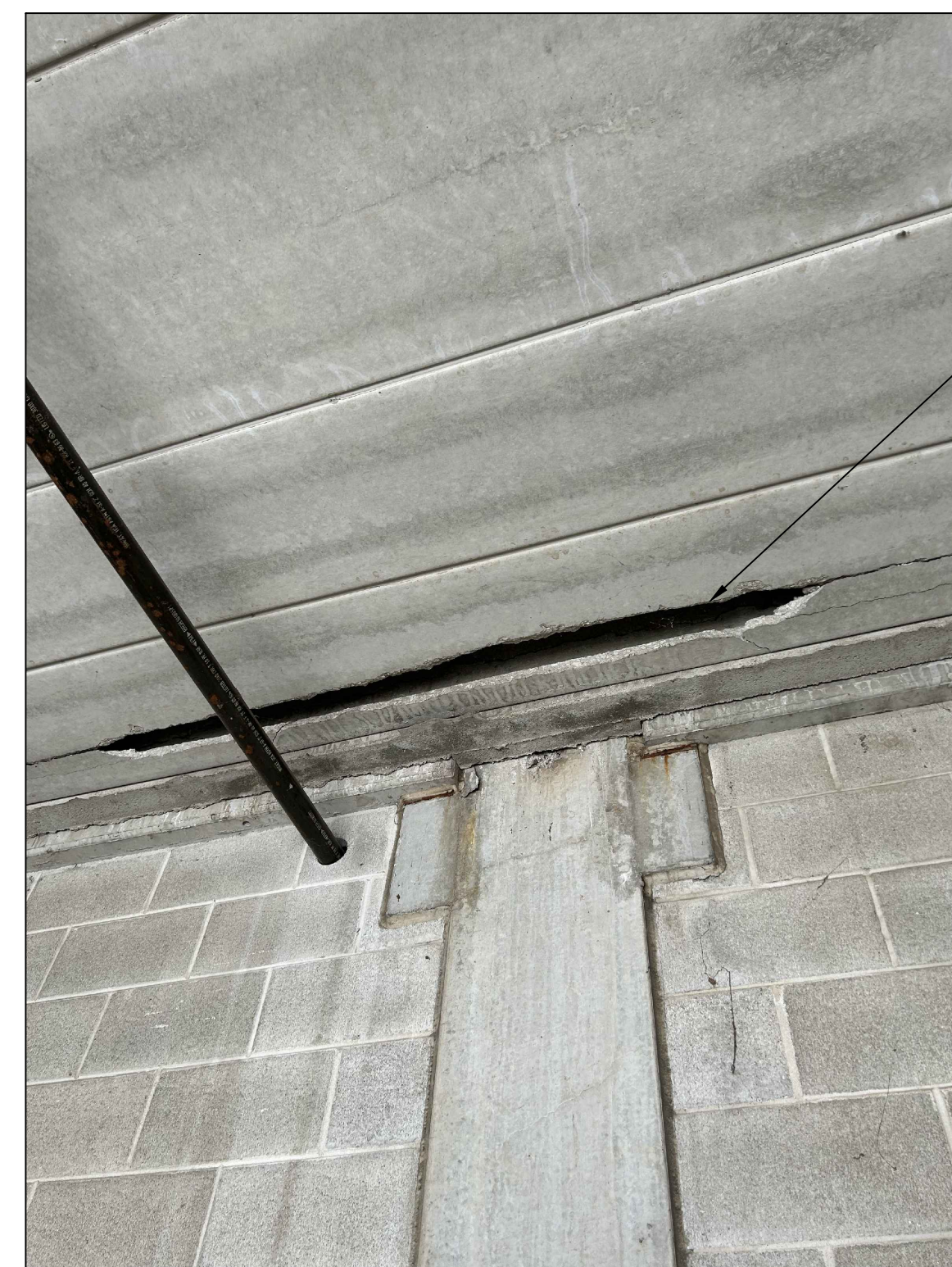
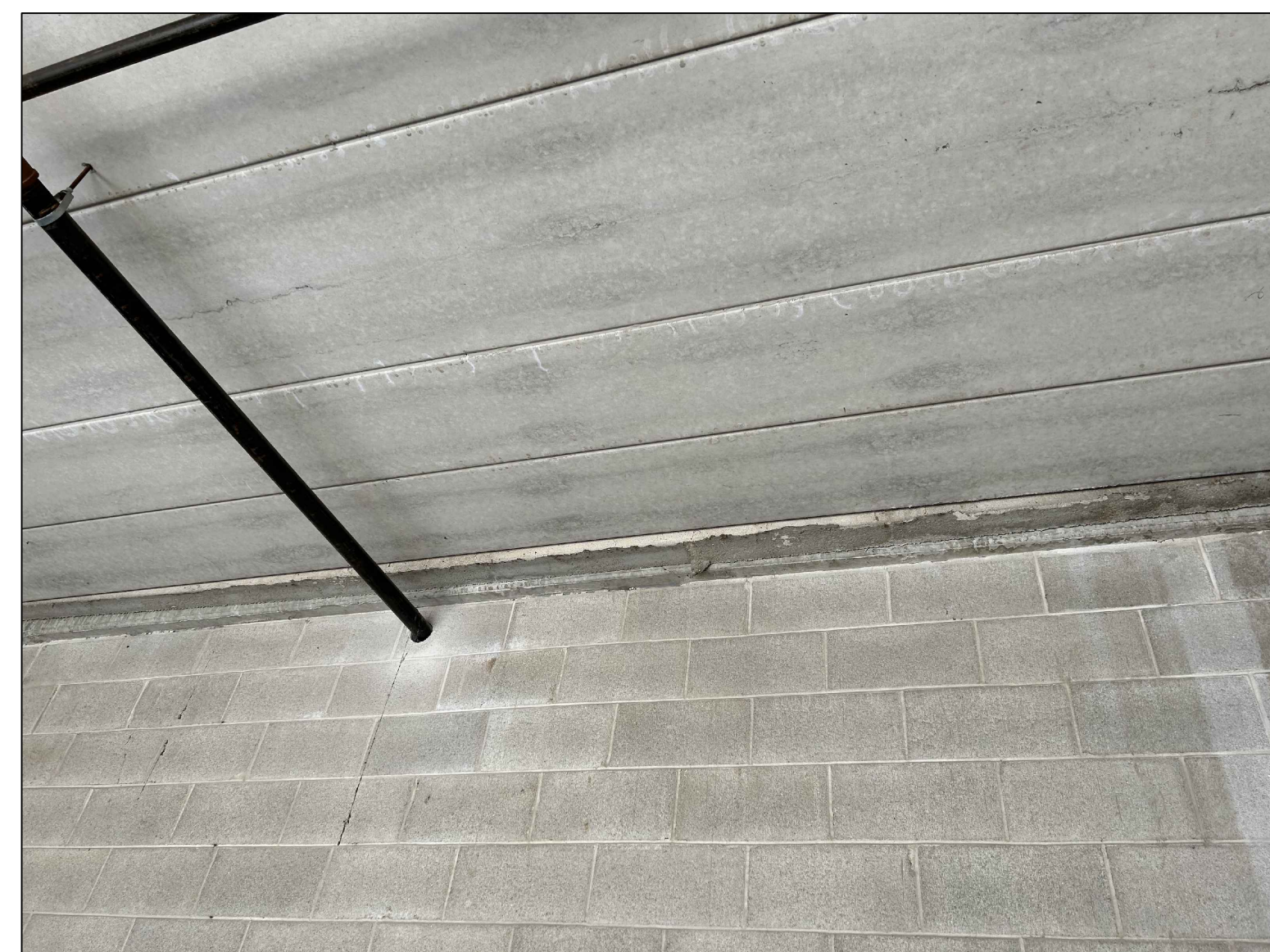
NOTE: REPAIR OF DISPLACED GROUT ADJACENT TO HOLLOW-CORE PLANK SIMILAR.



REMOVE SOUND AND UNSOUND CONCRETE AS NEEDED TO ACHIEVE PROFILE SHOWN. RESTORE ORIGINAL CROSS-SECTION BY FORMING AND CASTING STRUCTURAL CONCRETE.

**3 Hollow-Core Plank Repair - Section**  
 SCALE: 1 1/2" = 1'-0"

NOTE: REPAIR OF DISPLACED GROUT ADJACENT TO HOLLOW-CORE PLANK SIMILAR.



**4 Repair of Displaced Concrete Infill Along Hollow Core Plank**  
 NOT TO SCALE



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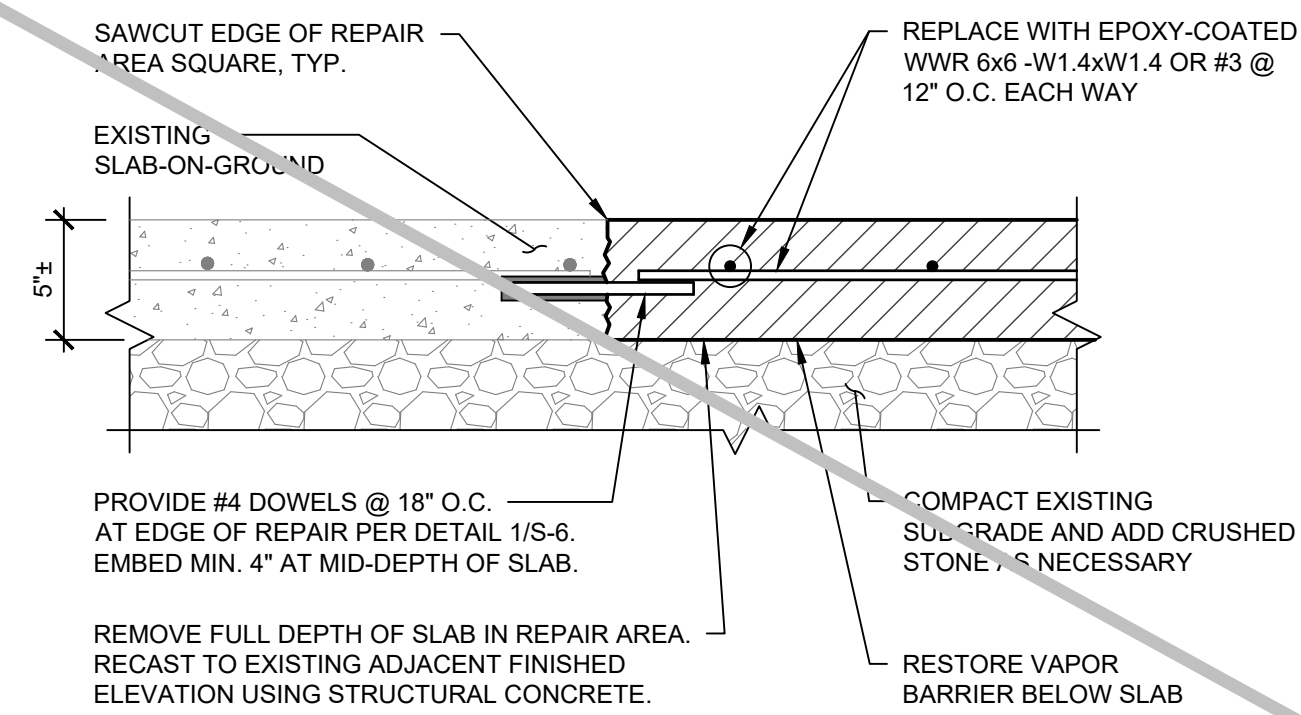
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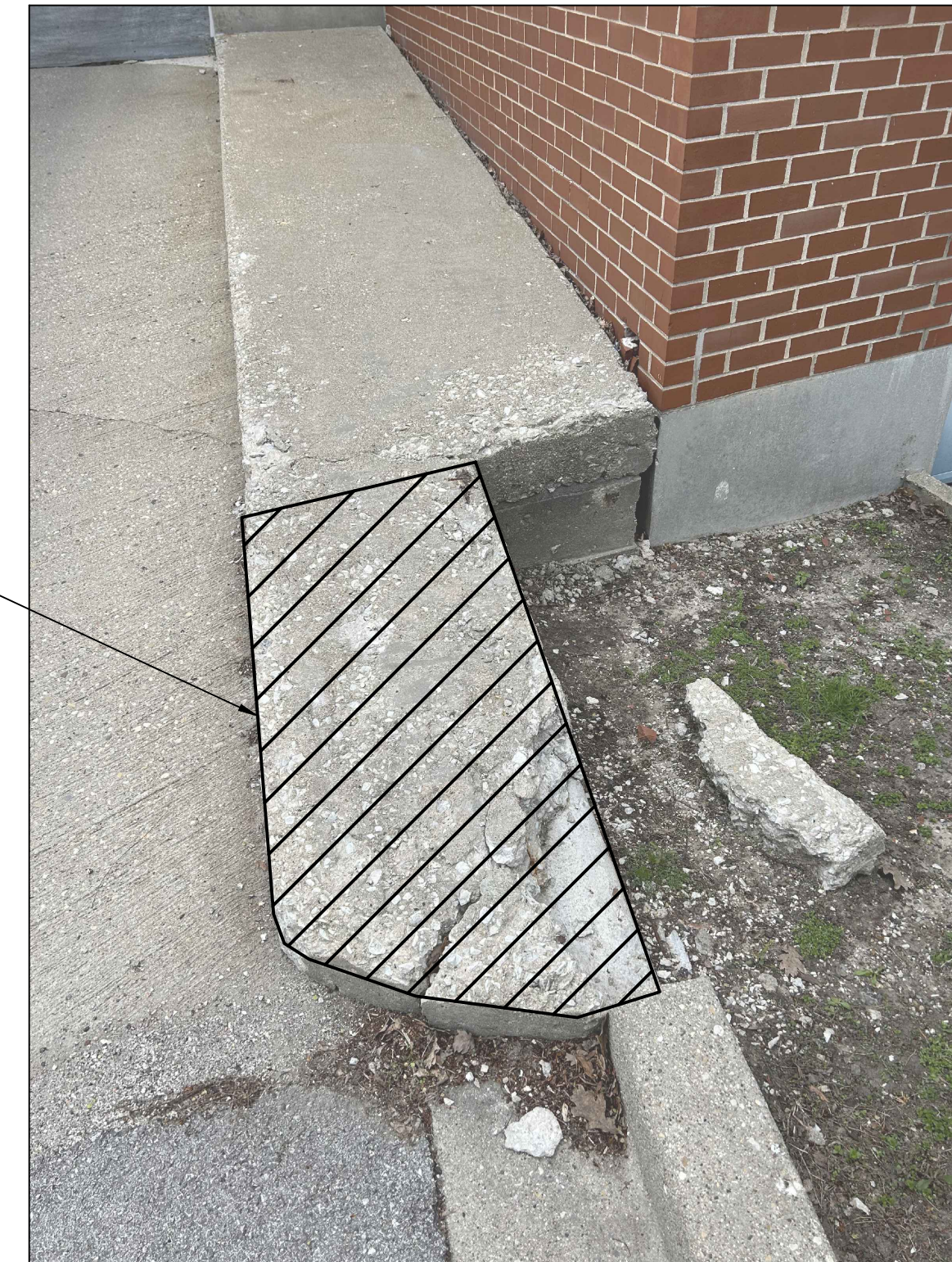
## Concrete and Miscellaneous Repair Details

**NOT USED - FOR REFERENCE ONLY**

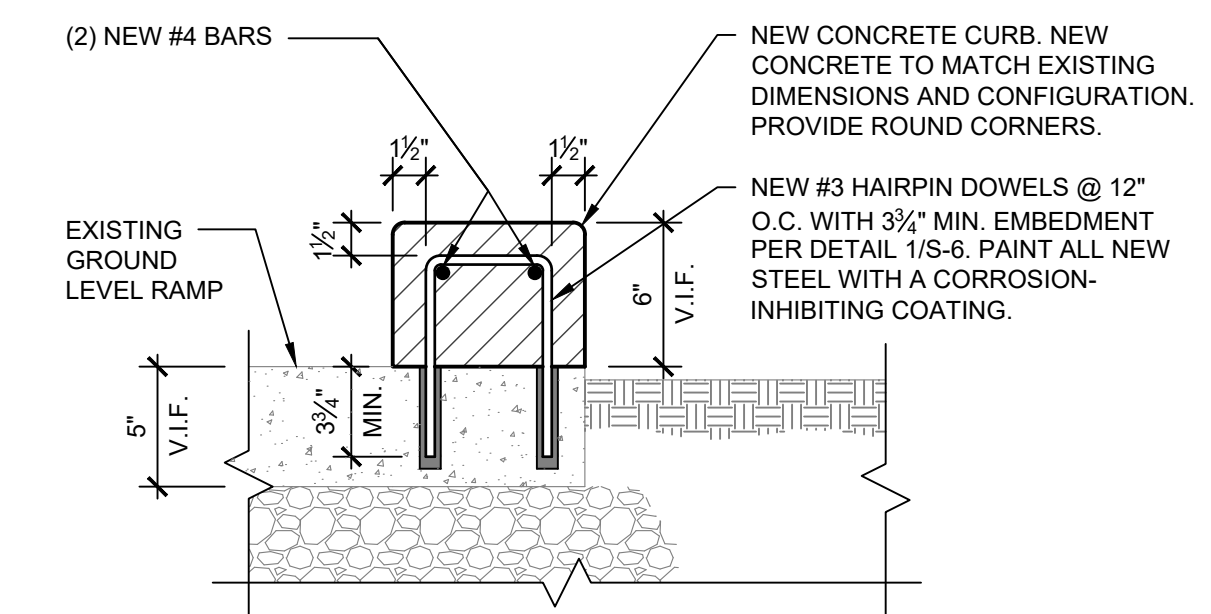


**1 Concrete Slab-On-Ground Repair**  
 SCALE: 1 1/2" = 1'-0"

REPLACE CURB PER DETAIL 3/S-7



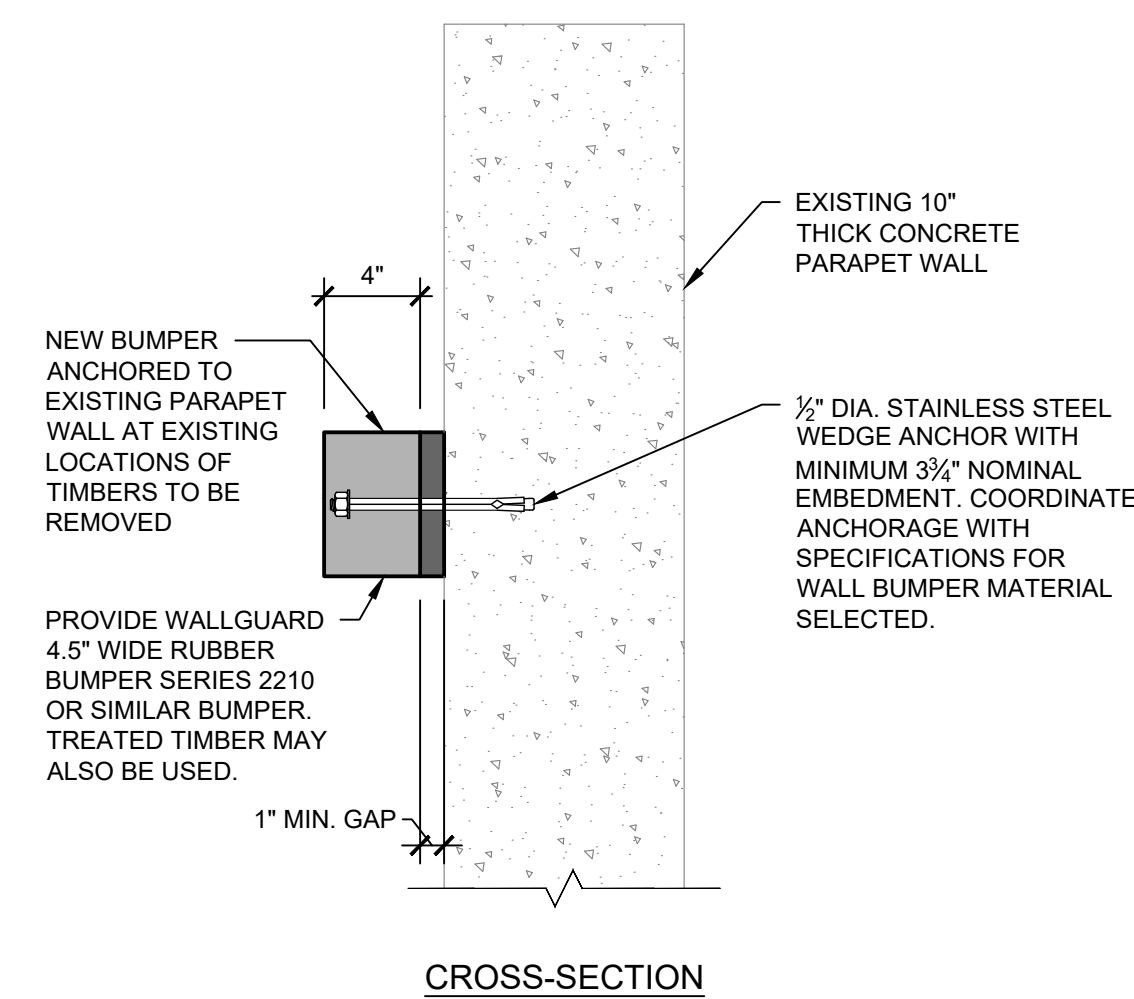
**2 Curb Repair**  
 NOT TO SCALE



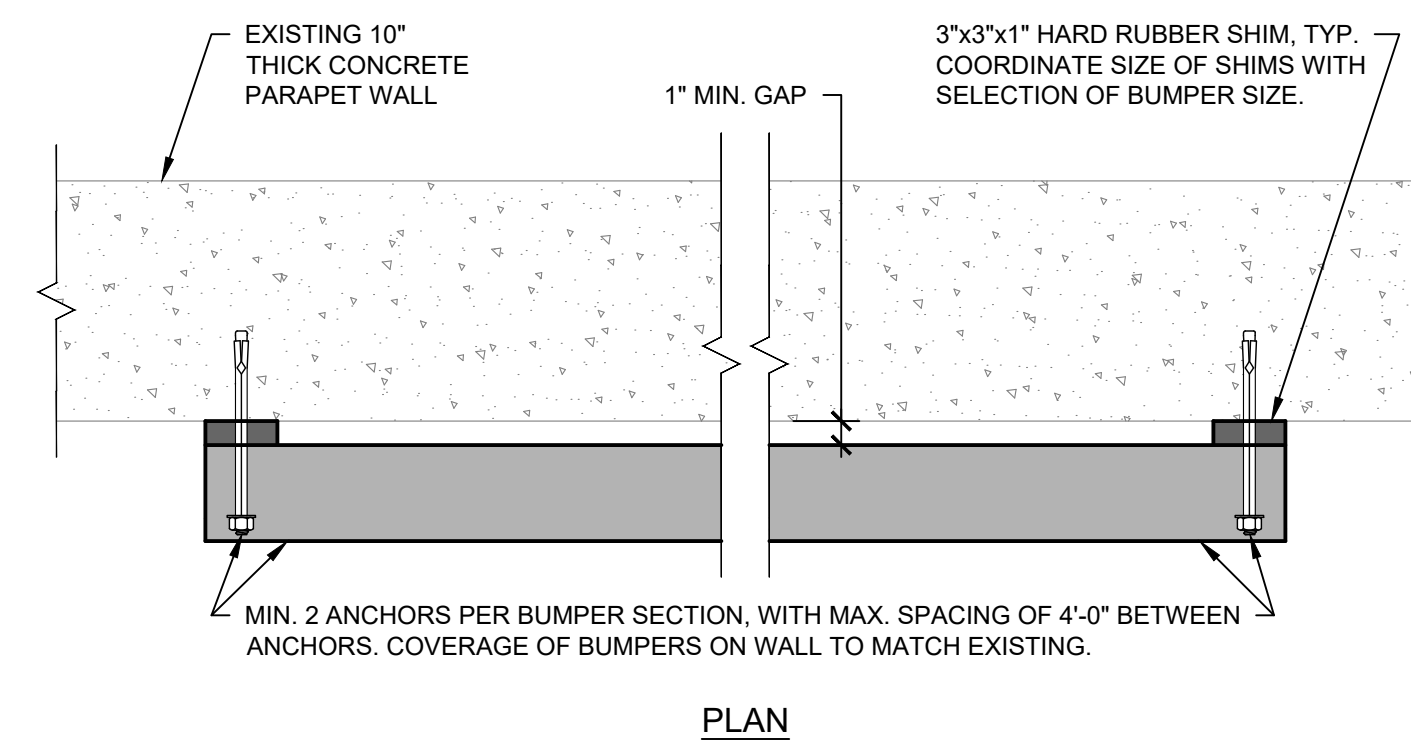
**3 Curb Replacement**  
 SCALE: 1 1/2" = 1'-0"



REMOVE EXISTING ROTTING TIMBER BUMPERS AND REPLACE WITH RUBBER OR TREATED TIMBER BUMPERS MOUNTED IN SAME LOCATIONS (ELEVATIONS AND PLACEMENT ALONG THE WALLS)



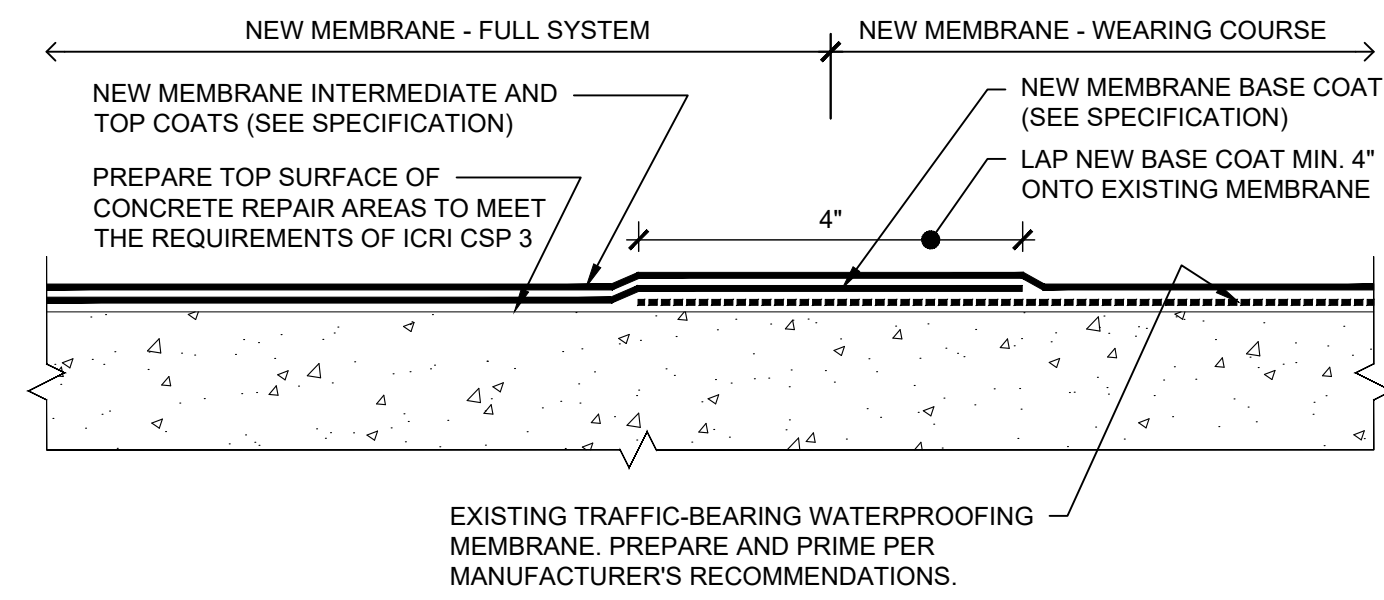
**4 Timber Removal**  
 NOT TO SCALE



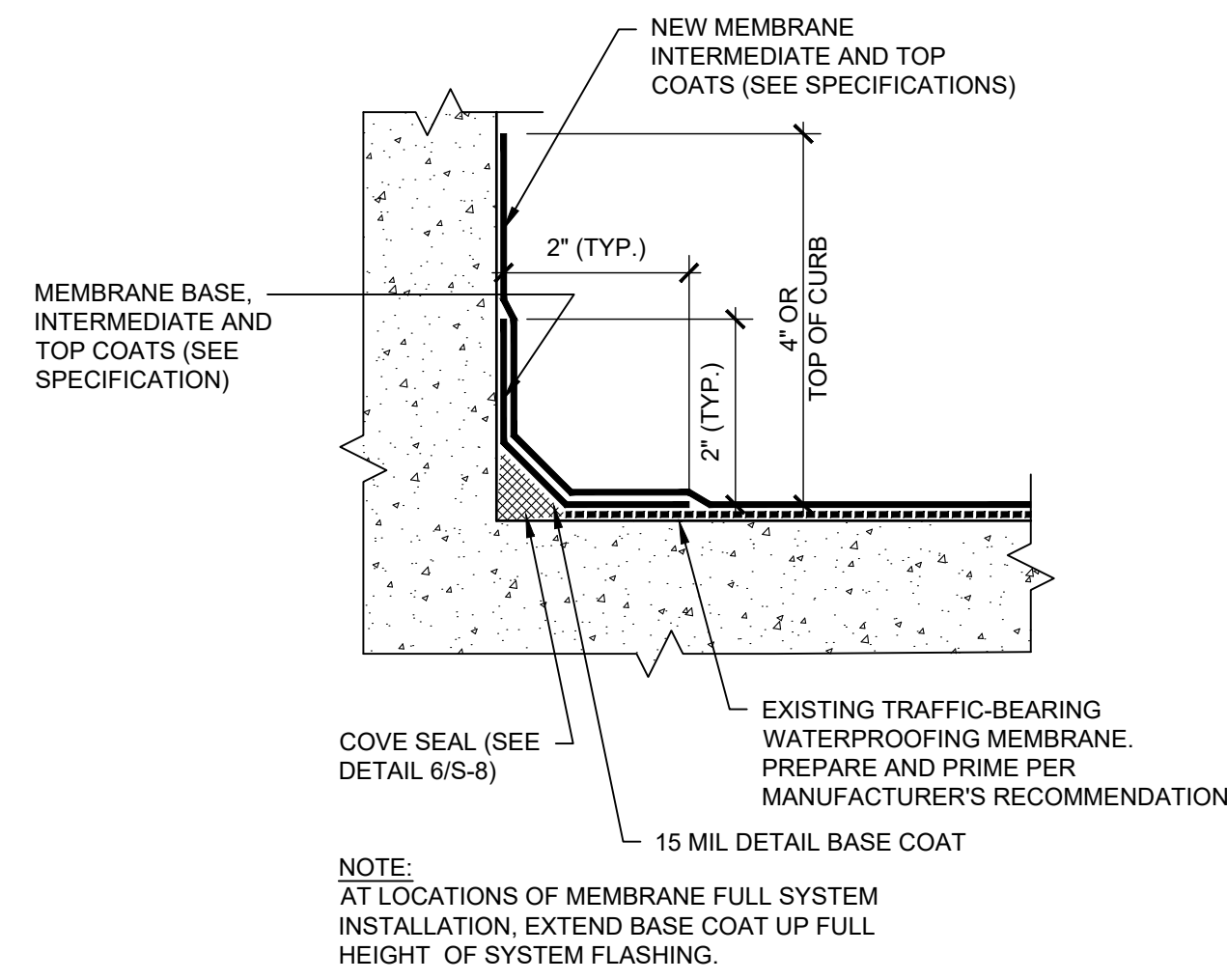
**5 New Wall Bumper**  
 SCALE: 1 1/2" = 1'-0"

**NOTES:**  
 1. PROVIDE TECHNICAL SPECIFICATION AND DATA SHEET TO ENGINEER FOR APPROVAL BY OWNER BEFORE PURCHASING.  
 2. SHOP DRAWING SHOWING LENGTH, DIMENSIONS, AND ANCHORAGE POINTS SHALL BE PROVIDED PRIOR TO INSTALLATION.

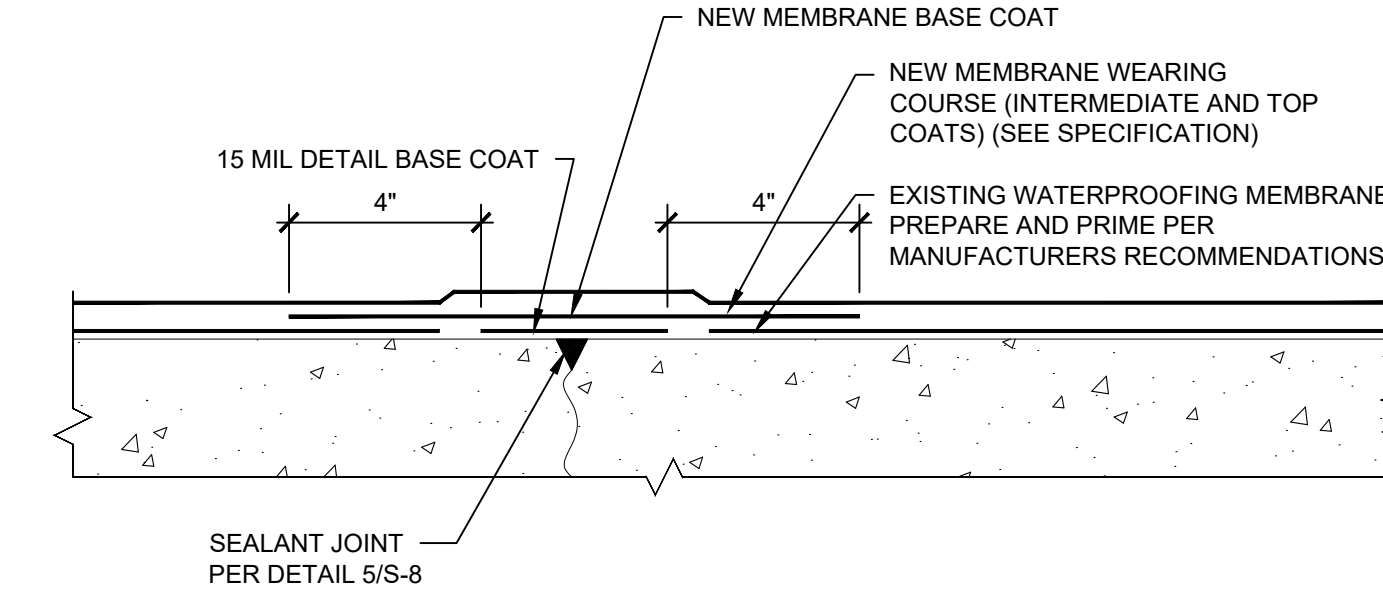




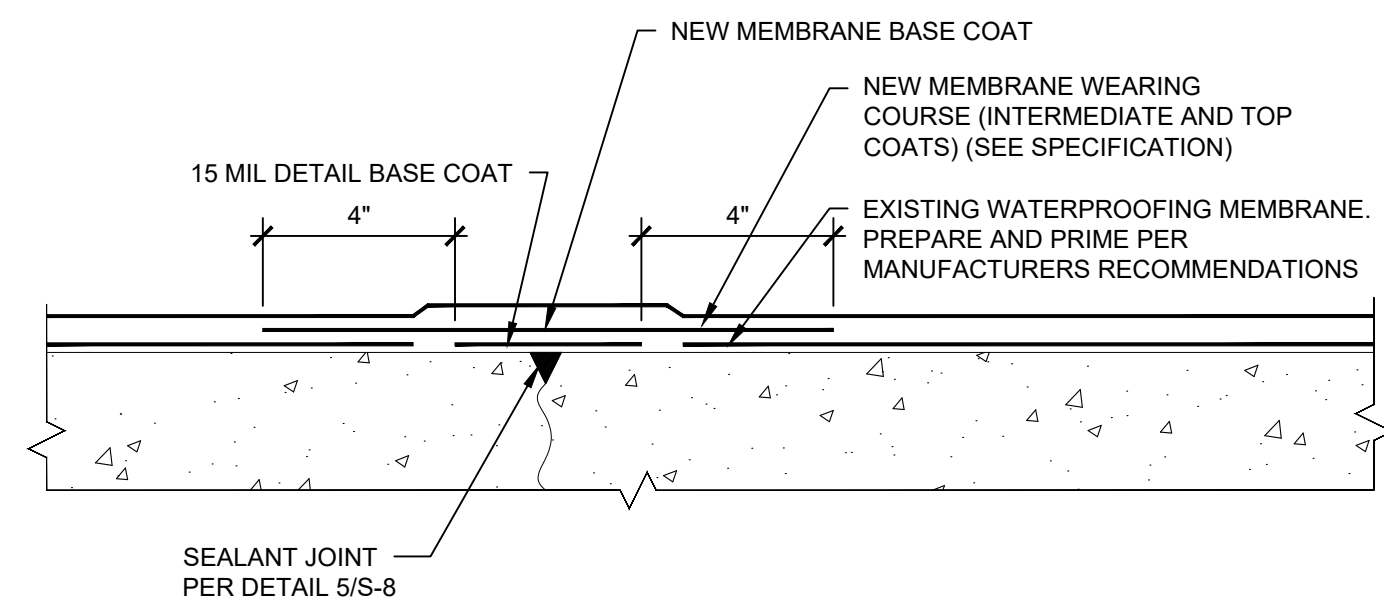
**1 Membrane Transition Detail**  
 SCALE: 6" = 1'-0"



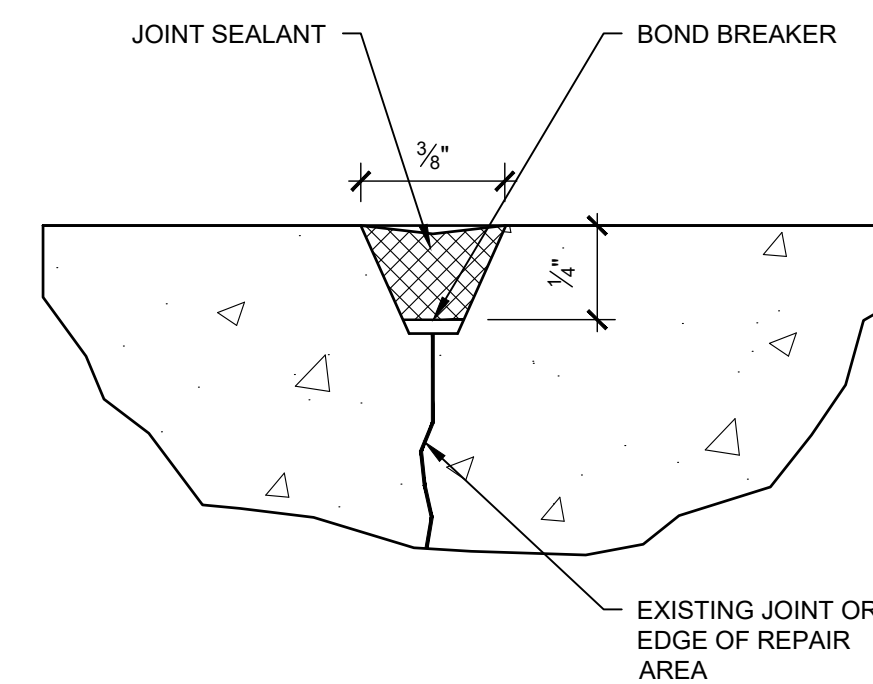
**2 Membrane Upturn Detail**  
 SCALE: 6" = 1'-0"



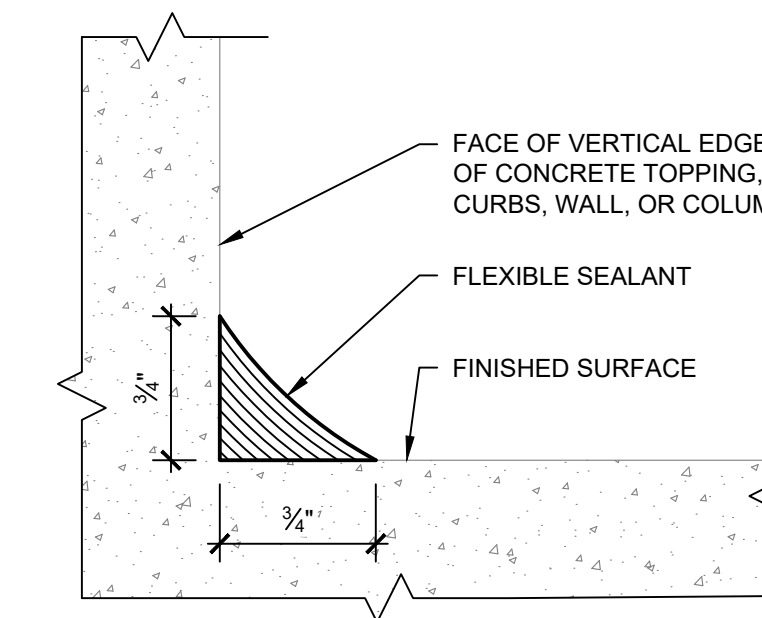
**3 Membrane Detail at Joint Between Adjacent Double Tee Beams**  
 SCALE: 3" = 1'-0"



**4 Membrane Detail at Cracks**  
 SCALE: 3" = 1'-0"



**5 Sealant Joint at Deck Top Surface**  
 SCALE: 2" = 1'-0"



**6 Cove Seal at Vertical Surfaces**  
 SCALE: 1" = 1'-0"

Consultants

Project

**Service Center Building D  
 2024 Parking Garage  
 Restoration  
 2020 Asbury Ave.  
 Evanston, IL 60201**

Client

**City of Evanston  
 2100 Ridge Avenue  
 Evanston, IL 60201**

**City of Evanston  
 Project No. 24-03**

Mark	Date	Description
▲	3/5/24	Addendum No. 1



Project No. 2020.1793.4

Date February 2, 2024

Drawn SKA/AHD

Checked MJF/FAC

Scale As Noted

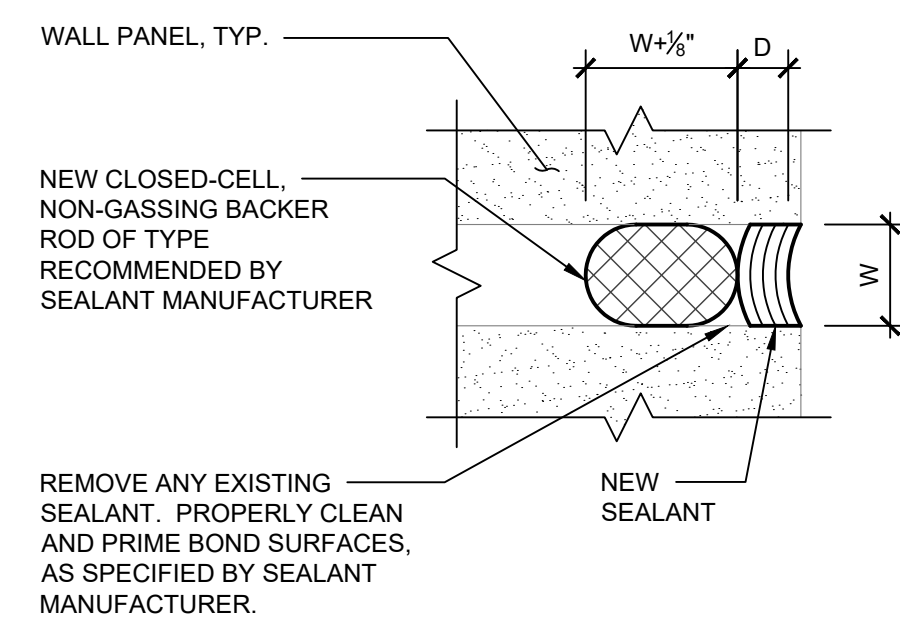
**Waterproofing Details**

Sheet Title

Sheet No.

**S-8**

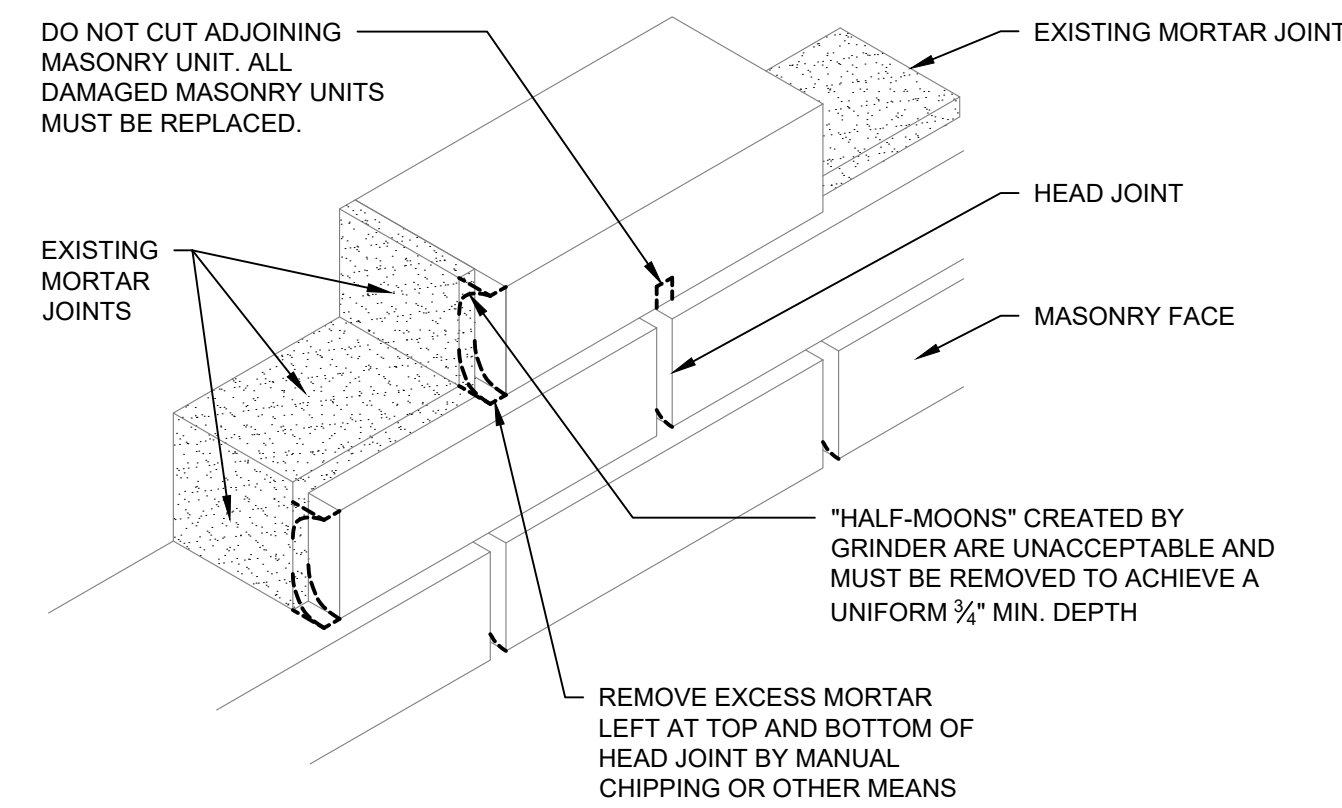




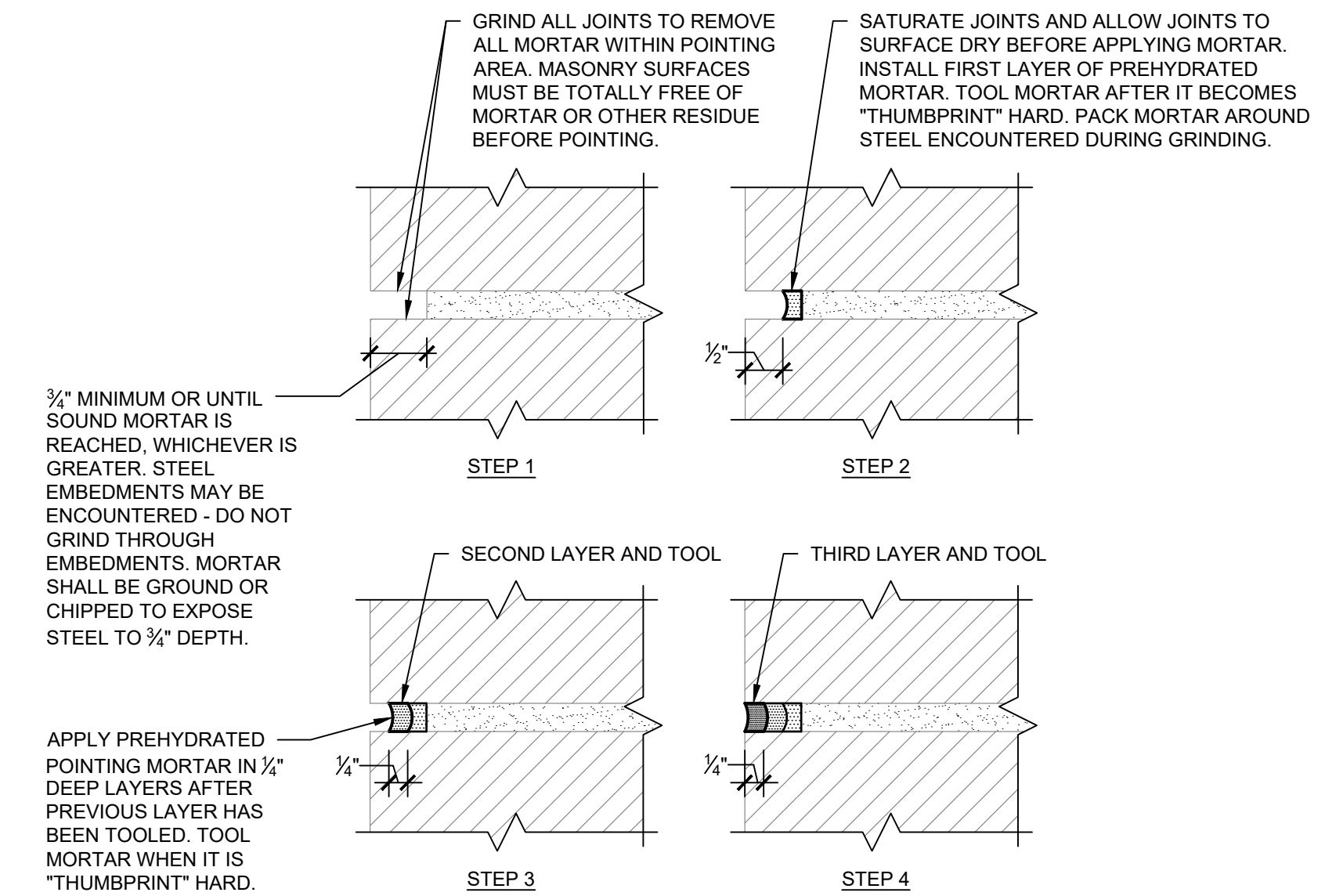
SEALANT CHART GUIDELINE	
W	D*
1/4 IN. MIN.	1/4 IN.
1/4 IN. TO 1/2 IN.	1/4 IN.
1/2 IN. TO 1 IN.	W/2
GREATER THAN 1 IN.	1/2 IN. MAX.

\* VERIFY WITH SEALANT MANUFACTURER

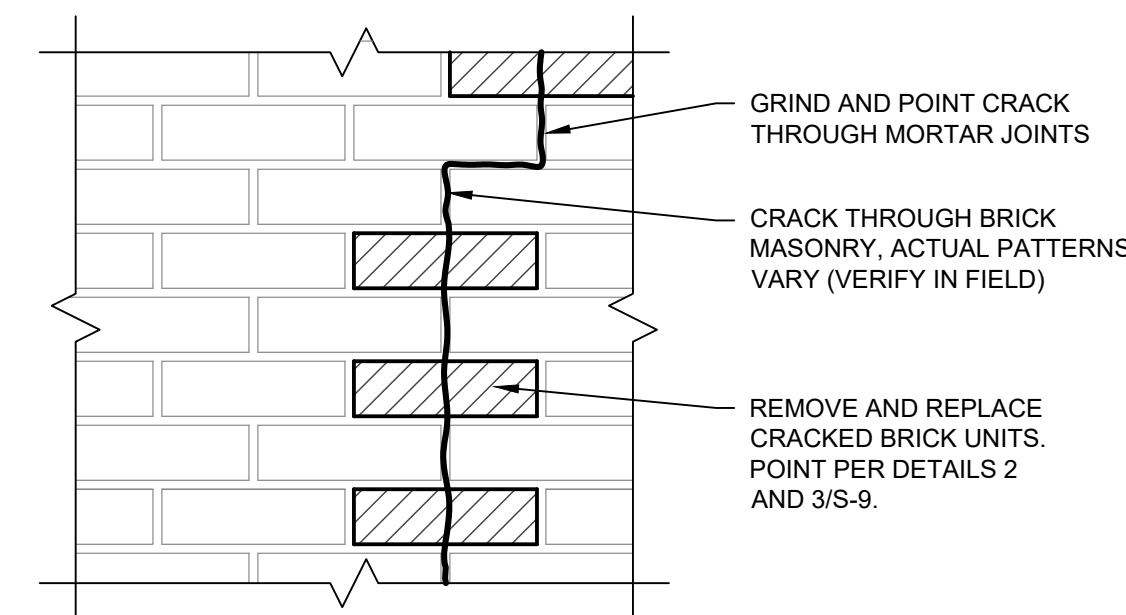
**1 Sealant Detail - Vertical Joints at Building Perimeter**  
 SCALE: 1" = 1'-0"



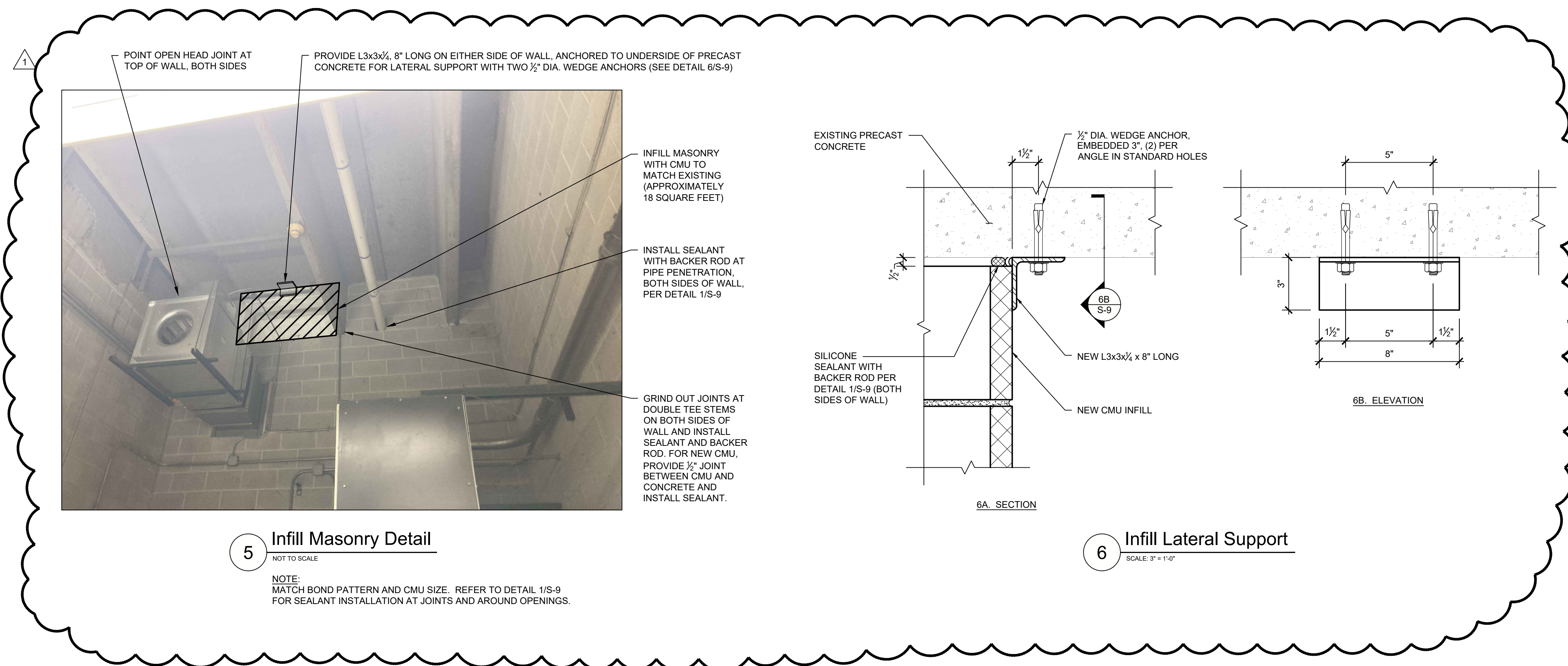
**2 Grinding Detail**  
 SCALE: 3" = 1'-0"



**3 Repointing Detail**  
 SCALE: 6" = 1'-0"



**4 Cracked Brick Masonry Repair**  
 SCALE: 1 1/2" = 1'-0"



**5 Infill Masonry Detail**  
 NOT TO SCALE  
 NOTE:  
 MATCH BOND PATTERN AND CMU SIZE. REFER TO DETAIL 1/S-9 FOR SEALANT INSTALLATION AT JOINTS AND AROUND OPENINGS.

**6 Infill Lateral Support**  
 SCALE: 3" = 1'-0"

Consultants

Project

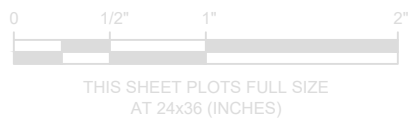
**Service Center Building D  
 2024 Parking Garage  
 Restoration**  
 2020 Asbury Ave.  
 Evanston, IL 60201

Client

City of Evanston  
 2100 Ridge Avenue  
 Evanston, IL 60201

City of Evanston  
 Project No. 24-03

Mark	Date	Description
▲	3/5/24	Addendum No. 1



Project No. 2020.1793.4

Date February 2, 2024

Drawn SKA/AHD

Checked MJF/FAC

Scale As Noted

Sheet Title

**Sealant and  
 Masonry Details**

Sheet No.

**S-9**

**EXHIBIT A – BID FORM**  
**For**  
**Service Center Building D Garage Restoration**  
**(BID #24-03)**

1.01 BID TO:

**THE CITY OF EVANSTON**  
2100 Ridge Avenue  
Evanston, Illinois 60201

Hereinafter called "OWNER".

1.02 BID FROM:

\_\_\_\_\_  
(Hereinafter call "BIDDER")

\_\_\_\_\_  
Address

\_\_\_\_\_  
Telephone Number

\_\_\_\_\_  
Fax Number

1.03 BID FOR: Bid 24-03 Service Center Building D Garage Restoration

1.04 ACKNOWLEDGEMENT:

A. The Bidder, in compliance with the Invitation for Bids, having carefully examined the Drawings and Project Manual with related documents and having visited the site of the proposed Work, and being familiar with all of the existing conditions and limitations surrounding the construction of the proposed project, including the structure of the ground, subsurface conditions, the obstacles which may be encountered, local restrictions, and all other relevant matters concerning the Work to be performed, hereby PROPOSES to perform everything required to be performed, and to provide all labor, materials, necessary tools and equipment, expendable equipment, all applicable permits and taxes and fees, and provide all utility and transportation services necessary to perform and complete in a workmanlike



manner the Project in accordance with all the plans, specifications and related Contract Documents as prepared by the City of Evanston.

- B. The undersigned hereby acknowledges receipt of Invitation of Bids, Instruction to Bidder, the Project Manual, Drawings, and other Contract Documents and acknowledges receipt of the following Addenda:

Addendum No. \_\_\_\_\_ Dated \_\_\_\_\_

Addendum No. \_\_\_\_\_ Dated \_\_\_\_\_

Addendum No. \_\_\_\_\_ Dated \_\_\_\_\_

1.05 GENERAL STATEMENTS

- A. The undersigned has checked all of the figures contained in this proposal and further understands that the Owner will not be responsible for any errors or omissions made therein by the undersigned.
- B. It is understood that the right is reserved by the Owner to reject any or all proposals, to waive all informality in connection therewith and to award a Contract for any part of the work or the Project as a whole.
- C. The undersigned declares that the person(s) signing this proposal is/are fully authorized to sign on behalf of the named firm and to fully bind the named firm to all the conditions and provisions thereof.
- D. It is agreed that no person(s) or company other than the firm listed below or as otherwise indicated hereinafter has any interest whatsoever in this proposal or the Contract that may be entered into as a result thereof, and that in all respects the proposal is legal and fair, submitted in good faith, without collusion or fraud.
- E. It is agreed that the undersigned has complied and/or will comply with all requirements concerning licensing and with all other local, state and national laws, and that no legal requirement has been or will be violated in making or accepting this proposal, in awarding the Contract to him, and/or in the prosecution of the Work required hereunder.
- F. To be considered a bona fide offer, this proposal must be completed in full and accompanied by a bid deposit or a bid bond when required by Contract Documents or Addenda.

1.06 ALTERNATES

- A. When alternate proposals are required by Contract Documents or Addenda thereto, the undersigned proposes to perform alternates for herein stated additions to or deductions from hereinbefore stated Base Bid. Additions and deductions include all modifications of Work or additional Work that the undersigned may be required to perform by reason of the acceptance of alternates.

1.07 ALLOWANCE

- A. The allowance is general and should be used in the event that any unforeseen condition is discovered. After discovering the unforeseen condition, the contractor shall submit a Found Condition Report (FCR) and an Authorization to Use Allowance (AUA) to the Consultant. The Consultant will then notify the Owner and both the Owner and the Consultant will view the unforeseen condition to determine if the work will be authorized. Under no circumstances shall the contractor move forward with the work in question nor shall the contractor expend allowance without an approved AUA. At the end of the project, unspent allowance shall be credited to owner via change order.

1.08 AGREEMENT

- A. In submitting this Bid, the undersigned agrees:
  - 1. To hold this Bid open for sixty (60) days from submittal date.
  - 2. To enter into and execute a Contract with the Owner within ten (10) days after receiving Notice of Award from the Owner.
  - 3. To accomplish the work in accordance with the Contract Documents.
  - 4. To complete the work by the time stipulated in the General Conditions
- B. The Owner reserves the right to reject any and all Bids and to waive any informalities in Bidding.

1.09 SCHEDULE

- A. See General Conditions for required schedule of completion dates.

1.10 PROPOSED PRICES

- A. The Bidder hereby proposes to furnish all labor, materials, equipment, transportation, construction plant and facilities necessary to complete, in a workmanlike manner and in accordance with the contract documents, the contract of work bid upon herein for compensation in accordance with the following prices:

<b>BID ITEMS</b>		
<b>Lump Sum Items</b>		<b>Price</b>
A-1	General Conditions	
A-2	Remove and replace all timber bumpers at the roof level of the parking garage with new bumpers mounted to wall (Details 4 and 5 S-7)	



A-3	Remove and replace curb at west side of the ground level parking garage ramp (Detail 2 and 3/S-8)	
A-4	Install new heavy-duty traffic-bearing membrane at north side of the roof level parking garage as shown on Sheet S-3 and in accordance with Sheet S-8	
A-5	Remove and replace concrete topping slab and install new traffic-bearing membrane as shown on Sheet S-3 and Detail 1/S-6	
A-6	Infill Masonry wall and provide associated pointing and sealants as per detail 5 on Sheet S-9 (estimated quantity 20 SF)	
A-7	General Allowance	\$20,000
A-8	Allowance #2 – Conduit, mechanical ductwork, tank, & chain link fence relocation	\$30,000
<b>Subtotal Lump Sum Bid Items:</b>		
<b>Unit Price Subtotal (from Table below):</b>		
<b>Base Bid Total:</b>		

1.11 UNIT PRICING LIST

The undersigned submits the following UNIT PRICING LIST to be performed as shown on the Plans and/or described in the Specifications, and agrees that items of work not specifically mentioned in the Schedule which are necessary and required to complete the work intended shall be done incidental to and as part of the work for which a unit price is given, and understands that no additional payment will be made for such incidental work from the estimated quantities shown below. Unit prices for individual line items shall be used for the project’s schedule of values, pay applications and will also be used to determine the amount to ADD TO or DEDUCT FROM the contract LUMP SUM PRICE for properly authorized additional or deducted work. In the event of a change to the contract the contractor shall be limited to markup percentages as indicated in Section 01028, 1.05, A. Bidders shall examine plans and determine actual work items and quantities for the work involved for bid analysis by the Owner. **Include the Unit Price Subtotal from following table in Bid Items table above.**

UNIT PRICE BID ITEMS						
Item		Quantity	Unit	Unit Price*	Deduct Price**	Total Price
B-1	Jack double tee beam stem and replace bearing pad in accordance	7	each			

	with Detail 5/S-5					
B-2	Perform double tee stem repairs per details on Sheet S-4	6	each			
B-3	Partial depth overhead concrete repairs. (Detail 3/S-5)	50	sq ft.			
B-4	Flange full depth repair of double Tee beam (Detail 2/S-5)	50	sq ft.			
B-5	Hollow core concrete repairs (Sheet S-6)	100	sq ft.			
B-6	Partial depth concrete repairs at vertical surfaces of beams, columns and roof side of façade panels (Detail 4/S-5)	135	sq ft.			
B-7	Replace sealant at deck joints (Detail 5/S-8)	500	lin ft.			
B-8	Install new traffic bearing membrane (Sheet S-8)	1,000	sq ft.			
B-9	Replacement of spalled brick with new units (Sheet S-9)	30	each			
B-10	Repointing of mortar joints in brick masonry or in concrete unit masonry as shown on Details 2 and 3 (Sheet S-9)	200	lin ft.			
B-11	Replacement of cracked CMU units	5	each			
<b>Unit Price Bid Items B-1 through B-11</b>						

- \* Unit Price to be provided by Bidder
- \*\* Deduct Price to be provided by Bidder

**1.12 BID SECURITY**

If required by the bid documents, a scanned copy of the bid bond must be included with the bid electronic submission. The City is currently not able to accept a certified check, bank cashier's check or electronic bid bond at this time.

- A. The City of Evanston Civic Center is unable to receive in person drop-off and it is closed to the public. The original bid bond must be mailed within ten (10) days after the due date, to the City of Evanston Purchasing Department, 2100 Ridge Avenue - Room 4200 Evanston, Illinois 60201 Attention Purchasing Manager using the USPS (certified or priority), UPS or FedEx mail options in order to have a tracking number.
- B. Accompanying this electronic submittal is a scanned copy of a bank draft, bid bond, Cashier's check or Certified check as surety in the amount of not less than five percent (5%) of the Total Bid payable to the City of Evanston.

The amount of the check or draft is: \$ \_\_\_\_\_



If this bid is accepted and the undersigned shall fail to execute a contract and contract bond as required it is hereby agreed that the amount of the check or draft or bidder's bond substituted in lieu thereof, shall become the property of the City and shall be considered as payment of damages due to delay and other causes suffered by the City because of the failure to execute said contract and contract bond; otherwise said check or draft shall be returned to the undersigned.

In the event that one check or draft is intended to cover two or more bids, the amount must be equal to the sum of the project proposal guarantees of the individual sections covered.

If the check or draft is placed on another project proposal, state below where it may be found, as follows: The check or draft will be found in the project proposal for:

\_\_\_\_\_.

1.13 PERFORMANCE/PAYMENT BOND

The undersigned bidder agrees to provide Performance Bond and Payment Bond executed in accordance with Contract Performance Bond form furnished by and acceptable to the Owner written with \_\_\_\_\_

\_\_\_\_\_ in the amount of 100% of the Contract Sum (Total Base Bid and all accepted alternatives and adjustments) the cost of which is included in the Bid.

Cost of bond for change order is \_\_\_\_\_ percent of change order cost.

1.14 LIQUIDATED DAMAGES

The undersigned Bidder understands and agrees to the provisions stated under "LIQUIDATED DAMAGES" in the General Conditions and shall be assessed at the specified daily rate for each calendar day or partial calendar day until completion as defined herein.

1.15 MATERIAL SUBSTITUTION SHEET

The following is a schedule of substitute materials I propose to furnish on this job, with the difference in price being added to or deducted from the Base Bid. The Base Bid is understood to include only those items which are definitely specified by trade names or otherwise.

I understand that if no price difference is indicated, then the selection of materials is optional with the Owner, and approval or rejection of the substitution below will be indicated prior to signing of Contracts.

<u>PRODUCT NAME AND/OR MANUFACTURER</u>	<u>ADD</u>	<u>DEDUCT</u>
---	------------	---------------

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

1.16 PROPOSAL SIGNATURE (REQUIRED)

A. SOLE PROPRIETOR

Signature of Bidder: \_\_\_\_\_

SUBSCRIBED AND SWORN to before me this \_\_\_\_ day of \_\_\_\_, 20\_\_

\_\_\_\_\_  
Notary Public

Commission Expires: \_\_\_\_\_

B. PARTNERSHIP

Signature of All Partners: \_\_\_\_\_

\_\_\_\_\_  
Name (typed or printed)

\_\_\_\_\_  
Name (typed or printed)

SUBSCRIBED AND SWORN to before me this \_\_\_\_ day of \_\_\_\_, 20\_\_

\_\_\_\_\_  
Commission Expires: \_\_\_\_\_

Notary Public

C. CORPORATION

Signature of Authorized Official: \_\_\_\_\_

Title: \_\_\_\_\_

Name above (typed or printed): \_\_\_\_\_

(If other than the president, attach a certified copy of that section of corporate by-laws or other authorization by the Corporation which permits the person to execute the offer for the Corporation.)

(Corporate Seal)

Attest: \_\_\_\_\_

Secretary

SUBSCRIBED AND SWORN to before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
Commission Expires: \_\_\_\_\_

Notary Public

1.17 DISCLOSURE

- A. The undersigned duly sworn deposes and says on oath that the bidder has withheld no disclosures of ownership interest and the information provided herein to the best of its knowledge is current and said undersigned has not entered into any agreement with any other bidder or prospective bidder or with any other person, firm or corporation relating to the price named in said proposal or any other proposal, nor any agreement or arrangement under which any person, firm or corporation is to refrain from bidding, nor any agreement or arrangement for any act or omission in restraint of free competition among bidders and has not disclosed to any person, firm or corporation the terms of this bid or the price named herein.

Bidder: \_\_\_\_\_

Business Address: \_\_\_\_\_

\_\_\_\_\_

Telephone Number: \_\_\_\_\_

1.18 CONTACTS

- A. In the event the Evanston City Council approves this bid response, list the name, address, telephone, and fax number of the person to be contacted:

Bidder: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone Number: \_\_\_\_\_

Fax Number: \_\_\_\_\_



1.19 REFERENCES

A. Provide three (3) references for which your firm has completed work of a similar scope in the past.

1. Name: \_\_\_\_\_

Address: \_\_\_\_\_

Contact Person: \_\_\_\_\_

Phone: \_\_\_\_\_

Contract Value: \_\_\_\_\_

Contract Dates: \_\_\_\_\_

2. Name: \_\_\_\_\_

Address: \_\_\_\_\_

Contact Person: \_\_\_\_\_

Phone: \_\_\_\_\_

Contract Value: \_\_\_\_\_

Contract Dates: \_\_\_\_\_

3. Name: \_\_\_\_\_

Address: \_\_\_\_\_

Contact Person: \_\_\_\_\_

Phone: \_\_\_\_\_

Contract Value: \_\_\_\_\_

Contract Dates: \_\_\_\_\_