

LAND USE COMMISSION

Wednesday, February 28, 2024 | 7:00 P.M.
James C. Lytle City Council Chambers, Second Floor
Lorraine H. Morton Civic Center, 2100 Ridge Avenue

AGENDA

Those wishing to make public comments at the Land Use Commission meeting may submit written comments in advance or sign up to provide public comment in-person during the meeting by calling/texting 847-448-4311 or completing the Land Use Commission meeting online comment form available by clicking [here](https://www.cityofevanston.org/government/boards-commissions-and-committees/land-use-commission), or visiting the Land Use Commission webpage, <https://www.cityofevanston.org/government/boards-commissions-and-committees/land-use-commission>, clicking on How You Can Participate, then clicking on Public Comment Form. Community members may watch the Land Use Commission meeting online at www.cityofevanston.org/channel16 or on Cable Channel 16.

I. CALL TO ORDER/DECLARATION OF A QUORUM

II. APPROVAL OF MEETING MINUTES: January 10, 2024 and January 24, 2024

III. OLD BUSINESS

A. Public Hearing: Special Use | 1630 Orrington Avenue | 23ZMJV-0069

Luz Garcia, business operator, requests a special use for a Resale Establishment, JBS Thrift Co., in the D3 Downtown Core Development District (Section 6-11-4-3). The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-5-8 of the Evanston Zoning Code. PIN: 11-18-305-005-0000. ***This item was sent back to the Land Use Commission by the Planning & Development Committee of the City Council for additional review.***

IV. NEW BUSINESS

A. Public Hearing: Major Adjustment to a Planned Development & Unique Use | 1590 Elmwood Avenue/1571 Maple Avenue/910 Davis Street | 24PLND-0004 & 24ZMJV-0003

Order & Agenda Items are subject to change. Information about the Land Use Commission is available at: <https://www.cityofevanston.org/government/boards-commissions-and-committees/land-use-commission>. Questions can be directed to Meagan Jones, Neighborhood and Land Use Planner, at mmjones@cityofevanston.org or 847-448-4311. The City of Evanston is committed to making all public meetings accessible to persons with disabilities. Any citizen needing mobility or communications access assistance should contact 847-866-2919 (Voice) or 847-866-5095 (TTY). Requests for access assistance must be made 48 hours (two working days) in advance. Requests received with less than 48 hours (two working days) advance notice will be attempted using best efforts, but cannot be guaranteed.

La ciudad de Evanston está obligada a hacer accesibles todas las reuniones públicas a las personas minusválidas o las quines no hablan inglés. Si usted necesita ayuda, favor de ponerse en contacto con la Oficina de Administración del Centro a 847/866-2916 (voz) o 847/448-8052 (TDD).

Scholar Evanston, LLC, property owner, submits for a Major Adjustment to a Planned Development and a Unique Use Special Use to convert vacant ground-floor commercial space into two dwelling units in the D3 Downtown Core Development District. The applicant requests a Major Adjustment to increase the existing Site Development Allowance for density, previously approved in Ordinance 19-O-15, from 101 dwelling units to 103 dwelling units. The applicant also requests a Unique Use Special Use (Section 6-3-7-1) to allow dwelling units on the ground-floor where ground-floor dwelling units are not an eligible use in the D3 District. The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Sections 6-3-6-12 and 6-3-7 of the Evanston Zoning Code. PINs: 11-18-310-006-0000, 11-18-310-007-0000, 11-18-310-008-0000, 11-18-310-020-0000, 11-18-310-030-0000, 11-18-310-031-0000. ***This application was withdrawn by the applicant.***

B. Public Hearing: Major Variation | 518 & 520 Barton Avenue | 24ZMJV-0002

Michael Willman, potential purchaser, submits for a Major Variation to eliminate unimproved required parking areas where 3 parking spaces are required for the existing 2 townhomes, for the intention of combining the area with the adjacent property at 1210 South Boulevard for future construction of a detached garage. The applicant requests zero parking spaces where 3 parking spaces are required for 2 townhomes (Section 6-16-3-5 Table 16-B) in the R2 Single Family Residential District. The Land Use Commission is the determining body for this case in accordance with Section 6-3-8 of the Evanston Zoning Code. PINs: 11-19-325-024-0000, 11-19-325-025-0000.

V. COMMUNICATION

VI. PUBLIC COMMENT

VII. ADJOURNMENT

The next meeting of the Evanston Land Use Commission will be held **on Wednesday, March 13, 2024, at 7:00 pm**, in the James C. Lytle Council Chambers in the Lorraine H. Morton Civic Center.



MEETING MINUTES

LAND USE COMMISSION

Wednesday, January 10, 2024

7:00 PM

Lorraine H. Morton Civic Center, 2100 Ridge Avenue, James C. Lytle City Council Chambers

Members Present: George Halik, Max Puchtel, Jeanne Lindwall, Kiril Mirintchev, Kristine Westerberg, and Matt Rodgers

Members Absent: Myrna Arevalo, John Hewko, Brian Johnson,

Staff Present: Assistant City Attorney Brian George, Neighborhood and Land Use Planner Meagan Jones, and Zoning Administrator Melissa Klotz

Presiding Member: Matt Rodgers

Call to Order

Chair Rodgers opened the meeting at 7:03 PM. A roll call was then done and a quorum was determined to be present.

Approval of December 13, 2023 Meeting Minutes

Commissioner Lindwall made a motion to approve the Land Use Commission meeting minutes from December 13, 2023. Seconded by Commissioner Westerberg. A voice vote was taken, and the motion passed 4-0-2 with members Mirintchev and Puchtel abstaining.

Old Business

A. Public Hearing: Major Variation | 2505 McCormick Blvd. | 23ZMJV-0064

Lisa Gendel, applicant and property owner, submits for a Major Variation to store a recreational vehicle (camper trailer) within the front yard at a single-family residence in the R1 Single Family Residential District. The applicant requests to store the recreational vehicle (camper trailer) in the required front yard on the existing driveway where storage of recreational vehicles is only permitted within a building or in a rear yard and not in a front or side yard or in any court area that opens toward a public street (Section 6-4-6-3 Table 4-A-28). The Land Use Commission is the determining body for this case in accordance with Section 6-3-8-10 of the Evanston Zoning Code. PIN: 10-14-205-031-0000. ***Due to a vote of 4-3 on a motion to approve the requested zoning relief with conditions, the application for zoning relief was continued to this meeting in order to obtain 5 concurrent votes to render a majority of the 9 seated members.***

Chair Rodgers asked Commissioner Mirintchev if they had reviewed the materials and were prepared to vote. Commissioner Mirintchev responded that he had reviewed the materials and was prepared to vote. His vote was nay. Chair Rodgers asked Commissioner Mirintchev if they had reviewed the materials and were prepared to vote. Commissioner Mirintchev responded that he had reviewed the materials and was prepared to vote. His vote was aye.

The final tally of votes being 5-4, the motion to approve the requested zoning relief carried with the following conditions:

- 1. The variation runs with the current property owner only.**
- 2. The recreational vehicle is on the property no more than 6 months out of the year, May 1 through October 31.**
- 3. Temporary parking of the recreational vehicle in the front yard is limited to 2 consecutive days at a time, for purposes of loading and unloading, between November 1 through April 30.**

Ayes: Hewko, Arevalo, Lindwall, Puchtel and Rodgers

Nays: Halik, Johnson, Mirintchev, Westerberg

New Business

Commissioner Westerberg made a motion to move agenda item IV.B 2649 Crawford Avenue to the first item of New Business. Seconded by Commissioner Lindwall. A voice vote was taken and the motion passed, 6-0.

A. Public Hearing: Appeal | 2649 Crawford Avenue | 23ZMJV-0070

Michele Walker, property owner, appeals the determination of Minor Variation 23ZMNV-0057 at 2649 Crawford Avenue. The Applicant originally requested, and was subsequently denied, zoning relief to construct a 20' x 20' detached garage within the front yard, where detached garages are only allowed in rear yards (Section 6-4-6-3) in the R2 Single Family Residential District. The Land Use Commission is the determining body for this case in accordance with Section 6-3-8-8 of the Evanston Zoning Code. PINs: 05-33-311-015-0000, 05-33-311-016-0000.

Michele Walker and Dan Nelson introduced themselves and provided an overview of the project they are trying to complete and why an appeal of the determination of the minor variation was filed, emphasizing the unique shape of the lot, location of the utilities and construction of house on slab foundation.

Commissioner Questions

Commissioner Rodgers asked if consideration was given to moving the garage back, closer to the house. Ms. Walker responded that balance was sought with required setbacks and the garage location but that they are not married to the current proposed location. Mr. Nelson added that there are utilities located further back on the property.

Commissioner Halik sought clarification on which site plan is the most accurate for what is proposed and if the width of the driveway is an issue. Ms. Walker stated the most recent, accurate version was completed by an architect and incorporates staff suggestions and turning radii. Ms. Klotz clarified that the width of the driveway on private property is ok but the width driveway at the public right-of-way would need to be slightly reduced.

Commissioners Mirintchev and Halik inquired about the orientation of the garage and how it is accessed from the street. Discussion followed on possible alternatives to provide easier vehicle access while still allowing clearance for utilities and clarification was provided on the required distance between buildings and setbacks.

Commissioner Westerberg asked if a carport was considered to help relieve the burden of setbacks. Ms. Walker responded that a carport would still need to be placed such that it encroaches into the front yard so that it avoids some utilities. Additionally, having a garage for additional storage was appealing. She added that the house was abandoned when it was purchased a year ago and significant work has been done on the house since then. Ms. Klotz stated that the neighbor to the east has a detached garage that is in that property's side yard.

Ms. Klotz stated that the house originally had a one car attached garage that was allowed to be converted to habitable space with the condition that a new garage was built, which never occurred.

Commissioner Halik asked if the proposed size of the garage would be large enough for additional storage. A brief discussion followed regarding typical garage sizes and building lot and impervious surface coverage.

Discussion then followed regarding the applicant's ability to provide revised plans that incorporate the suggestions provided and best process to review revisions. It was agreed that the plans be revised and come back to the Land Use Commission for review at the next scheduled meeting.

Commissioner Westerberg made a motion to continue this item to the January 24, 2024 meeting to allow for the applicant to revise their plans. Second by Commissioner Lindwall. A roll call vote was taken, and the motion carried, 5-1.

Ayes: Halik, Lindwall, Mirintchev, Westerberg, and Rodgers

Nayes: Puchtel

Absent: Arevalo, Hewko, and Johnson

A. Public Hearing: Special Use | 1630 Orrington Avenue | 23ZMJV-0069

Luz Garcia, business operator, requests a special use for a Resale Establishment, JBS Thrift Co., in the D3 Downtown Core Development District (Section 6-11-4-3). The Land Use Commission makes a recommendation to the

City Council, the determining body for this case in accordance with Section 6-3-5-8 of the Evanston Zoning Code. PIN: 11-18-305-005-0000.

Ms. Luz Garcia introduced herself and gave a brief statement about her business.

Commissioner Questions

Commissioner Rodgers confirmed that the applicant would solicit customers to bring in second-hand clothes and items to be resold. Ms. Luz confirmed. Chair Rodgers then inquired about proposed hours for the business. Ms. Garcia confirmed that the hours would be noon to 8:00 PM daily, closed on Tuesdays. She will be the sole employee and deliveries will occur in the rear of the building.

Commissioner Puchtel asked if another thrift shop was at that address. It was confirmed that there was an existing one on the same block.

Public Comment

Chair Rodgers called for public comment. There was none.

Chair Rodgers closed public testimony.

Deliberations

Commissioner Lindwall confirmed that there is an existing resale shop on Sherman Ave and has not seen any issues with it. The proposed business will fill a vacant storefront.

The Chair reviewed the Standards for Special Uses (Section 6-3-5-10).

1. Is one of the listed special uses for the zoning district in which the property lies: Chair Rodgers stated that a resale shop is listed as a Special Use in D3 Downtown Core District so the standard is met.
2. Complies with the purposes and the policies of the Comprehensive General Plan and the Zoning Ordinance as amended from time to time: Chair Rodgers said that the City is looking to fill vacant storefronts and the applicant is someone wishing to start a small business, so the standard is met.
3. Will not cause a negative cumulative effect, when its effect is considered in conjunction with the cumulative effect of various special uses of all types on the immediate neighborhood and the effect of the proposed type of special use upon the City as a whole: Chair Rodgers stated that there has been testimony that there is an existing resale shop in the area but due to the nature of the businesses not selling the same items there is no direct competition and the proposed business will be filling a currently vacant storefront, so the standard is met.
4. Does not interfere with or diminish the value of property in the neighborhood: Chair Rodgers stated that again going to the point that the proposed resale shop will be going into a vacant space, the standard is met.

5. Is adequately served by public facilities and services: Chair Rodgers stated that the resale shop will be going into an existing building, there is no reason to believe that it would not be, so the standard is met.
6. Does not cause undue traffic congestion: Chair Rodgers mentioned that there was some discussion regarding clothing drop-off being in the rear and asked that a condition be added to keep an eye on that to ensure that no drop-offs occur in the front of the business and outside of business hours, so the standard would be met.
7. Preserves significant historical and architectural resources: Chair Rodgers stated he does not believe there are any applicable to the project.
8. Preserves significant natural and environmental resources: Chair Rodgers said that no changes are being proposed to the site plan, so the standard is met.
9. Complies with all other applicable regulations of the district in which it is located and other applicable ordinances, except to the extent such regulations have been modified through the planned development process or the grant of a variation: Chair Rodgers stated that the project complies and anticipates that the business will comply with other regulations such as business licensing, so this standard will be met.

Chair Rodgers asked for Commissioner comments on the standards. There were none. Commissioner Halik asked for clarification on where there is access to the rear of the building. Commissioner Lindwall confirmed that there is alley access and that typically these stores are similar to a consignment store.

Commissioner Westerberg made a motion to recommend approval of the Special Use for a resale establishment located at 1630 Orrington Avenue, zoning case number 23ZMJV-0069, with the following conditions:

1. Hours of operation shall not exceed 8am - 9pm, 7 days a week.
2. Employees shall not utilize street parking while working.
3. Deliveries shall occur via the rear entrance outside of rush hour traffic times.
4. Substantial compliance with the documents and testimony on record.
5. Recordation of the special use ordinance with the Cook County Recorder of Deeds is required.
6. The applicant monitors the front entrance to make sure materials are not dumped overnight at that location.

Second by Commissioner Lindwall. A roll call vote was taken, and the motion carried, 6-0.

Ayes: Halik, Lindwall, Mirintchev, Puchtel, Westerberg, and Rodgers

Nays: None

Absent: Arevalo, Hewko, Johnson

B. Public Hearing: Text Amendment | Cannabis Dispensary Hours | 23PLND-0071

A City-initiated Text Amendment to the Zoning Ordinance to amend the permitted hours of operation for Cannabis Dispensaries (Section 6-4-11-3) in the RP Research Park, D1 Downtown Fringe, D2 Downtown Retail Core, D3 Downtown Core Development, D4 Downtown Transition, C1a Commercial Mixed-Use, C1 Commercial, C2 Commercial, B1a Business, B2 Business, B3 Business, O1 Office, oDM Dempster-Main Overlay, oCSC Central Street Corridor Overlay, and oH Hospital Overlay Districts where Cannabis Dispensaries are eligible Special Uses. The Land Use Commission makes a recommendation to the City Council for this case in accordance with Section 6-3-4-6 of the Evanston Zoning Code.

Commissioner Questions

Commissioner Puchtel asked for clarification on the list of districts stated in the case description. Ms. Klotz confirmed that there are no proposed changes to what districts cannabis dispensaries are allowed in.

Commissioner Halik confirmed that the current permitted hours of operation are 10:00 AM to 8:00 PM. Ms. Klotz confirmed and added that the only change proposed in the amendment would be to change hours of operation to the state standard of 6:00 AM to 10:00 PM. She added that each dispensary would need to come back to amend their previously approved special uses to include the updated hours of operation. Further discussion occurred around possible changes to hours of individual special uses and that being dependent on the location and zoning district of each dispensary.

Following questions from Commissioners Westerberg and Halik, Ms. Klotz added that most dispensaries in the surrounding area operate on a 12 hour time frame, typically 9:00 AM to 9:00 PM, which lead to the aldermanic referral for the text amendment, so that local dispensaries could at least operate at similar hours to other businesses.

Chair Rodgers expressed not having an issue with earlier operating hours but some concern with operating too much later. He expressed that he would like the Commission to get as close as possible to acceptable hours as possible so that individual dispensaries do not feel like there is a bait and switch on acceptable hours. Additional discussion occurred around the acceptable amount of operating hours.

Public Comment

Chair Rodgers called for public comment. There was none.

Chair Rodgers closed public testimony.

Deliberations

The Chair reviewed the Standards for Amendments (Section 6-3-4-5).

1. Whether the proposed amendment is consistent with the goals, objectives and policies of the Comprehensive General Plan as adopted and amended from time

to time by the City Council: Chair Rodgers reviewed that we want businesses to thrive and be competitive and also generate tax revenue for the City. Expanding hours does meet that goal, so the standard is met.

2. Whether the proposed amendment is compatible with the overall character of existing development in the immediate vicinity of the subject property: Chair Rodgers cited that presently we are talking about two existing dispensaries with approved Special Uses that have not posed issues with fitting into the character of the immediate vicinity. If during the Special Use process for the existing or new dispensaries the Commission or City Council were to find potential issues, they could be addressed during that time, so the standard is met.
3. Whether the proposed amendment will have an adverse effect on the value of adjacent properties: Chair Rodgers said this can also be addressed in the Special Use process for each dispensary and mitigate potential effects on the value of adjacent properties, so the standard is met.
4. The adequacy of public facilities and services: Chair Rodgers again noted that this would be reviewed during the Special Use process, however, the extension of hours does not necessarily impact the adequacy of public facilities and services, so the standard is met.

Chair Rodgers asked for Commissioner comments on the standards. A short discussion followed regarding what hours of operation to recommend with Commissioner Westerberg clarifying that the request is not necessarily coming from the existing dispensaries that staff was aware of. There was some agreement that 10:00 PM is not desirable but an earlier start time could be beneficial. Having hours similar to those in surrounding communities would provide consistency and an adequate period of time to operate.

Commissioner Lindwall made a motion to recommend amending the zoning code so that cannabis dispensaries shall only be permitted to operate between the hours of 9:00 AM and 9:00 PM unless further regulated as a condition of a special use permit seven days out of the week. Second by Commissioner Westerberg. A roll call vote was taken, and the motion carried, 6-0.

Ayes: Puchtel, Halik, Lindwall, Mirintchev, Westerberg, and Rodgers

Nays: None

Absent: Arevalo, Johnson, Hewko

Other Business

A. Adoption of 2024 Meeting Calendar

Chair Rodgers suggested holding a single April meeting on April 17, 2024 so as not to conflict with holidays that may be observed as well as adding additional meetings in November and December in anticipation of the Commission reviewing the new Comprehensive Plan and Zoning Code, specifically on November 20, 2024 and December 18, 2024.

Commissioner Rodgers made a motion to adopt the 2024 calendar as amended. Second by Commissioner Lindwall. A voice vote was taken, and the motion passed, 6-0.

Ayes: Puchtel, Halik, Lindwall, Mirintchev, Westerberg, and Rodgers

Nays: None

Absent: Arevalo, Johnson, Hewko

Communications

There was none.

Adjournment

Commissioner Lindwall motioned to adjourn, Commissioner Westerberg seconded, and the motion carried, 6-0.

Adjourned 8:13 PM.

The next meeting of the Evanston Land Use Commission is to be held on **Wednesday, January 24, 2024, at 7:00 PM, in the James C. Lytle Council Chambers in the Lorraine H. Morton Civic Center.**

Respectfully submitted,
Meagan Jones, Neighborhood and Land Use Planner



MEETING MINUTES

LAND USE COMMISSION

Wednesday, January 24 , 2024

7:00 PM

Lorraine H. Morton Civic Center, 2100 Ridge Avenue, James C. Lytle City Council Chambers

Members Present: George Halik, Max Puchtel, Jeanne Lindwall, Kiril Mirintchev, Kristine Westerberg, Myrna Arevalo and Matt Rodgers

Members Absent: John Hewko

Staff Present: Neighborhood and Land Use Planner Meagan Jones, and Zoning Administrator Melissa Klotz

Presiding Member: Matt Rodgers

Call to Order

Chair Rodgers opened the meeting at 7:02 PM. A roll call was then done and a quorum was determined to be present.

Approval of January 10th, 2023 Meeting Minutes

Chair Rodgers stated minutes from January 10th, 2024, are not available; therefore, approval is deferred to the next meeting.

Old Business

A. Public Hearing: Appeal | 2649 Crawford Avenue | 23ZMJV-0070 Michele Walker, property owner, appeals the determination of Minor Variation 23ZMNV-0057 at 2649 Crawford Avenue. The Applicant originally requested, and was subsequently denied, zoning relief to construct a 20' x 20' detached garage within the front yard, where detached garages are only allowed in rear yards (Section 6-4-6-3) in the R2 Single Family Residential District. The Land Use Commission is the determining body for this case in accordance with Section 6-3-8-8 of the Evanston Zoning Code. PINs: 05-33-311-015-0000, 05-33-311-016-0000.

The applicants presented changes made based on the commission's previous discussion. The garage placement and driveway width were adjusted. Staff recommended approval.

Commissioner Questions

Chair Rodgers called for public comment. There was none.

Public Comment

Chair Rodgers called for public comment. There was none.

Chair Rodgers closed public testimony.

Deliberations

The Chair reviewed the Standards for Minor Variations (Section 6-3-8-12.A).

1. The practical difficulty is not self-created: Chair Rodgers acknowledged that the property in question is unique. They concurred that the practical difficulty leading to the need for a variation was not self-created by the property owner, so this standard is met.
2. The requested variation will not have a substantial adverse impact on the use, enjoyment or property values of adjoining properties: Chair Rodgers discussed the impact of placing a garage in the front yard and considered the surrounding properties. Given the unique shape of the property and the lack of opposition from neighboring properties, they concluded that there would be no substantial adverse impact, so this standard is met.
3. The requested variation is in keeping with the comprehensive general plan and the zoning ordinance: Chair Rodgers examined how the proposed variation aligns with the city's comprehensive general plan and zoning ordinance. They highlighted the importance of off-street parking, especially on busier streets, and found the proposal consistent with the goals outlined in both the comprehensive plan and zoning ordinance, so this standard is met.
4. The requested variation is consistent with the preservation policies set forth in the comprehensive general plan: Chair Rodgers noted that there were no specific preservation policy considerations raised during the meeting. As such, they deemed this standard not applicable to the case.
5. The requested variation requires the least deviation from the applicable regulation among the feasible options identified before the Zoning Administrator issues his/her decision regarding said variation: Chair Rodgers revisited the modifications made by the applicant in response to the commission's feedback. They acknowledged the adjustments to the garage placement and driveway width and found that the proposal now aligns with zoning regulations while minimizing deviations, so this standard is met

Commissioner Lindwall made a motion to grant the requested variation and overturn the Zoning Administrator's decision. Commissioner Westerberg seconded. Commissioner Westerberg clarified that this matter is not an overturning of the zoning

administrator's decision on anything erroneous, it's simply new information that has now been placed in front of the board. A roll call vote was taken and the motion passed unanimously with seven votes in favor.

Ayes: Arevalo, Lindwall, Halik, Westerberg, Puchtel, Mirintchev, and Rodgers

Nays:

Absent: Hewko

Communications

Ms. Jones stated that discussion on the comprehensive plan will take place on February 7th, 2024.

Public Comment

None

Adjournment

Chair Rodgers motioned to adjourn, Commissioner Westerberg seconded, and the motion carried, 7-0.

Adjourned 7:14 PM.

The next meeting of the Evanston Land Use Commission is to be held on **Wednesday, February 7th, 2024, at 7:00 PM, in the James C. Lytle Council Chambers in the Lorraine H. Morton Civic Center.**

Respectfully submitted,
Justin Bock, Administrative Lead

Reviewed by,
Meagan Jones, AICP, Neighborhood and Land Use Planner

1630 Orrington Avenue

Resale Establishment,
JBS Thrift Shop

Special Use
23ZMJV-0069

LUC Recommending Body



Memorandum

To: Chair and Members of the Land Use Commission

From: Melissa Klotz, Zoning Administrator

CC: Sarah Flax, Director of Community Development
Elizabeth Williams, Planning Manager

Subject: Special Use – Resale Establishment
JBS Thrift Shop
1630 Orrington Avenue, 23ZMJV-0069

Date: February 22, 2024

Request

Luz Garcia, business operator, requests a special use for a Resale Establishment, JBS Thrift Co., in the D3 Downtown Core Development District (Section 6-11-4-3). The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-5-8 of the Evanston Zoning Code.

Update

The special use for a Resale Establishment, JBS Thrift Co., was recommended for approval with conditions by the Land Use Commission on January 10, 2024. The request was then heard by the Planning & Development Committee on February 12, 2024, where it was referred back to the Land Use Commission for additional consideration.

The request was sent back to the Commission following the testimony of the adjacent business operator Vivian Killebrew of Stepping Out on Faith, which is also a Resale Establishment and is located in the space next door at 1632 Orrington Avenue.

Stepping Out on Faith is a consignment Resale Establishment that has operated at 1632 Orrington Avenue for approximately 15 years. City records indicate the space transitioned from a retail use to a Resale Establishment without special use approval. The newly proposed Resale Establishment at 1630 Orrington, JBS Thrift, will not operate on consignment. Stepping Out on Faith was not mentioned in the previous Land Use Commission memo that noted at least one other Resale Establishment exists in the downtown, Crossroads Trading, at 1730 Sherman Avenue.

The Property Manager for the entire property, which includes both 1630 and 1632 Orrington Avenue, did speak with Ms. Killebrew of Stepping Out on Faith about the potential new Resale Establishment next door, though it appears there was miscommunication regarding what would be sold and therefore how/if it would impact the existing business. Correspondence from Property Manager Jim Nash is attached.

When the Land Use Commission considered the Standards for Special Use at the January 10, 2024 LUC meeting, Commissioners noted there are other similar businesses and Resale Establishments in the area and on the street, but did not specifically state Stepping Out on Faith is located next door at 1632 Orrington Avenue.

Action by the Commission

If the Commission determines the public hearing should be reopened to allow additional information and testimony, or deliberation should be reopened to reconsider the Standards for Special Use, a motion should be made to do so, and then a new recommendation can be made to the City Council.

The previous unanimous recommendation for approval included the following conditions:

1. Hours of operation shall not exceed 8am – 9pm, 7 days a week.
2. Employees shall not utilize street parking while working.
3. Deliveries shall occur via the rear entrance outside of rush hour traffic times.
4. The operator shall monitor the front entrance to ensure materials are not dumped outside overnight at the facility.
5. Substantial compliance with the documents and testimony on record.
6. Recordation of the special use ordinance with the Cook County Recorder of Deeds is required.

Attachments

Property Manager Correspondence

[Meeting Video – Planning & Development Committee, February 12, 2024](#)

[Land Use Commission Packet – January 10, 2024 \(begins on p. 12\)](#)

Draft Meeting Minutes Excerpt – Land Use Commission, January 10, 2024



Melissa Klotz <mklotz@cityofevanston.org>

RE: 1630 Orrington special use next steps

1 message

Jim Nash <jim@farnsworth-hill.com>

Thu, Feb 15, 2024 at 8:22 AM

To: Melissa Klotz <mklotz@cityofevanston.org>, Luz Garcia <parcera1212@icloud.com>

Cc: Elizabeth Williams <ewilliams@cityofevanston.org>, Paul Zalmezak <pzalmezak@cityofevanston.org>

Melissa:

I really appreciate your follow up and diligence is assisting Luz in her Special Use pursuits.

Unfortunately, I do not have an email outlining my discussions with Vivian about the use at 1630 Orrington.

My mistake for not confirming my two conversations with her about a resale shop next door to Stepping Out on Faith.

I did distinctly inform her of the use.

When I spoke with Vivian yesterday, she indicated I told her the use would be "selling sneakers".

She indicated she would welcome the use and that her biggest problem was not being acknowledged by the city as a resale shop.

I plan on being at the meeting on February 28 at 7pm.

Again, thank you and your team.

Jim

James R. Nash, Jr.

Farnsworth-Hill, Inc.

Managing Broker

708 Church Street Ste. #211

Evanston, IL. 60201

PH. 847.328.3330

Fax. 847.328.3071

From: Melissa Klotz <mklotz@cityofevanston.org>**Sent:** Wednesday, February 14, 2024 5:45 PM**To:** Luz Garcia <parcera1212@icloud.com>; Jim Nash <jim@farnsworth-hill.com>**Cc:** Elizabeth Williams <ewilliams@cityofevanston.org>; Paul Zalmezak <pzalmezak@cityofevanston.org>**Subject:** Re: 1630 Orrington special use next steps

Luz & Team,

I know you are frustrated with the vote from P&D Monday night. It was definitely not what any of us anticipated. P&D voted to send the Special Use request back to the Land Use Committee for clarification/discussion since there is another clothing resale shop next door. When the Land Use Commission originally discussed, they did note there are other similar businesses in the area, and that would be ok, but Councilmembers requested that be further clarified.

The Special Use request will be on the next Land Use Commission meeting agenda which is February 28th. The Commission can re-discuss it, or can state they already did and choose not to discuss it further. Please plan to attend this meeting just in case any new questions come up. Your case will be the very first case on the agenda so you won't need to stay long. The meeting begins at 7pm in Council Chambers just like the last Land Use Commission meeting you attended.

(Jim, if there is anything else you want to send me to include as an attachment that clarifies the next door property was previously aware of the request or explaining how the property owner feels about the situation, feel free.)

Once this makes a quick return to the Land Use Commission, we will get it back to P&D and City Council as fast as possible. Again I apologize for the unforeseen delay. Let me know if anyone has questions or would prefer to discuss this over the phone.

Thanks,

Melissa Klotz

Zoning Administrator

Community Development Department/Planning & Zoning Division

City of Evanston

2100 Ridge Ave. | Evanston, IL 60201 | 847-448-8153

mklotz@cityofevanston.org | cityofevanston.org

The City of Evanston is committed to promoting a Citywide culture of accessibility and inclusivity. To request an accommodation for a program, service, or activity, please call 847-866-2919 to make an ADA service request or fill out a [request form online](#).

On Mon, Feb 12, 2024 at 5:36 PM Luz Garcia <parcera1212@icloud.com> wrote:

Enviado desde mi iPhone



MEETING MINUTES EXCERPT

LAND USE COMMISSION

Wednesday, January 10, 2024

7:00 PM

Lorraine H. Morton Civic Center, 2100 Ridge Avenue, James C. Lytle City Council Chambers

Members Present: George Halik, Max Puchtel, Jeanne Lindwall, Kiril Mirintchev, Kristine Westerberg, and Matt Rodgers

Members Absent: Myrna Arevalo, John Hewko, Brian Johnson,

Staff Present: Assistant City Attorney Brian George, Neighborhood and Land Use Planner Meagan Jones, and Zoning Administrator Melissa Klotz

Presiding Member: Matt Rodgers

Call to Order

Chair Rodgers opened the meeting at 7:03 PM. A roll call was then done and a quorum was determined to be present.

A. Public Hearing: Special Use | 1630 Orrington Avenue | 23ZMJV-0069

Luz Garcia, business operator, requests a special use for a Resale Establishment, JBS Thrift Co., in the D3 Downtown Core Development District (Section 6-11-4-3). The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-5-8 of the Evanston Zoning Code. PIN: 11-18-305-005-0000.

Ms. Luz Garcia introduced herself and gave a brief statement about her business.

Commissioner Questions

Commissioner Rodgers confirmed that the applicant would solicit customers to bring in second-hand clothes and items to be resold. Ms. Luz confirmed. Chair Rodgers then inquired about proposed hours for the business. Ms. Garcia confirmed that the hours would be noon to 8:00 PM daily, closed on Tuesdays. She will be the sole employee and deliveries will occur in the rear of the building.

Commissioner Puchtel asked if another thrift shop was at that address. It was confirmed that there was an existing one on the same block.

Public Comment

Chair Rodgers called for public comment. There was none.

Chair Rodgers closed public testimony.

Deliberations

Commissioner Lindwall confirmed that there is an existing resale shop on Sherman Ave and has not seen any issues with it. The proposed business will fill a vacant storefront.

The Chair reviewed the Standards for Special Uses (Section 6-3-5-10).

1. Is one of the listed special uses for the zoning district in which the property lies: Chair Rodgers stated that a resale shop is listed as a Special Use in D3 Downtown Core District so the standard is met.
2. Complies with the purposes and the policies of the Comprehensive General Plan and the Zoning Ordinance as amended from time to time: Chair Rodgers said that the City is looking to fill vacant storefronts and the applicant is someone wishing to start a small business, so the standard is met.
3. Will not cause a negative cumulative effect, when its effect is considered in conjunction with the cumulative effect of various special uses of all types on the immediate neighborhood and the effect of the proposed type of special use upon the City as a whole: Chair Rodgers stated that there has been testimony that there is an existing resale shop in the area but due to the nature of the businesses not selling the same items there is no direct competition and the proposed business will be filling a currently vacant storefront, so the standard is met.
4. Does not interfere with or diminish the value of property in the neighborhood: Chair Rodgers stated that again going to the point that the proposed resale shop will be going into a vacant space, the standard is met.
5. Is adequately served by public facilities and services: Chair Rodgers stated that the resale shop will be going into an existing building, there is no reason to believe that it would not be, so the standard is met.
6. Does not cause undue traffic congestion: Chair Rodgers mentioned that there was some discussion regarding clothing drop-off being in the rear and asked that a condition be added to keep an eye on that ensure that no drop-offs occur in the front of the business and outside of business hours, so the standard would be met.
7. Preserves significant historical and architectural resources: Chair Rodgers stated he does not believe there are any applicable to the project.
8. Preserves significant natural and environmental resources: Chair Rodgers said that no changes are being proposed to the site plan, so the standard is met.
9. Complies with all other applicable regulations of the district in which it is located and other applicable ordinances, except to the extent such regulations have been modified through the planned development process or the grant of a variation: Chair Rodgers stated that the project complies and anticipates that the business

will comply with other regulations such as business licensing, so this standard will be met.

Chair Rodgers asked for Commissioner comments on the standards. There were none. Commissioner Halik asked for clarification on where there is access to the rear of the building. Commissioner Lindwall confirmed that there is alley access and that typically these stores are similar to a consignment store.

Commissioner Westerberg made a motion to recommend approval of the Special Use for a resale establishment located at 1630 Orrington Avenue, zoning case number 23ZMJV-0069, with the following conditions:

- 1. Hours of operation shall not exceed 8am - 9pm, 7 days a week.**
- 2. Employees shall not utilize street parking while working.**
- 3. Deliveries shall occur via the rear entrance outside of rush hour traffic times.**
- 4. Substantial compliance with the documents and testimony on record.**
- 5. Recordation of the special use ordinance with the Cook County Recorder of Deeds is required.**
- 6. The applicant monitors the front entrance to make sure materials are not dumped overnight at that location.**

Second by Commissioner Lindwall. A roll call vote was taken, and the motion carried, 6-0.

Ayes: Halik, Lindwall, Mirintchev, Puchtel, Westerberg, and Rodgers

Nays: None

Absent: Arevalo, Hewko, Johnson

518 & 520 Barton Avenue

Major Variation
24ZMJV-0002

LUC Determining Body



Memorandum

To: Chair and Members of the Land Use Commission

From: Melissa Klotz, Zoning Administrator

CC: Sarah Flax, Director of Community Development
Elizabeth Williams, Planning Manager

Subject: Major Variation to Eliminate Required Parking Areas
518 & 520 Barton Avenue | 24ZMJV-0002

Date: February 21, 2024

Request

Michael Willman, potential purchaser, submits for a Major Variation to eliminate unimproved required parking areas where 3 parking spaces are required for the existing 2 townhomes, for the intention of combining the area with the adjacent property at 1210 South Boulevard for future construction of a detached garage. The applicant requests zero parking spaces where 3 parking spaces are required for 2 townhomes (Section 6-16-3-5 Table 16-B) in the R2 Single Family Residential District. The Land Use Commission is the determining body for this case in accordance with Section 6-3-8 of the Evanston Zoning Code.

Notice

The Application has been filed in conformance with applicable procedural and public notice requirements including publication in the Evanston Review on February 8, 2024.

General Information

Applicant: Michael Willman
1210 South Boulevard
Evanston, IL 60202

Owners: Nancy Meyer
518 Barton Avenue
Evanston, IL 60202

Albert R. Ferguson, Jr.
520 Barton Avenue
Evanston, IL 60202

PINs: 11-19-325-024-0000, 11-19-325-025-0000

Analysis

518 & 520 Barton Avenue are two of five townhomes at the southwest corner of Barton Avenue and South Boulevard. The subject property is located in the R2 Single Family Residential District so the existing townhomes are a legally-nonconforming use.

The townhomes face Barton Avenue (though the required zoning front yard is South Boulevard and Barton Avenue is the required street side yard). The total zoning lot, which is approximately 13,750 square feet, includes five PINs that designate the townhome ownership and required open parking area for each individual owner. A curb cut and gravel driveway apron exist that lead to the parking areas, but the parking areas themselves are not improved to use for vehicle parking and instead are heavily wooded (mostly with scrub brush). The property is surrounded primarily by single family homes and Kamen Park to the north.

Surrounding Zoning and Land Uses	Zoning District	Land Use
North	R2 Single Family Residential District OS Open Space	Single family residences Kamen Park
South	R2 Single Family Residential District R3 Two Family Residential District	Single family residences Oakton School
East	R2 Single Family Residential District	Single family residences
West	R2 Single Family Residential District	Single family residences

Proposal

The applicant owns the single family residence at 1210 South Boulevard and hopes to purchase the unimproved parking area that abuts the rear of the property for the purpose of increasing the property size at 1210 South Boulevard and constructing a detached garage off of the alley on the property.

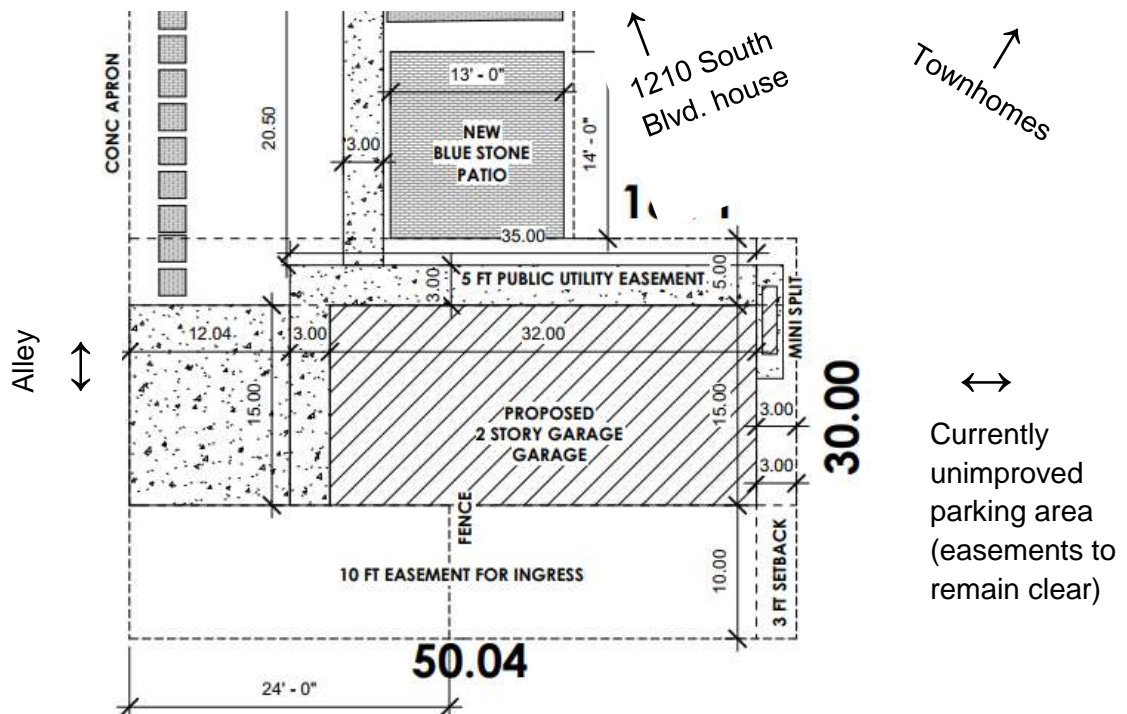
The townhomes at 516-524 Barton Avenue were constructed around 1958. Each of the five townhome units were required to have 1.5 parking spaces at the time, so the townhome development was constructed with open parking areas demarcated by tax PINs for each unit. The end unit (516 Barton Avenue) therefore features an open parking area that is contiguous with that owners' unit, while the other four units feature parking areas that extend west towards the alley. None of the parking areas were ever cleared of brush or improved with gravel or hardscape, and are not currently in a usable state to drive or park on. While not improved, the zoning lot and PINs for each unit (and the units' corresponding parking area with the same PIN) clarify the intent of the townhome development layout:



The parking areas for 518 & 520 Barton Avenue are the furthest west of the townhome parking, and abut the 1210 South Boulevard property directly to the north.

The townhome development was constructed prior to current zoning regulations that do not allow townhomes in the R2 Single Family Residential District. The entire zoning lot is approximately 13,750 square feet and will reduce to 12,250 square feet if the unimproved parking areas for 518 and 520 Barton Avenue are removed. All zoning requirements (other than the requested parking variation) including building lot coverage and impervious surface coverage remain compliant at the townhome lot if two of the unimproved parking areas are removed. There is no minimum lot size requirement for the townhome development since townhomes are a legally nonconforming use that do not have a required lot size in the R2 District.

Each parking area is 25' in width by 30' in depth. The northernmost 5' is a utility easement and the southernmost 10' is an ingress/egress easement that extends from the alley to Barton Avenue for the benefit of all parking area owners, which leaves a 15' deep buildable area (or 20' deep surface parking area) that complies with all easements. In actuality, one surface parking space for the townhome complex exists on a gravel driveway apron off of Barton Avenue that is likely the parking for the end unit (516 Barton Avenue). Evergreen landscaping exists along the Barton Avenue property line that blocks the parking area from extending into the private property and/or parking



If the variation is granted and the unimproved parking areas are combined with the existing 1210 South Boulevard property, the new zoning lot at 1210 South Boulevard will increase from 4,473 square feet to 5,972.9 square feet and comply with the 5,000 square foot minimum lot size of the R2 District for single family residences. All zoning requirements relating to the future garage are met including setbacks, building lot coverage, and impervious surface coverage.

The property owner of the townhome unit at 522 Barton Avenue did inquire with the City about the intent of 1210 South Boulevard to construct a garage on the parking area in question prior to submission of the variation request. The property owner was concerned whether the future garage would cut off access to the (unimproved) parking area owned by 522 Barton Avenue. The proposed garage (which is compliantly located and is not a part of this variation request) is not located within the 10' wide access easement that provides access to all of the parking areas, which will remain so that all parking areas could be accessed via the alley as the easement requires. Staff is not aware of any other objections or comments.

Department Recommendation

The Community Development Department believes the request is appropriate since the parking area in question has never been improved or used for parking. Staff recommends Commissioners review the information provided to determine if the Standards are met. If the Land Use Commission determines the Standards for Major Variations are met, the Commission should approve the requested zoning relief.

Standards for Approval

In order for the Land Use Commission to approve the requested variation, the proposed request must meet the Standards for Major Variation (Section 6-3-8-12-E):

1. The requested variation will not have a substantial adverse impact on the use, enjoyment or property values of adjoining properties.
2. The requested variation is in keeping with the intent of the zoning ordinance.
3. The alleged hardship or practical difficulty is peculiar to the property.
4. The property owner would suffer a particular hardship or practical difficulty as distinguished from a mere inconvenience if the strict letter of the regulations were to be carried out.
5. Either the purpose of the variation is not based exclusively upon a desire to extract additional income from the property, or, while the granting of the variation will result in additional income to the applicant and while the applicant for the variation may not have demonstrated that the application is not based exclusively upon a desire to extract additional income from the property, the Land Use Commission or the City Council, depending on final jurisdiction under Section 6-3-8-2 of this Chapter, has found that public benefits to the surrounding neighborhood and the City as a whole will be derived from approval of the variation, that include, but are not limited to, any of the standards of Section 6-3-6-3 of this Chapter.

6. The alleged difficulty or hardship has not been created by any person having an interest in the property.
7. The requested variation requires the least deviation from the applicable regulation among the feasible options identified before the Land Use Commission issues its decision or recommendation to the City Council regarding said variation.

Action by the Commission

After making findings of fact as to whether or not the requested variation meets the aforementioned standards, the Land Use Commission may approve, approve with conditions, or deny the requested variation. The Land Use Commission is the determining body for this request pursuant to Section 6-3-8-10(C) of the Evanston City Code.

Attachments

Major Variation Application
Aerial Photo
Street Views
Zoning Map
Plats of Survey
Site Plans
Public Notice
Staff Comments



MAJOR VARIATION APPLICATION

CASE #: **24ZMJV-0002**

REC'D: 01-16-24 (MG)

zoning office use only

1. PROPERTY

Address 518 & 520 Barton St.

Permanent Identification Number(s):

PIN 1: 111-19-325-024-0000 PIN 2: 111-19-325-025-0000

(Note: An accurate plat of survey for all properties that are subject to this application **must** be submitted with the application.)

2. APPLICANT

Name: Michael Willman

Organization: _____

Address: 1210 South Blvd.

City, State, Zip: Evanston, IL 60202

Phone: Work: 847-864-5070 Home: _____ Cell/Other: 847-477-2087

Fax: Work: _____ Home: _____

E-mail: mike@blueskyinvestments.net

Please circle the primary means of contact.

What is the relationship of the applicant to the property owner?

- | | | | |
|--|---|---|--|
| <input type="checkbox"/> same | <input type="checkbox"/> builder/contractor | <input checked="" type="checkbox"/> potential purchaser | <input type="checkbox"/> potential lessee |
| <input type="checkbox"/> architect | <input type="checkbox"/> attorney | <input type="checkbox"/> lessee | <input type="checkbox"/> real estate agent |
| <input type="checkbox"/> officer of board of directors | <input type="checkbox"/> other: _____ | | |

3. PROPERTY OWNER (Required if different than applicant. All property owners must be listed and must sign below.)

Name(s) or Organization: Nancy Meyer

Address: 518 Barton Avenue

City, State, Zip: Evanston, IL 60202

Phone: Work: _____ Home: _____ Cell/Other: 414-242-1206

Fax: Work: _____ Home: _____

E-mail: urdvine@gmail.com

Please circle the primary means of contact.

"By signing below, I give my permission for the Applicant named above to act as my agent in all matters concerning this application. I understand that the Applicant will be the primary contact for information and decisions during the processing of this application, and I may not be contacted directly by the City of Evanston. I understand as well that I may change the Applicant for this application at any time by contacting the Zoning Office in writing."

Nancy Meyer
Property Owner(s) Signature(s) -- **REQUIRED**

11/11/2023
Date

4. SIGNATURE

"I certify that all of the above information and all statements, information and exhibits that I am submitting in conjunction with this application are true and accurate to the best of my knowledge."

Michael Willman
Applicant Signature -- **REQUIRED**

12-7-2023
Date

5. REQUIRED DOCUMENTS AND MATERIALS

The following are required to be submitted with this application:

- ☒ (This) Completed and Signed Application Form
- ☐ Plat of Survey Date of Survey: _____
- ☐ Project Site Plan Date of Drawings: _____
- ☐ Plan or Graphic Drawings of Proposal (If needed, see notes)
- ☐ Non-Compliant Zoning Analysis
- ☐ Proof of Ownership Document Submitted: _____
- ☐ Application Fee (see zoning fees) Amount \$ _____ plus Deposit Fee \$150

Note: Incomplete applications will not be accepted. Although some of these materials may be on file with another City application, individual City applications must be complete with their own required documents.

Plat of Survey

- (1) One copy of plat of survey, drawn to scale, that accurately reflects current conditions.

Site Plan

- (1) One copy of site plan, drawn to scale, showing all dimensions.

Plan or Graphic Drawings of Proposal

A Major Variance application requires graphic representations for any elevated proposal-- garages, home additions, roofed porches, etc. Applications for a/c units, driveways, concrete walks do not need graphic drawings; their proposed locations on the submitted site plan will suffice.

Proof of Ownership

Accepted documents for Proof of Ownership include: a deed, mortgage, contract to purchase, closing documents (price may be blacked out on submitted documents).

- Tax bill will not be accepted as Proof of Ownership.

Non-Compliant Zoning Analysis

This document informed you that the proposed project is non-compliant with the Zoning Code and is eligible to apply for a major variance.

Application Fee

*** IMPORTANT NOTE:** Except for owner-occupied residents in districts R1, R2 & R3, a separate application fee will be assessed for each variation requested.

The fee application fee depends on your zoning district (see zoning fees). Acceptable forms of payment are: Cash, Check, or Credit Card.



City of
Evanston

MAJOR VARIATION APPLICATION

OFFICE OF ZONING

CASE #

1. PROPERTY

Address 518 & 520 Barton St.

Permanent Identification Number(s):

PIN 1: 111-19-325-024-0000 PIN 2: 111-19-325-025-0000

(Note: An accurate plat of survey for all properties that are subject to this application must be submitted with the application.)

2. APPLICANT

Name: Michael Willman

Organization:

Address: 1210 South Blvd.

City, State, Zip: Evanston, IL 60202

Phone: Work: 847-864-5070 Home: Cell/Other: 847-477-2087

Fax: Work: Home:

E-mail: mike@blueskyinvestments.net

Please circle the primary means of contact.

What is the relationship of the applicant to the property owner?

- ☐ same ☐ builder/contractor ☒ potential purchaser ☐ potential lessee
☐ architect ☐ attorney ☐ lessee ☐ real estate agent
☐ officer of board of directors ☐ other:

3. PROPERTY OWNER (Required if different than applicant. All property owners must be listed and must sign below.)

Name(s) or Organization: Albert R Fejerman, Jr.

Address: 520 Barton Ave

City, State, Zip: EVANSTON, IL 60202

Phone: Work: Home: Cell/Other: 224 406 3881

Fax: Work: Home:

E-mail: the.mo@55c6tel.net

Please circle the primary means of contact.

"By signing below, I give my permission for the Applicant named above to act as my agent in all matters concerning this application. I understand that the Applicant will be the primary contact for information and decisions during the processing of this application, and I may not be contacted directly by the City of Evanston. I understand as well that I may change the Applicant for this application at any time by contacting the Zoning Office in writing."

Albert R Fejerman, Jr.
Property Owner(s) Signature(s) -- REQUIRED

12-3-2023
Date

4. SIGNATURE

"I certify that all of the above information and all statements, information and exhibits that I am submitting in conjunction with this application are true and accurate to the best of my knowledge."

Michael Willman
Applicant Signature -- REQUIRED

12-3-2023
Date

6. PROPOSED PROJECT

A. Briefly describe the proposed project:

purchase empty lots of townhouse owners
and build a new garage with office above.

B. Have you applied for a Building Permit for this project? ☒ NO ☐ YES

(Date Applied: _____ Building Permit Application #: _____)

REQUESTED VARIATIONS

What specific variations are you requesting? For each variation, indicate (A) the specific section of the Zoning Ordinance that identifies the requirement, (B) the requirement (minimum or maximum) from which you seek relief, and (C) the amount of the exception to this requirement you request the City to grant.
(See the Zoning Analysis Summary Sheet for your project's information)

(A) Section (ex. "6-8-3-4")	(B) Requirement to be Varied (ex. "requires a minimum front yard setback of 27 feet")	(C) Requested Variation (ex. "a front yard setback of 25.25 feet")
1		
6-16-3-5	requires 1.5 parking stalls per single family attached dwelling unit for 3 parking stalls total.	allow for zero parking stalls.

* For multiple variations, see "IMPORTANT NOTE" under "Application Fee & Transcript Deposit" on Page 2.

2		
3		

- B.** A variation's purpose is to provide relief from specified provisions of the zoning ordinance that may unduly impact property due to the property's particular peculiarity and special characteristics. What characteristics of your property prevent compliance with the Zoning Ordinance requirements?

1. The requested variation will not have a substantial adverse impact on the use, enjoyment, or property values of adjoining (touching or joining at any point, line, or boundary) properties.

2. The property owner would suffer a particular hardship or practical difficulty as distinguished from a mere inconvenience if the strict letter of the regulations were to be carried out.

3. Either...

- (a) the purpose of the variation is not based exclusively upon a desire to extract income from the property, or
- (b) while the granting of the variation will result in additional income to the applicant and while the applicant for the variation may not have demonstrated that the application is not based exclusively upon a desire to extract additional income from the property, the Zoning Board of Appeals or the City Council, depending upon final jurisdiction under §6-3-8-2, has found that public benefits to the surrounding neighborhood and the City as a whole will be derived from approval of the variation, that include, but are not limited to any of the standards of §6-3-6-3.

4. The alleged difficulty or hardship has not been self-created, if so, please explain.

5. Have other alternatives been considered, and if so, why would they not work?



City of Evanston

DISCLOSURE STATEMENT FOR ZONING HEARINGS

City of
Evanston

(This form is required for all Major Variances and Special Use Applications)

The Evanston City Code, Title 1, Chapter 18, requires any persons or entities who request the City Council to grant zoning amendments, variations, or special uses, including planned developments, to make the following disclosures of information. The applicant is responsible for keeping the disclosure information current until the City Council has taken action on the application. For all hearings, this information is used to avoid conflicts of interest on the part of decision-makers.

1. If applicant is an agent or designee, list the name, address, phone, fax, and any other contact information of the proposed user of the land for which this application for zoning relief is made:
Does not apply.

Michael Willman
1710 South Blvd. Evanston IL 60202
847-477-2087
mike@blueskyinvestments.net

2. If a person or organization owns or controls the proposed land user, list the name, address, phone, fax, and any other contact information of person or entity having constructive control of the proposed land user. Same as number _____ above, or indicated below. (An example of this situation is if the land user is a division or subsidiary of another person or organization.)

3. List the name, address, phone, fax, and any other contact information of person or entity holding title to the subject property. Same as number _____ above, or indicated below.

Nancy Meyer 518 Barton Ave. Evanston, IL 60202

Rick Ferguson 520 Barton Ave. Evanston, IL 60202

4. List the name, address, phone, fax, and any other contact information of person or entity having constructive control of the subject property. Same as number _____ above, or indicated below.

If Applicant or Proposed Land User is a Corporation

Any corporation required by law to file a statement with any other governmental agency providing substantially the information required below may submit a copy of this statement in lieu of completing a and b below.

- a. Names and addresses of all officers and directors.

- b. Names, addresses, and percentage of interest of all shareholders. If there are fewer than 33 shareholders, or shareholders holding 3% or more of the ownership interest in the corporation or if there are more than 33 shareholders.

If Applicant or Proposed Land User is not a Corporation

Name, address, percentage of interest, and relationship to applicant, of each partner, associate, person holding a beneficial interest, or other person having an interest in the entity applying, or in whose interest one is applying, for the zoning relief.

Michael Willman
1210 South Blvd. Evanston, IL 60202
847-477-2087

Zoning Variance Questions – 1210 South Blvd.

B. We would like to build a two-story garage with a room above to provide space for a home office for an Evanston financial planning business and a small classroom for tutoring Evanston students in reading and math. We cannot build a second story on the site of the existing garage because the second story would be too close to the Com Ed electric overhead wires that are part of a utility easement behind the existing garage. Larry Schank from Com Ed came to the site and verified this.

1. We are proposing to build the garage on two empty parcels of land behind the existing garage that we would purchase from townhouse owners on a neighboring street. These parcels of land were reserved for parking for the townhouse owners, but have never been used for parking or anything else in the 70 plus years since the townhouses were built. The parcels of land are overgrown with weeds every summer and become homes for pest animals like rats, racoons, and opossums. The parcels also have been dumping grounds for garbage and construction waste in past years. The new garage would border the alley and our yard on two sides, a neighbor's backyard on one side and two other empty parcels owned by the townhouse owners on one side. We would install a new wood fence around the garage. The new garage would put an end to the overgrown weeds and pest animals, would beautify the area and increase property values and also provide the office and tutoring space.

2. We cannot build a two-story garage on our existing lot because of the overhead powerlines and the utility easement behind our existing garage. Removing, burying and reinstalling overhead powerlines, cable TV, internet and phone lines would be cost prohibitive at a cost of \$35k or more. Also, if the garage was not built, the empty parcels would continue to be overgrown with weeds and be a breeding ground for nuisance animals. The current owners of the empty lots have been frequently cited over the past several years by the city of Evanston and told to cut down weeds and remove debris from the parcels.

3. We are not seeking a variation to extract income from the property.

4. The alleged difficulty has not been self-created.

5. The only other alternative to building a two-story garage for offices and tutoring space would be to build a home addition into our existing yard. This would not work because our house is too close to our existing garage to build on and our house and hard surfaces are up to the limit in terms of coverage of our lot.



South Blvd

Barton Ave



View of townhomes/parking from Barton Avenue

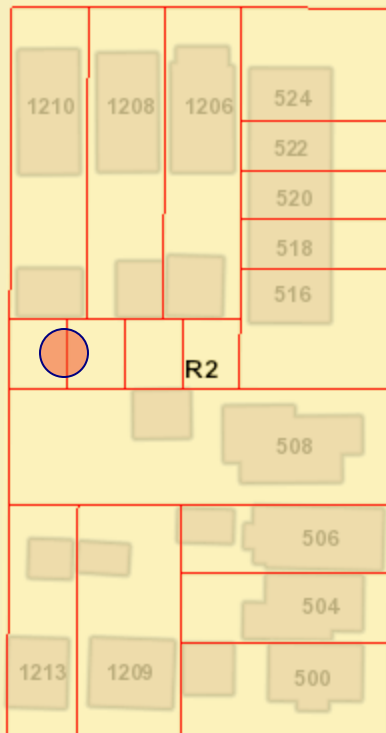
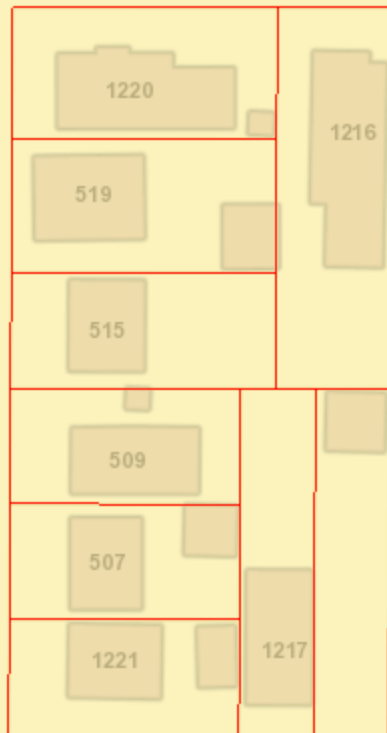


View of alley looking north (parking area is the tree/vegetatio area on the right side of the alley; 1210 South Blvd house is in the distance:

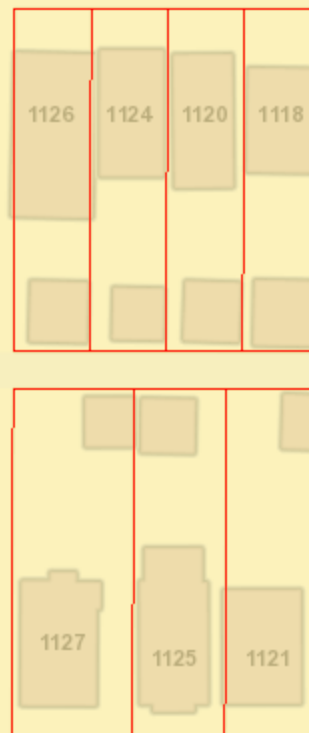


OS

South Blvd

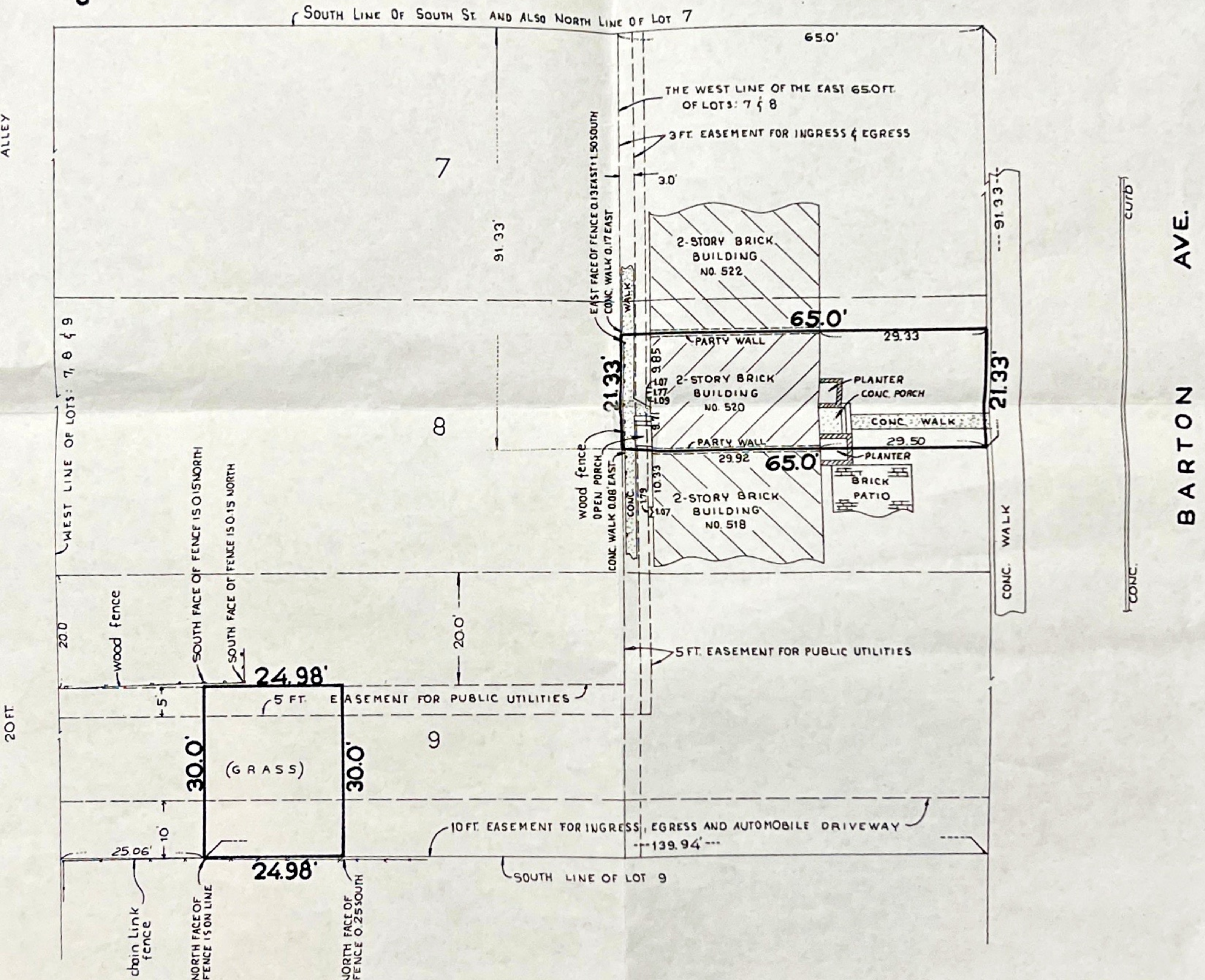


Barton Ave



PLAT OF SURVEY

THE SOUTH 21.33 FEET OF THE NORTH 91.33 FEET OF THE EAST 65.0 FEET OF LOTS 7 AND 8 (TAKEN AS A TRACT) TOGETHER WITH THE WEST 24.98 FEET OF THE EAST 139.94 FEET (EXCEPT THE NORTH 20.0 FEET THEREOF) OF LOT 9 ALL IN BLOCK 3 IN KEENEY AND BARTON'S RIDGE SUBDIVISION IN SOUTH EVANSTON BEING A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 19, TOWNSHIP 41 NORTH, RANGE 14 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



✓ CHECK (✓) IN BOX MEANS THIS SURVEY HAS BEEN MADE FOR USE IN CONNECTION WITH A REAL ESTATE OR MORTGAGE LOAN TRANSACTION AND IS NOT TO BE USED FOR CONSTRUCTION. DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING.

BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED IN THE MAPS. OTHERWISE REFER TO YOUR DEED OR ABSTRACT.

COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE.

ORDER NO. **031581**
SCALE: 0' 16' 32' FEET

DATE January 2, 2004
ORDERED BY John L. Emmons, Ltd.

DECIMALS OF A FOOT AND THEIR EQUIVALENT IN INCHES AND FRACTIONS THEREOF

01 = 1/8"	07 = 7/8"	50 = 6"
02 = 1/4"	08 = 1"	58 = 7"
03 = 3/8"	17 = 2"	67 = 8"
04 = 1/2"	25 = 3"	75 = 9"
05 = 5/8"	33 = 4"	83 = 10"
06 = 3/4"	42 = 5"	92 = 11"
		100 = 12"



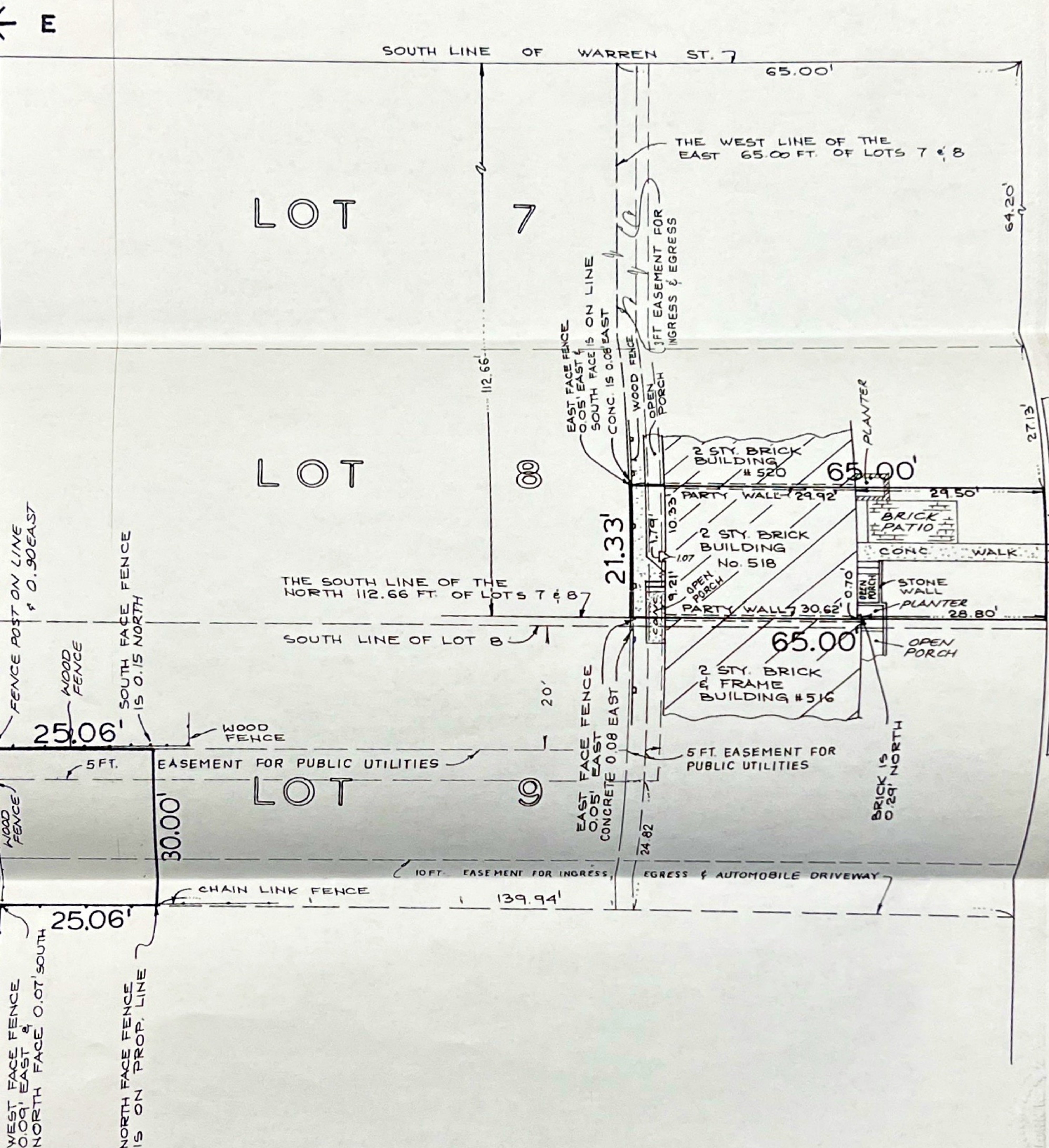
STATE OF ILLINOIS } SS.
COUNTY OF COOK }

WE, CERTIFIED SURVEY CO. DO HEREBY CERTIFY THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

John M. Misturak
PROFESSIONAL ILLINOIS LAND SURVEYOR

PLAT OF SURVEY

THE SOUTH 21.33 FEET OF THE NORTH 112.66 FEET OF THE EAST 65.0 FEET OF LOTS 7 AND 8 (TAKEN FROM TRACT) TOGETHER WITH LOT 9 (EXCEPT THE EAST 139.94 FEET AND EXCEPT THE NORTH 20.0 FEET OF LOT 9), ALL IN BLOCK 3 IN KEENEY AND BARTON'S RIDGE SUBDIVISION IN SOUTH EVANSTON, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 37 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

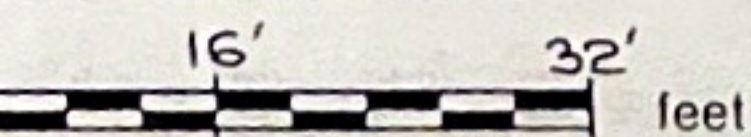


THIS SURVEY HAS BEEN MADE IN CONNECTION WITH A REAL ESTATE TRANSACTION AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. NOT TO BE ASSUMED FROM SCALING

BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED IN THE MAPS. OTHERWISE REFER TO YOUR DEED OR ABSTRACT

COMPARE ALL POINTS BEFORE BUILDING BY SAME AND ANY DIFFERENCE

31709



Decimals of a foot and their equivalent in inches and fractions thereof.

01 = 1/8"	07 = 7/8"	50 = 6"
02 = 1/4"	08 = 1"	58 = 7"
03 = 3/8"	17 = 2"	67 = 8"



State of Illinois } ss.
County of Cook }

We, CERTIFIED SURVEY CO. do hereby certify that we have surveyed the above described property and that the drawing is a correct representation of said survey.

PROFESSIONALS ASSOCIATED - MM SURVEY CO.

BOUNDARY * ALTA * TOPOGRAPHIC * CONDOMINIUM SURVEYS
7100 NORTH TRIPP AVENUE, LINCOLNWOOD, ILLINOIS 60712
PROFESSIONAL DESIGN FIRM NO. 184-003023

PROFESSIONALS ASSOCIATED
PHONE: (847)-675-3000
FAX: (847)-675-2167
E-MAIL: pa@professionalsassociated.com
www.professionalsassociated.com

PLAT OF SURVEY OF

MM SURVEY
PHONE: (773)-282-5900
FAX: (773)-282-9424
E-MAIL: info@MMSurveyingChicago.com
www.mmsurveyingchicago.com



GRAPHIC SCALE

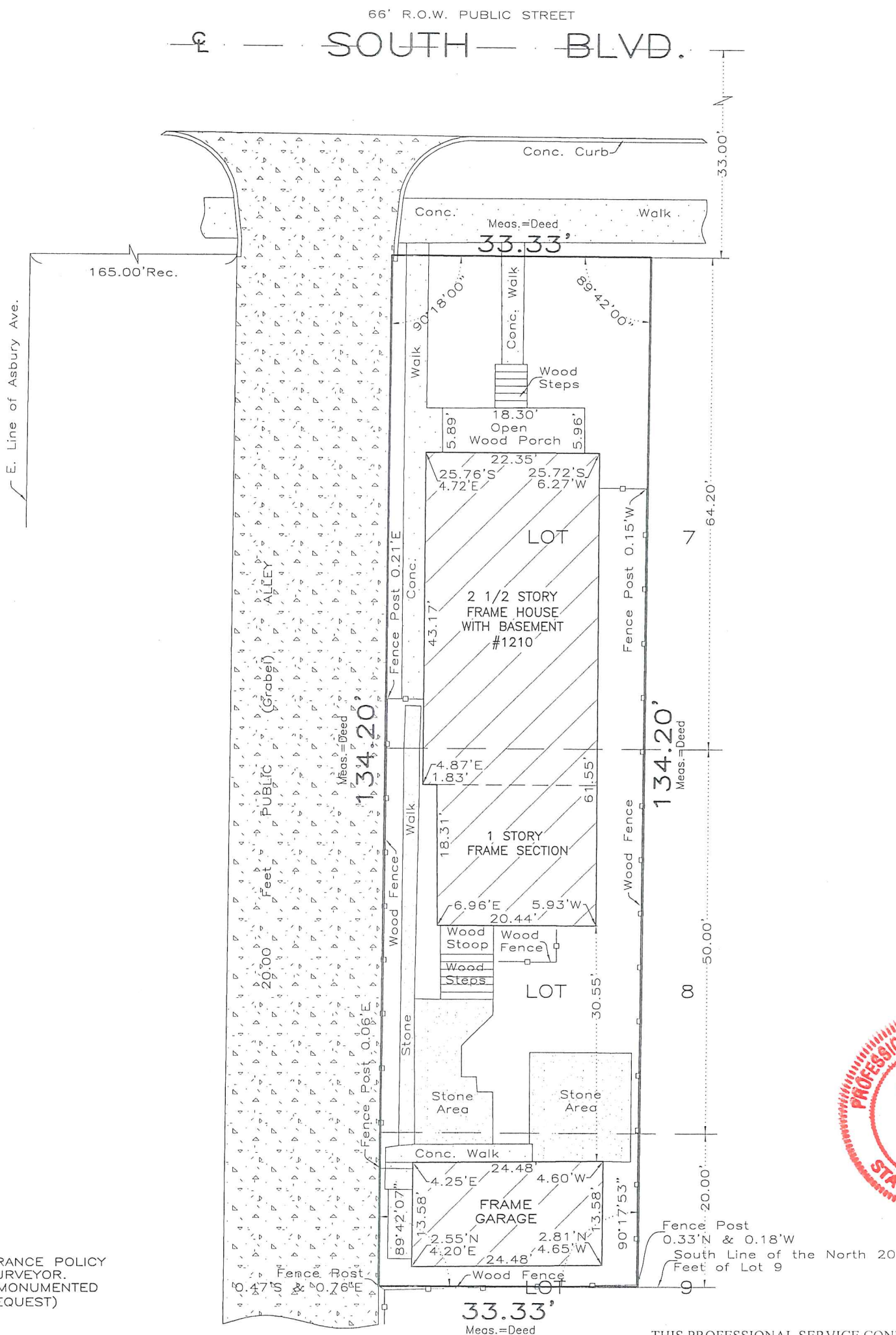
0 16

(IN FEET)
1 inch = 16 ft.

THE WEST 33 1/3 FEET OF LOTS 7 AND 8 AND THE WEST 33 1/3 FEET OF THE NORTH 20 FEET OF LOT 9 IN BLOCK 3 IN KEENEY AND BARTON'S RIDGE SUBDIVISION IN SOUTH EVANSTON, BEING A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 19, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

LAND TOTAL AREA: 4,473 SQ.FT. = 0.103 ACRES.

COMMONLY KNOWN AS: 1210 SOUTH BOULEVARD, EVANSTON, ILLINOIS.



NOTES:
-COPY OF TITLE INSURANCE POLICY NOT PROVIDED TO SURVEYOR.
-NO CORNERS WERE MONUMENTED (PER CUSTOMER'S REQUEST)

THE LEGAL DESCRIPTION SHOWN ON THE PLAT HEREON DRAWN IS A COPY OF THE ORDER, AND FOR ACCURACY SHOULD BE COMPARED WITH THE TITLE OR DEED. DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING.

BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED IN THE MAPS, OTHERWISE REFER TO YOUR DEED OR ABSTRACT.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

THIS SURVEY HAS BEEN ORDERED FOR SURFACE DIMENSIONS ONLY, NOT FOR ELEVATIONS. THIS IS NOT AN ALTA SURVEY.

COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE.

State of Illinois
County of Cook s.s.

We, PROFESSIONALS ASSOCIATED - MM SURVEY CO, do hereby certify that we have surveyed the above described property and that, to the best of our knowledge, the plat hereon drawn is an accurate representation of said survey.

Date: May 10, 2022.

Zbigniew Domozych 035-3758
IL. PROF. LAND SURVEYOR - LICENSE EXP. DATE NOV. 30, 2022.

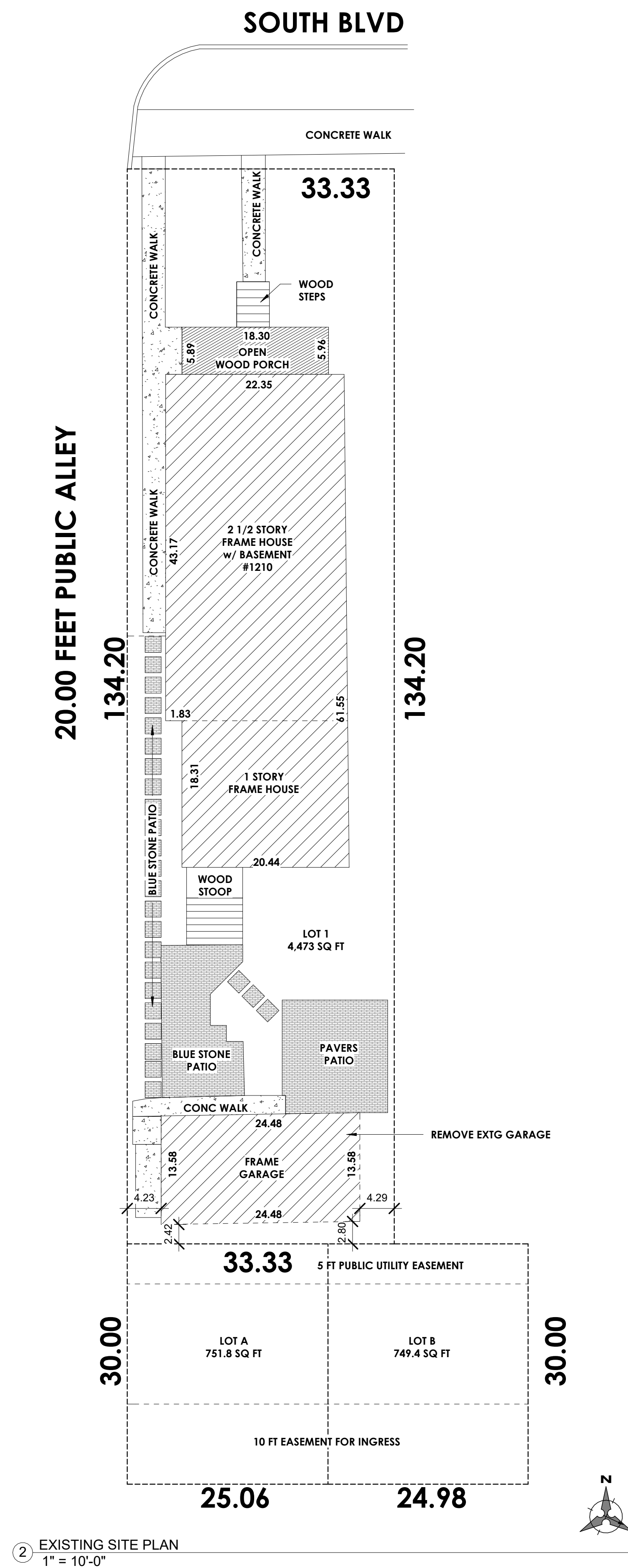
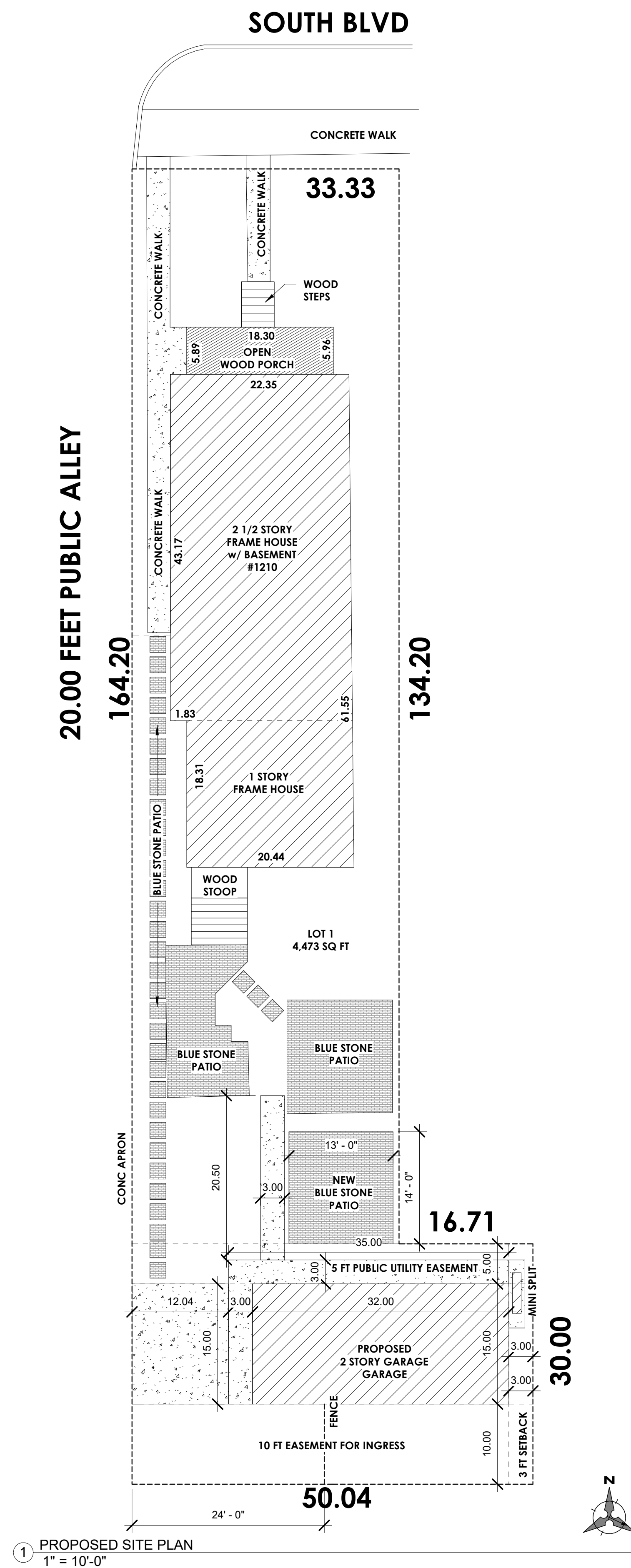
DRAWN BY: A.T.

Order No. 104720

Scale: 1 inch = 16 feet.

Date of Field Work: May 7, 2022.

Ordered by: BLUE SKY INVESTMENT PARTNERS, INC.



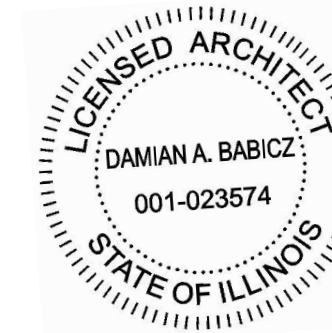
ENERGY CONSERVATION STATEMENT

I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THE ATTACHED PLANS

(x) FULLY COMPLY () NEED NOT COMPLY

SIGNED:

(Arch. S.E. or P.E.) Illinois License Number: 001-023574

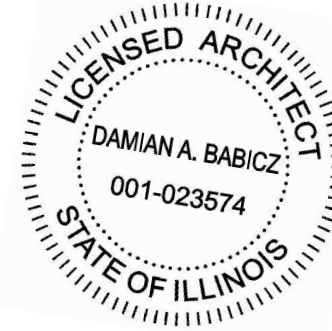


CERTIFICATION STATEMENT

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF CONFORM TO THE CURRENT EDITION OF THE BUILDING AND ZONING CODE.

SIGNED:

Illinois License Number: 001-023574 Exp: 11/2024
FIRM LICENSE NUMBER: 184-007502



ZONING CALCULATIONS

Type	Area Proposed
ZONING DISTRICT	R-2
NEW LOT AREA	5,974.09 SQ FT
BUILDING FOOTPRINT	1,353 SQ FT
EXTG WOOD PORCH 108 SQ FT X50% DIRT UNDER	54 SQ FT
EXTG WOOD STEPS FRONT 23 SQ FT X50% DIRT UNDER	12 SQ FT
EXTG WOOD STEPS REAR 68 SQ FT x 50% GRAVEL UNDER	34 SQ FT
EXTG PAVERS 454 SQ FT x75% BLUE STONE w/ GAPS	340 SQ FT
EXTG CONC WALK	41 SQ FT
PROPOSED PAVERS WALK 36 SQ FT x 75% BLUE STONE w/ GAPS	27 SQ FT
PROPOSED PAVERS PATIO 182 SQ FT x 75% BLUE STONE w/ GAPS	137 SQ FT
PROPOSED 2 STORY GARAGE	480 SQ FT
PROPOSED CONC APRON AND SIDEWALK	212 SQ FT
CONCRETE DRIVEWAY	181 SQ FT
TOTAL LOT COVERAGE	2,871 SQ FT
	~48%
BUILDING FOOTPRINT	1,353 SQ FT
EXTG WOOD PORCH 108 SQ FT X50% DIRT UNDER	54 SQ FT
PROPOSED GARAGE	480 SQ FT
BUILDING COVERAGE	1,887 SQ FT
	~31.6%

GENERAL NOTES

NOTICE TO CONTRACTOR:

1. THE ARCHITECT OF RECORD IS PROVIDING PLANS ONLY. NO OTHER TYPE OF ARCHITECTURAL SERVICE IS INTENDED OR IMPLIED. THESE PLANS ARE TO BE USED BY A COMPETENT LICENSED CONTRACTOR KNOWLEDGEABLE IN THE BUILDING TRADES, WHO WILL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AND BE RESPONSIBLE FOR THEM.
2. ADMINISTRATION OF THE CONTRACT WILL BE BY OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR AND THE OWNER SHALL BE SOLELY RESPONSIBLE FOR THE BUILDING CONSTRUCTION PROCESS MEANS AND METHODS AND JOBSITE SAFETY.
3. THE DRAWINGS INCLUDE THE DIMENSIONS OF THE PROJECT - THE DIMENSIONS OF THE BUILDING, MAJOR ARCHITECTURAL ELEMENTS, AND TYPE OF STRUCTURAL SYSTEM. THE DRAWINGS DO NOT DESCRIBE ALL THE WORK REQUIRED FOR SUCCESSFULLY COMPLETING THE PROJECT. BASED ON THE DRAWINGS, THE CONTRACTOR MUST DISCLOSE ALL ITEMS OF WORK AND FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
4. CONTRACTOR TO SITE VERIFY THE CONDITIONS OF EXISTING FOUNDATIONS UPON EXCAVATION AND DETERMINE STRUCTURAL STABILITY OF ASSUMED CONDITIONS. IF ISSUES ARISE, CONTRACTOR IS TO INFORM THE ARCHITECT IMMEDIATELY.
5. DIMENSIONS OF THE WORK REQUIRED TO COMPLETE THE ITEMS OF WORK INCLUDED WITHIN THE SCOPE OF THIS DOCUMENT WILL BE FINAL AND BINDING ON THE CONTRACTOR AND THE OWNER.
6. THE CONTRACTOR MUST THOROUGHLY EXAMINE THE DRAWINGS TO DETERMINE THE SCOPE AND THE INTENT OF THESE DOCUMENTS AND CONDITIONS. THE CONTRACTOR WILL BE SOLELY RESPONSIBLE AND BECOME INFORMED OF ALL EXISTING CONDITIONS, DIMENSIONS AND LIMITATIONS UNDER WHICH THE WORK IS TO BE PERFORMED. IF ANY DISCREPANCIES OR OMISSIONS ARE DISCOVERED, THE CONTRACTOR MUST NOTIFY THE ARCHITECT AND OBTAIN CLARIFICATIONS BEFORE SUBMITTING HIS BID. FAILURE TO GIVE NOTICE OR OBTAIN CLARIFICATION WILL NOT BE CAUSE FOR ADDITIONAL COMPENSATION.
7. 6TH CONTRACTOR MUST FURNISH SKILLED LABOR, MATERIALS, EQUIPMENT, APPLIANCES AND SERVICES, AND PERFORM ALL OPERATIONS NECESSARY TO COMPLETE THE WORK IN A SAFE AND WORKMANLIKE MANNER WITHIN THE OWNER'S SCHEDULE.
8. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS - DO NOT SCALE DRAWINGS.
9. ALL MATERIALS AND EQUIPMENT MUST BE INSTALLED PER MANUFACTURER INSTRUCTIONS AND RECOMMENDATIONS, AND TO THE BEST OF THE INDUSTRY STANDARDS.
10. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS REGARDING THE WORK. CLEAN UP IS REQUIRED ON DAILY BASIS.

APPLICABLE CODES

International Building Code (IBC), 2012 Edition
International Residential Code for One and Two Family Dwellings (IRC), 2012 Edition
National Electrical Code (NEC), 2011 Edition
International Mechanical Code, 2012 Edition
International Fuel Gas Code, 2012 Edition
International Fire Code, 2012 Edition
NFPA Life Safety Code 101, 2012 Edition
International Energy Conservation Code, 2015 Edition
*Note: Model codes have amendments adopted by the City of Evanston. The amendments are available on the Building Division page of the city website: www.cityofevanston.org
STATE CODES:
The State of Illinois Plumbing Code, latest Edition
Illinois Accessibility Code, latest Edition

DESIGN CRITERIA

FLOOR = 40# LL 10# DL TYPICAL ALL AREAS
 WALL = 60# PLF OR ACTUAL LOAD
 CEILING = 20# LL 10# DL ROOF SLOPES OVER 3 IN 12
 ROOF = 30# LL 10# DL
 CATHEDRAL = 30# LL 15# DL ALL SLOPES
 EXTR. DECK = 40# LL 10# DL
 EXTR BALCONY = 100# LL 10# DL EXTERIOR

STRUCTURAL FRAMING LUMBER

FLOOR JOISTS, CEILING JOISTS, HEADERS, AND RAFTERS
 IN-GRADE BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE)

GRADE #2 SPECIES SPF CANADIAN	BASE Fb = 875
GRADE #2 SPECIES SYP DOMESTIC	BASE Fb = 875 (WOLM.)
GRADE #1 SPECIES HEM-FIR	BASE Fb = 1050

MANUFACTURER: TRUSS JOIST MC MILLAN
 PRODUCT: MICRO-LAM LVL
 SIZE: 1 3/4" x (SEE PLAN) FS = 2,600 PSI E = 2.0

PROJECT DESCRIPTION

THE PROJECT INCLUDES REPLACEMENT OF GARAGE WITH NEW LAND ACQUISITION

DRAWINGS LIST

DRAWING INDEX	
Sheet Number	Sheet Name
A101	COVER
A102	PROPOSED PLANS
A103	ELEVATIONS
A104	SECTION & DETAILS
A105	3D

b. Description	Date
PERMIT	11/01/2023

Des Plaines, IL 60018
Phone: (224) 388-8914
Email: archdb26@gmail.com

BAU
Design & Development



NEW GARAGE w/ LAND ACQUISITION
12120 South Blvd
Evanston, IL 60202

DATE:
11/01/2023

PROJECT:
22-140

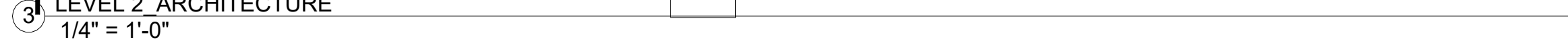
RAWN BY: DB CHECKED BY: DB

OVER

SHEET NO.

A101

* CONTRACTOR TO VERIFY ALL EXISTING HEADERS AFTER DEMOLITION AND STRUTTURE IS EXPOSED. REPLACE AS REQUIRED.
* FOR NON-TYPICAL SPANS/SIZES SEE FLOOR PLANS



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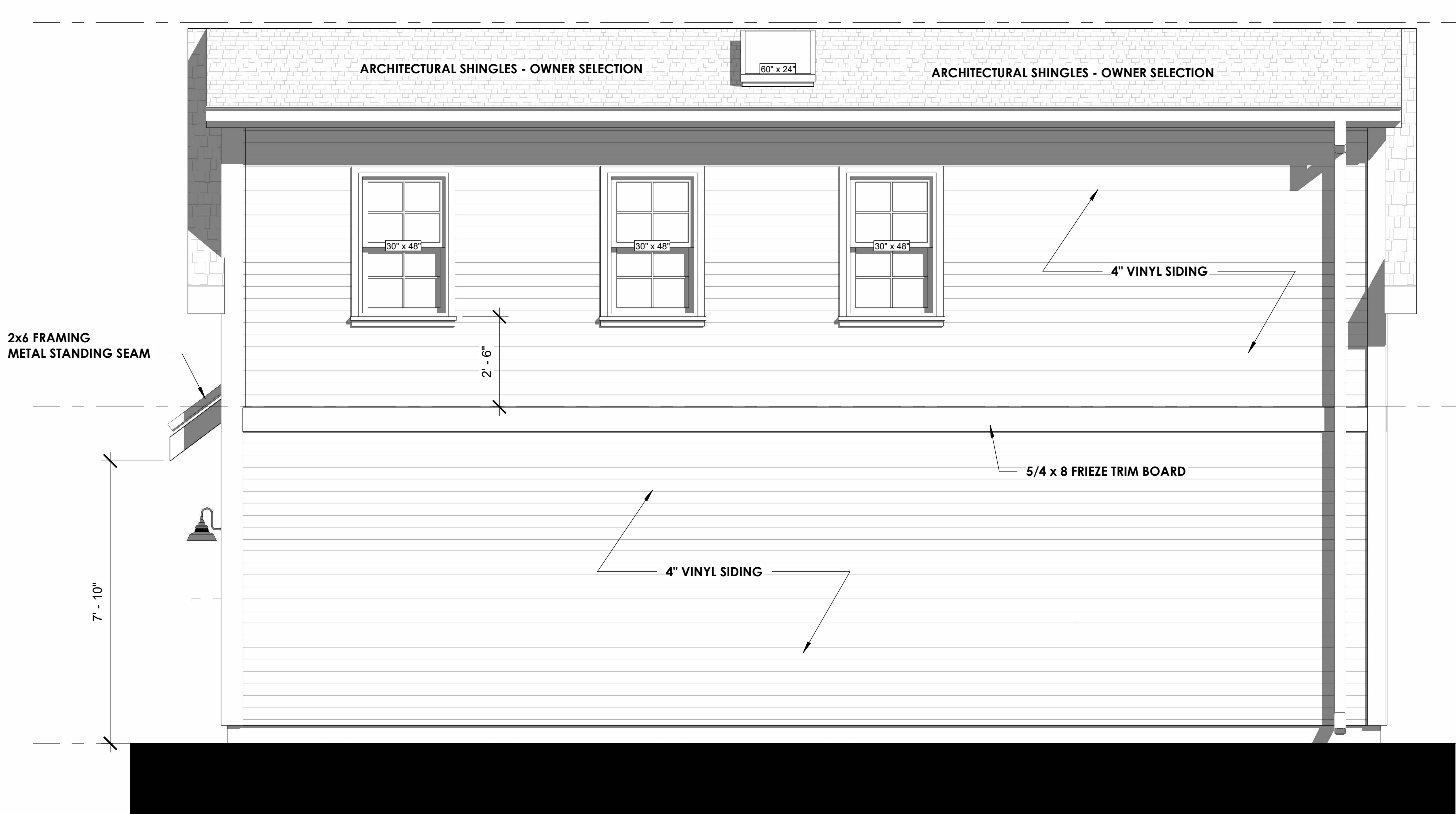
PROJECT:

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A102

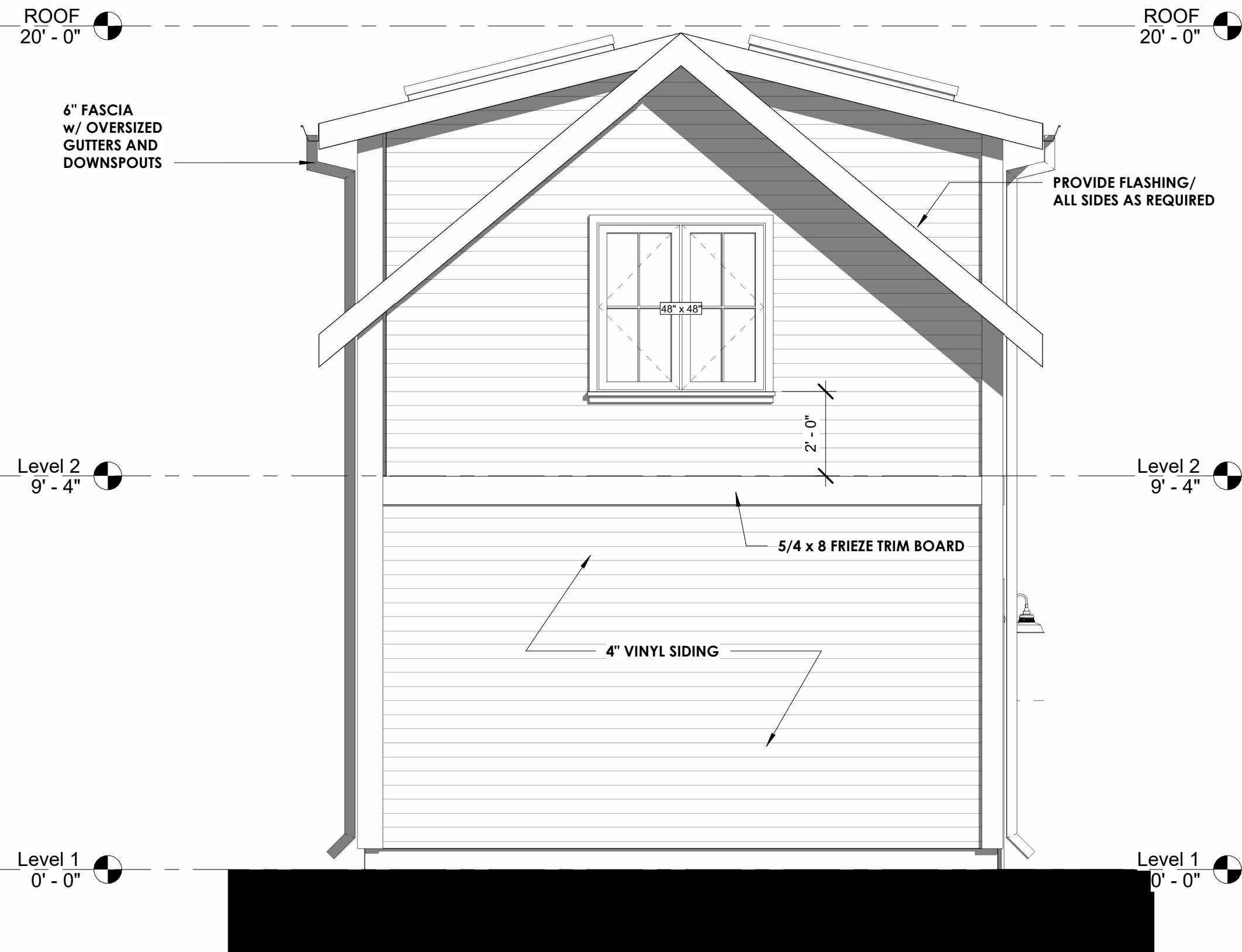
COPYRIGHT BAU DESIGN & DEVELOPMENT 2023



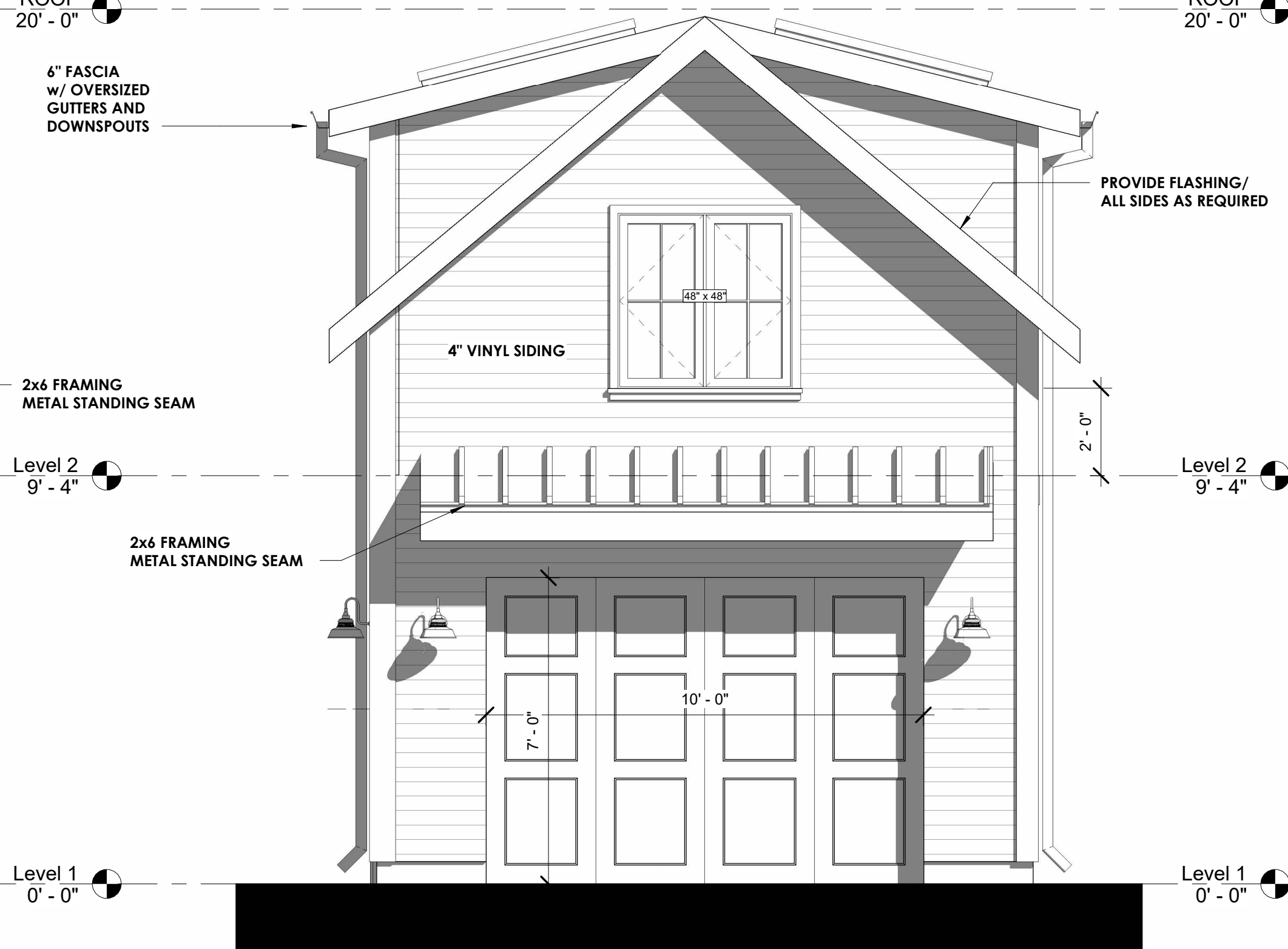
5 ELEVATION - SOUTH
3/8" = 1'-0"



3 ELEVATION - NORTH
3/8" = 1'-0"



4 ELEVATION - EAST
3/8" = 1'-0"



2 ELEVATION - WEST
3/8" = 1'-0"

ELEVATION NOTES:

- PELLA 350 SERIES, OR EQUAL GLASS SIZES SHOWN ON ELEVATIONS
- TEMPERED GLAZING SHALL BE PROVIDED IN WINDOWS THAT MEET BOTH:
 - A. GLASS GREATER THAN 9 S.F. IN AREA.
 - B. BOTTOM OF GLASS WITHIN 18" OF THE FLOOR.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24".
- ALL ROOF VENTS AND THROUGH ROOF MECHANICAL TO BE LOCATED 8' REAR OF HOME AND PAINTED TO MATCH ROOF.
- ALL D.S. LOCATIONS TO BE FIELD VERIFIED WITH OWNER PRIOR TO INSTALLATION
- PROVIDE COUNTER FLASHING, WHERE REQUIRED, INCLUDING ROOF TO WALL INTERSECTIONS, CHIMNEYS AND SADDLES 20 G.A. (MIN.)
- PROVIDE 26 G.A. (MIN.) GALV. W-VALLEYS UNDERLAID WITH NO. 15 MIN. ROOFING FELT
- PROVIDE COUNTER FLASHING DIAGONALLY ACROSS MASONRY, STEP AND REGGED INTO THE MORTAR
- PROVIDE FLASHING, COUNTER FLASHING AND CAULK AT ALL SKYLIGHTS, AS PER MANUFACTURERS SPECIFICATIONS
- "EGRESS"-EGRESS WINDOW
- "TEMP"-SAFETY GLASS WINDOW
- ROOF VENTS TO BE LOCATED ON BACK SLOPE OF THE ROOF. NUMBER AND LOCATION SHALL BE BASED ON TOTAL AREA OF VENTS REQUIRED EQUAL TO 1/300th OF ROOF AREA.
- NOTE: ALL WINDOWS BEING REPLACED MUST HAVE A U-FACTOR VALUE OF 0.32 OR LESS.
- BUILDING THERMAL ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING FIVE AIR CHANGES PER HOUR BY A BLOWER DOOR TEST. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY WITH A SIGNED-RESULTS TEST REPORT SUBMITTED DURING FINAL INSPECTIONS.

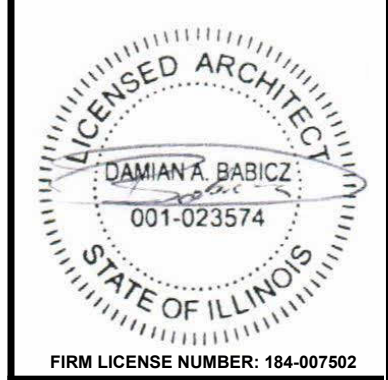
ENERGY CONSER. NOTES

1. ATTIC ACCESS PANELS MUST BE INSULATED TO MATCH ATTIC AND MUST BE WEATHERSTRIPPED (SECTION R402.2.4)
2. SECTION R402.4.1 AND TABLE R402.4.1.1 THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED WITH A AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL, AND INSTALLED IN ACCORDANCE WITH MANUFACTURES INSTRUCTIONS:
 - A. AIR BARRIER AND THERMAL BARRIER
 - B. CEILING/ATTIC
 - C. WALLS
 - D. WINDOWS, SKYLIGHTS AND DOORS
 - E. RIM JOISTS
 - F. FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)
 - G. CRAWL SPACE WALLS
 - H. SHAFTS, PENETRATIONS
 - I. NARROW CAVITIES
 - J. GARAGE SEPARATION
 - K. RECESSED LIGHTING
 - L. PLUMBING AND WIRING
 - M. SHOWER/TUB ON EXTERIOR WALL
 - N. ELECTRICAL/PHONE BOX ON EXTERIOR WALL
 - O. HVAC REGISTER BOOTS
 - P. FIREPLACENOTE: REFER TO TABLE R402.4.1.1 FOR THE INSTALLATION CRITERIA FOR THE ABOVE BUILDING COMPONENTS.
3. THE FIREPLACES SHALL HAVE GASKETED DOORS, TIGHT FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR. (SECTION R402.2)
4. WINDOWS AND SLIDING GLASS DOORS LIMITED TO NO MORE THAN .03CFM PER SQUARE FOOT AIR LEAKAGE. SWINGING DOORS LIMITED TO NO MORE THAN 0.5CFM PER SQUARE FOOT. (SECTION R402.4.3)
5. RECESSED LIGHT FIXTURES INSTALLED IN BUILDING THERMAL ENVELOPE SHALL BE IC-RATED AND LABELED (SUITABLE FOR INSULATION CONTACT), & SEALED WITH A GASKET OR CAULK BETWEEN THE FIXTURE HOUSING AND CEILING. (SECTION R402.4)
6. AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM. AT LEAST ONE THERMOSTAT SHALL BE PROGRAMMABLE. (SECTION R403.1. 1)
7. IN AN UNCONDITIONED SPACE, SUPPLY DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM R-6. (SECTION R403.2.1) WHEN A PORTION OF THE HVAC SYSTEM IS LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE, DUCT TIGHTNESS SHALL BE VERIFIED BY A 3RD PARTY IN ACCORDANCE WITH SECTION R403.3.3.
8. ALL DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED AT ALL JOINTS AND SEAMS. DUCT TAPE OR ANY OTHER UNLISTED TAPE IS NOT PERMITTED. (SECTION R403.2.2)
9. BUILDING FRAMING CAVITIES SHALL NOT BE USED AS SUPPLY DUCTS. (SECTION R403.2.3)
10. MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES FAHRENHEIT SHALL BE INSULATED TO A MINIMUM R-3. (SECTION R403.3)
11. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO A MINIMUM OF R-3 WITH A READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. (SECTION R403.4.1 AND 403.4.2)
12. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT IN USE. (SECTION R403.5)
13. A MINIMUM OF 75 PERCENT (75%) OF THE LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH EFFICIENCY LAMPS. (SECTION R404.1)
14. EXTERIOR WALLS, INCLUDING BEHIND BATH TUBS, SHALL HAVE CONTINUOUS AIR BARRIER. (TABLE 402.4.1.1)
15. SECTION R402.4.1.2 TESTING:
BUILDING SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES VLG. (50 PASCALS). WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY.

No.	Description	Date
PERMIT		11/01/2023

1302 South 5th Avenue
Des Plaines, IL 60018
Phone: (224) 388-8914
Email: archdb2@gmail.com

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NEW GARAGE w/ LAND ACQUISITION
1210 South Blvd
Evanston, IL 60202

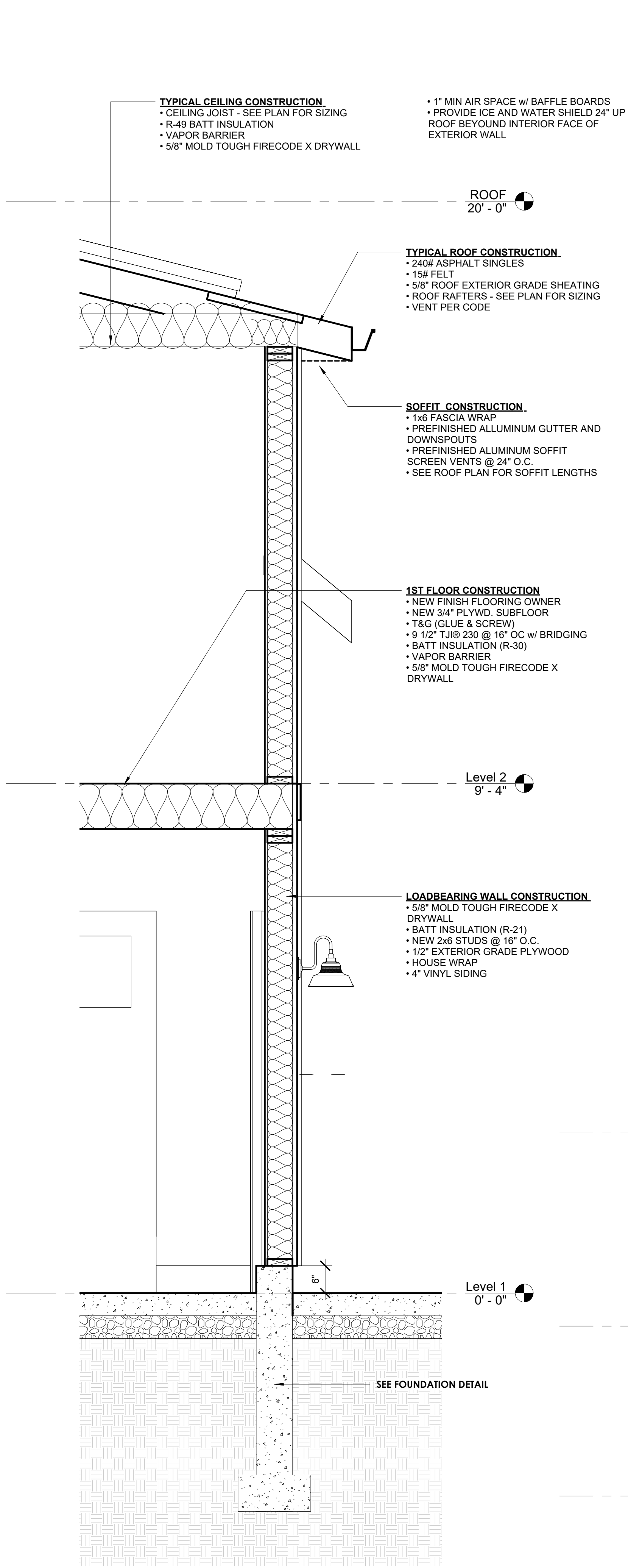
DATE:
11/01/2023

PROJECT:
22-140

DRAWN BY: DB
CHECKED BY: DB

ELEVATIONS

SHEET NO.
A103



3 Section 1 - Callout 1
3/4" = 1'-0"

2 Section 1
1/4" = 1'-0"

HOUSE PANEL	
	200
	200 AMP MAIN BREAKER 42 BREAKER PANEL
GARAGE	100 15
GARAGE	100
LAUNDRY	20 15
BACK BASEMENT	15 15
LIVING ROOM	15 15
KITCHEN/DINING	15 20
AC	30 20
AC	30 20
AC	20 20
AC	20 15
SMOKE ALARM	15 15
2ND FL HALL	15 15
S. BEDROOM	15 15
E. BEDROOM	15 15
RANGE/MICRO	20 15
KITCHEN	20 15
DISHWASHER	20 15
KITCHEN	20 15
SPARE	15
SPARE	

9 ELECTRICAL - METER DIAGRAM1
1/4" = 1'-0"

GARAGE PANEL	
	100
	100 AMP MAIN BREAKER 24 BREAKER PANEL
SPLIT SYSTEM	30 15
SPLIT SYSTEM	30 20
UPSTAIRS LIGHTS	15 20
UPSTAIRS OUTLETS	20
SPARE	
SPARE	
SPARE	
SPARE	
SPARE	
SPARE	
SPARE	
SPARE	
SPARE	

7 DETAIL - TYPICAL STAIRS
NTS

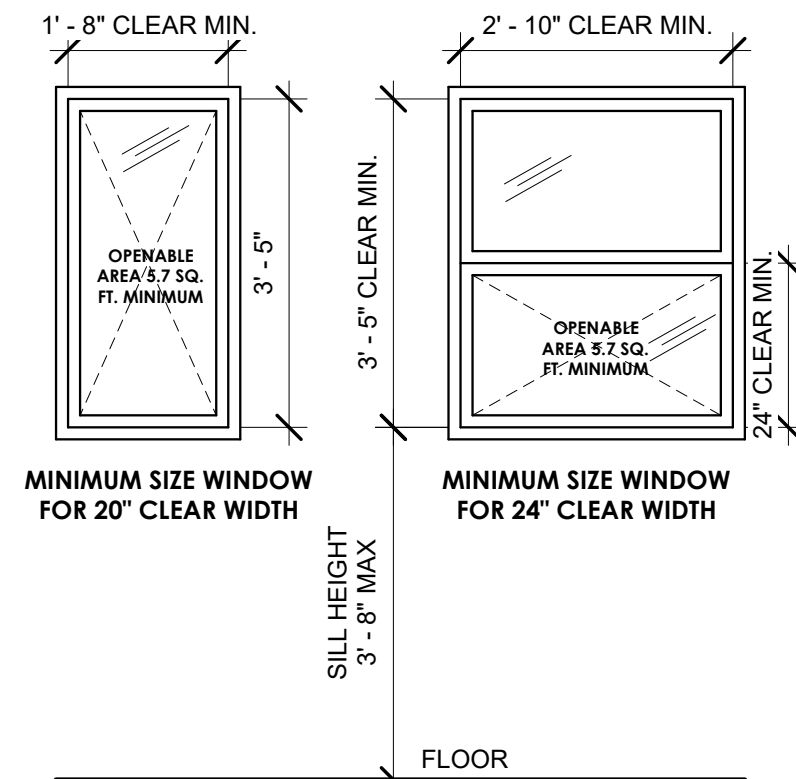
EGRESS WINDOW SIZE & LOCATION REQUIREMENTS

EGRESS WINDOW MUST HAVE:

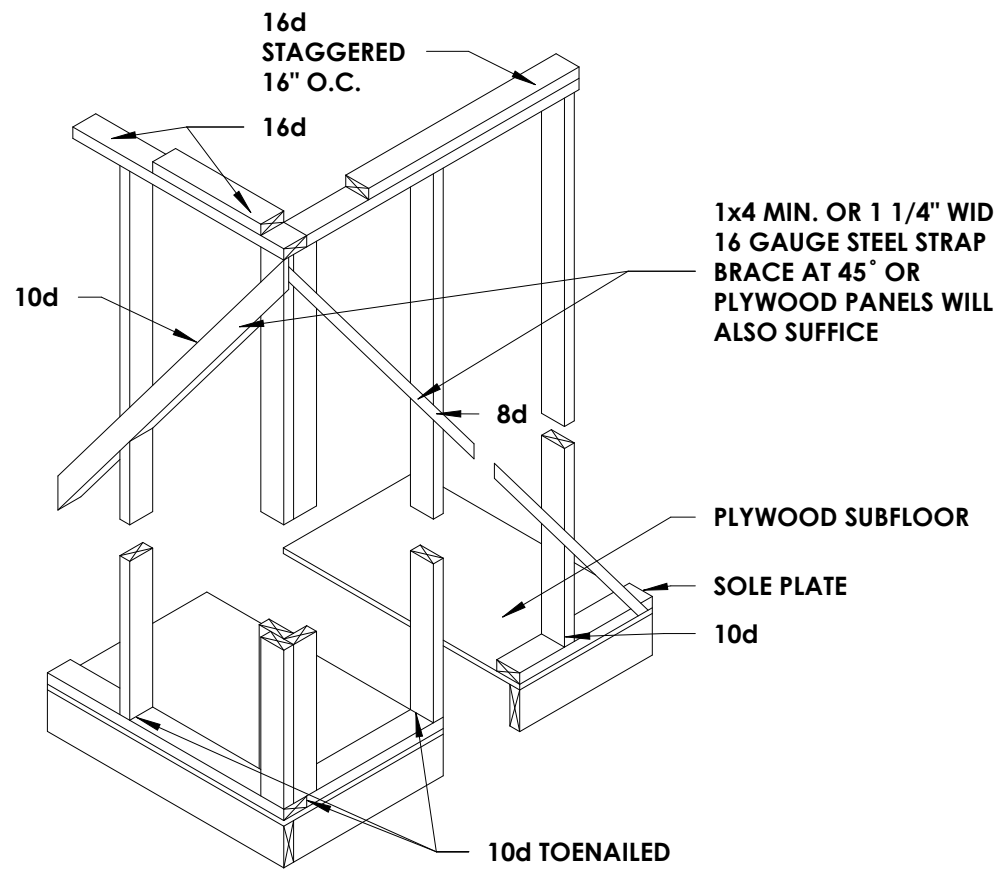
- A MINIMUM CLEAR OPENABLE WIDTH OF 20 INCHES
- A MINIMUM CLEAR OPENABLE HEIGHT OF 24 INCHES
- A MINIMUM CLEAR OPENABLE AREA OF 5.7 SQUARE FEET (TO OBTAIN THE 5.7 SQUARE FOOT OPENABLE AREA, ONE OR BOTH DIMENSIONS MUST BE INCREASED.)
- A FINISHED SILL HEIGHT THAT IS NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR

WINDOW WELLS

- IF THE EMERGENCY ESCAPE WINDOW OPENING IS BELOW GRADE, A WINDOW WELL MUST BE INSTALLED ON THE OUTSIDE OF THE BUILDING. THE WINDOW MUST:
- BE A MINIMUM OF 36 INCHES WIDE AND GIVE ACCESS TO AN AREA THAT IS A MINIMUM OF 9 SQUARE FEET WITH WINDOW FULLY OPEN HAVE A MINIMUM OF 6-INCH DROP FROM THE WINDOW SILL TO THE GROUND INCLUDE LATTER IF THE WELL IS MORE THAN 44 INCHES DEEP



5 DETAIL - EGRESS WINDOW
1/2" = 1'-0"



DIAGONAL BRACES TO CONSIST OF:
TENSIONED GALVANIZED METAL STRAPS (NOMINAL 1" x 4" x 1/32" MIN. THICKNESS) FIXED TO STUDS WITH ONE 1 1/8" x 1/8" DIA. GALVANIZED FLAT HEAD NAIL AND TO END PLATES WITH (3) 1 1/8" x 1/8" DIA. GALVANIZED FLAT HEAD NAILS

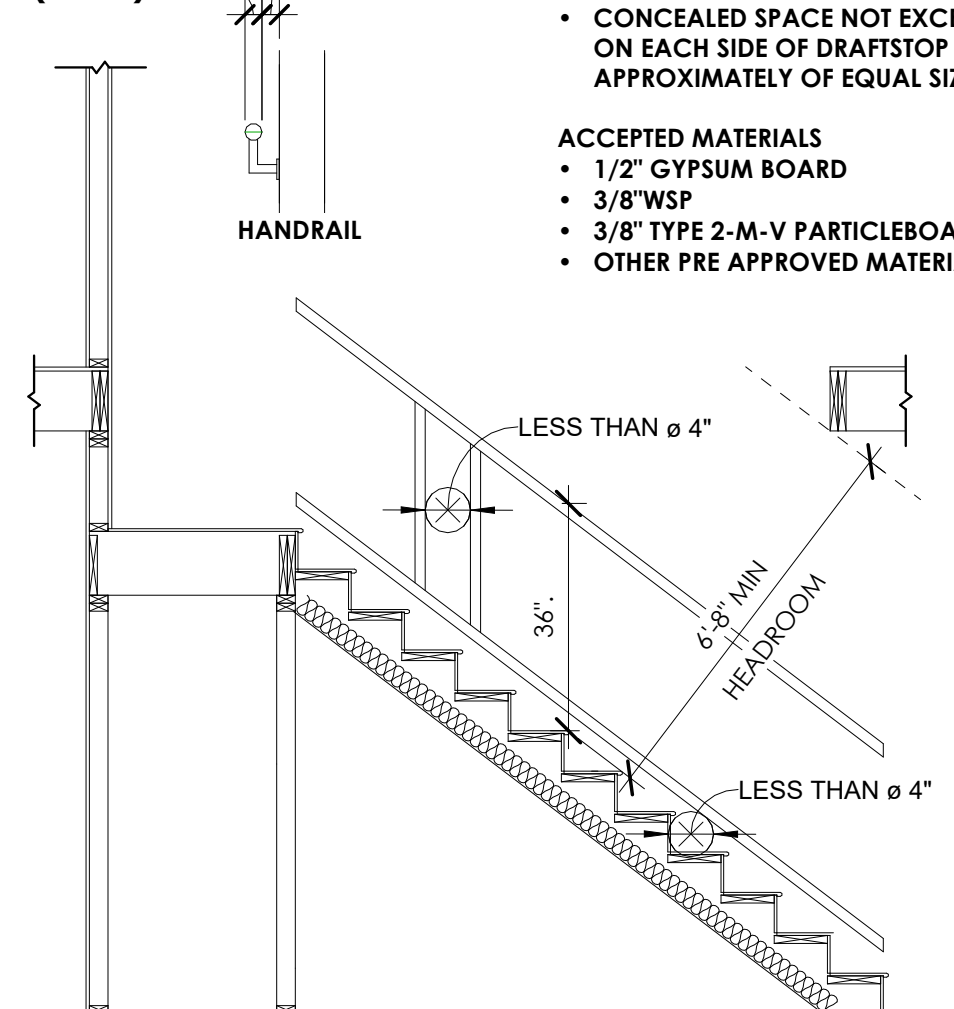
4 DETAIL - CORNER BRACING
NTS

STAIRS NOTES

- HANDRAILS SHALL HAVE HEIGHT OF 36 INCHES, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED AT LEAST ONE SIDE OF STAIRWAYS OF THREE OR MORE RISERS. SPIRAL STAIRWAYS SHALL HAVE THE REQUIRED HANDRAIL LOCATED ON THE OUTSIDE RADIUS.
- ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.
- HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.
- HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH DIAMETER OF 1 1/4 INCHES TO 2 INCHES, OR A NONCIRCULAR CROSS SECTION WITH A PERIMETER DIMENSION OF AT LEAST 4 INCHES BUT NOT MORE THAN 6 1/4 INCHES, AND A LARGEST CROSS SECTION DIMENSION NOT EXCEEDING 2 1/4 INCHES, PROVIDE MINIMUM 1/8 RADIUS EDGES.
- THE MAXIMUM DIFFERENCE BETWEEN THE TALLEST AND THE SMALLEST STAIR RISER SHALL NOT BE GREATER THAN 3/8".
- STAIRS 7 3/4" MAX. RIS. 10" MIN. TRD. + 1" NOSING 6'-8" HEADROOM (MIN.) W/ 36" HIGH HANDRAIL AND BALUSTERS SPACED SUCH THAT A SPHERE WITH A DIA. 4" CANNOT PASS THROUGH ANY OPENING. THE SPACE BETWEEN RAILING / BALUSTRAE MUST BE LESS THAN 4".

1 1/4" (MIN.)
- 2" (MAX.)

1 1/2" (MIN.)



FIBERGLASS BATT INSULATION IN CONCEALED SPACES BETWEEN STAIR STRINGER AT THE TOP AND BOTTOM OF THE RUN.

FIRE BLOCKING NOTES

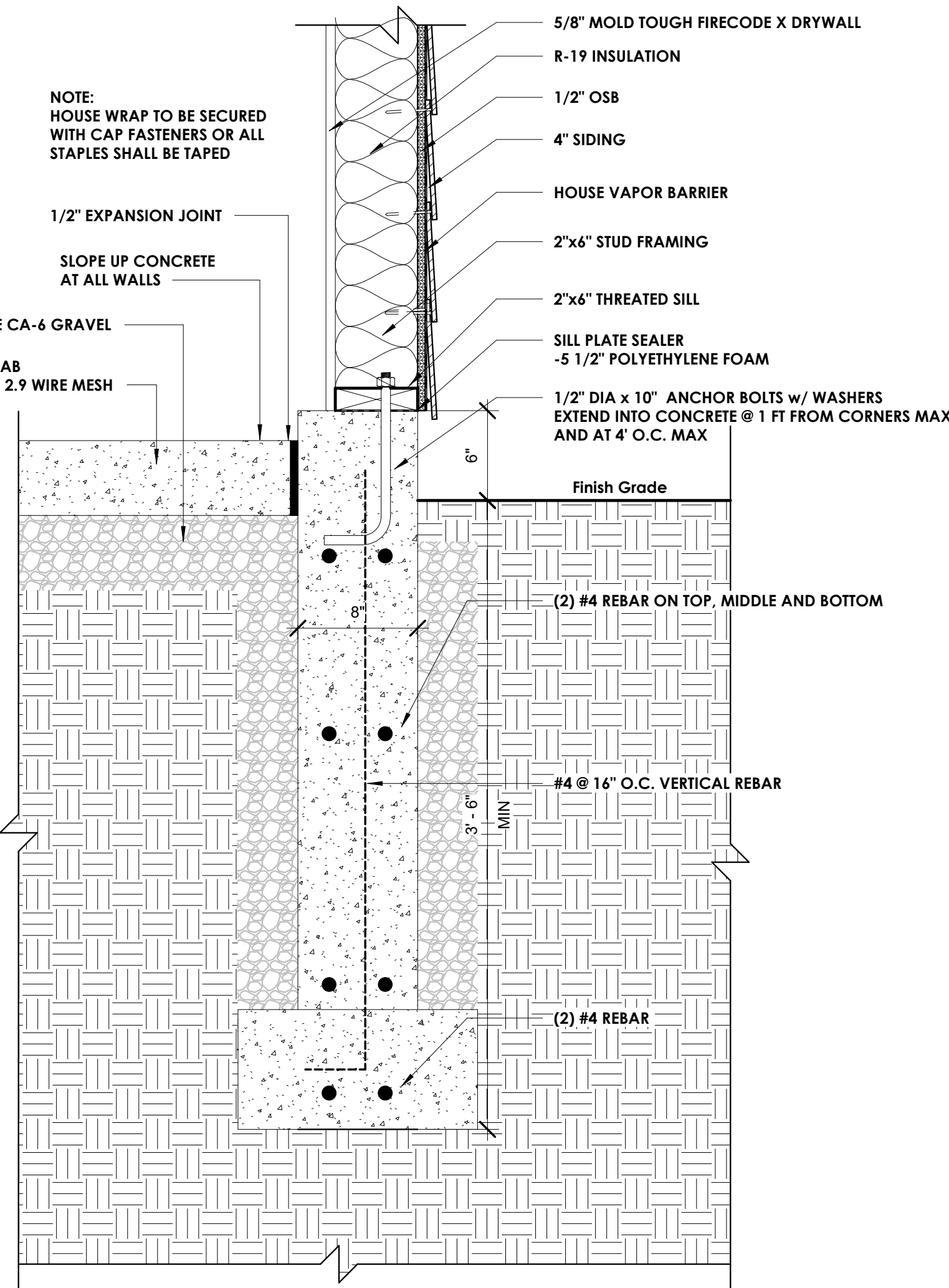
- AT CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS, AND AT 10 FT INTERVALS BOTH VERTICAL AND HORIZONTAL.
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROPPED CEILINGS AND COVE CEILINGS.
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
- IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS USE NON-COMBUSTIBLE MATERIALS.
- AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY BUILT CHIMNEYS.
- WALLS HAVING PARALLEL OR STAGGERED STUDS FOR SOUND CONTROL SHALL HAVE FIRE BLOCKS OF MINERAL FIBER OR GLASS FIBER OR OTHER APPROVED NONRIGID MATERIAL.
- THE INTEGRITY OF ALL FIRE BLOCKING AND DRAFT STOPS SHALL BE MAINTAINED.

DRAFTSTOPPING NOTES

- WHERE USEABLE SPACE IS BOTH ABOVE & BELOW CONCEALED SPACE OF FOOR/CEILING ASSEMBLIES.
- CONCEALED SPACE NOT EXCEED 1,000 SF ON EACH SIDE OF DRAFTSTOP & APPROXIMATELY OF EQUAL SIZES.

ACCEPTED MATERIALS

- 1/2" GYPSUM BOARD
- 3/8"WSP
- 3/8" TYPE 2-M-V PARTICLEBOARD
- OTHER PRE APPROVED MATERIALS.



GARAGE FOUNDATION

1 DETAIL - FOUNDATION
1 1/2" = 1'-0"

No.	Description	Date
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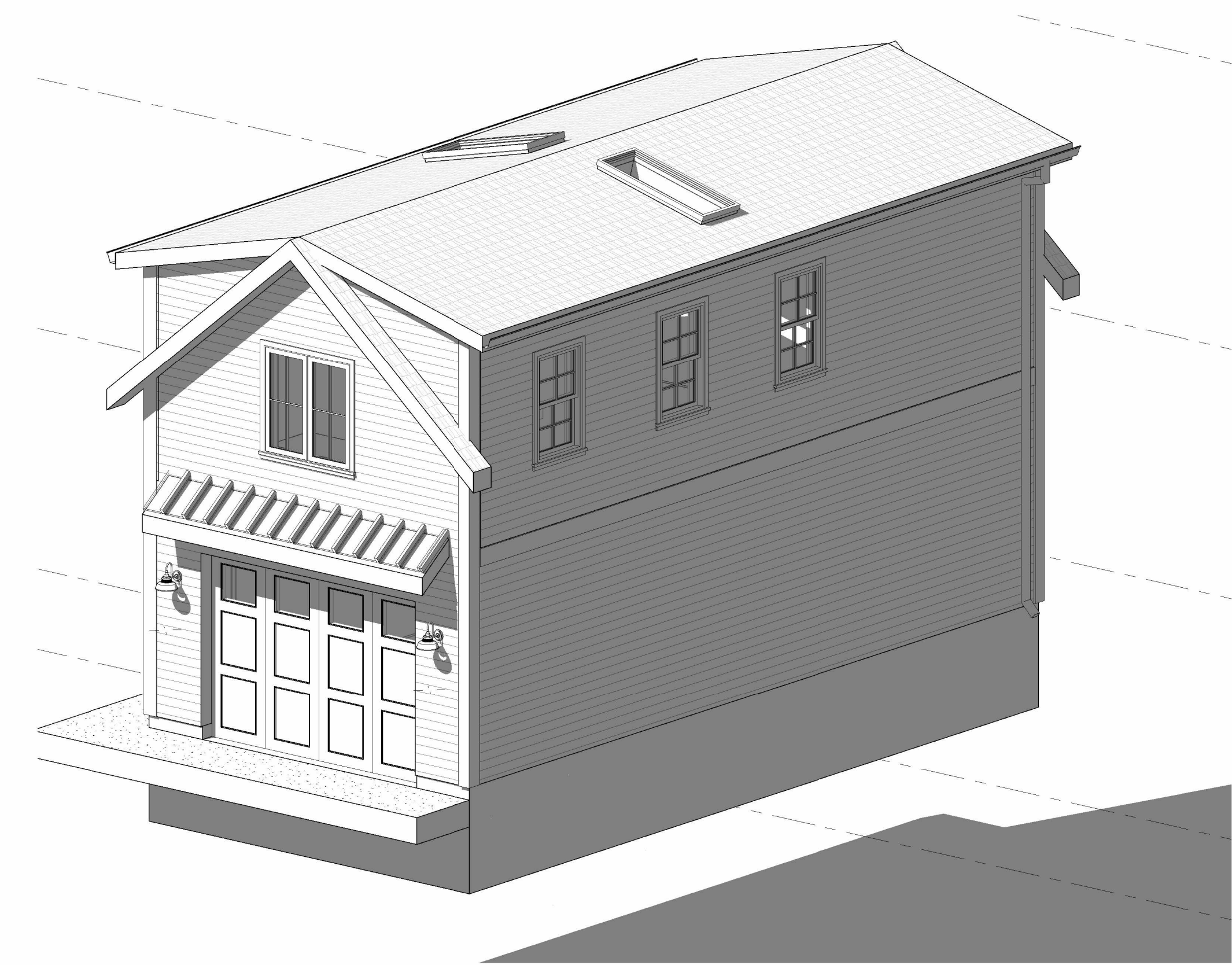
PROJECT:
22-140

DRAWN BY: DB

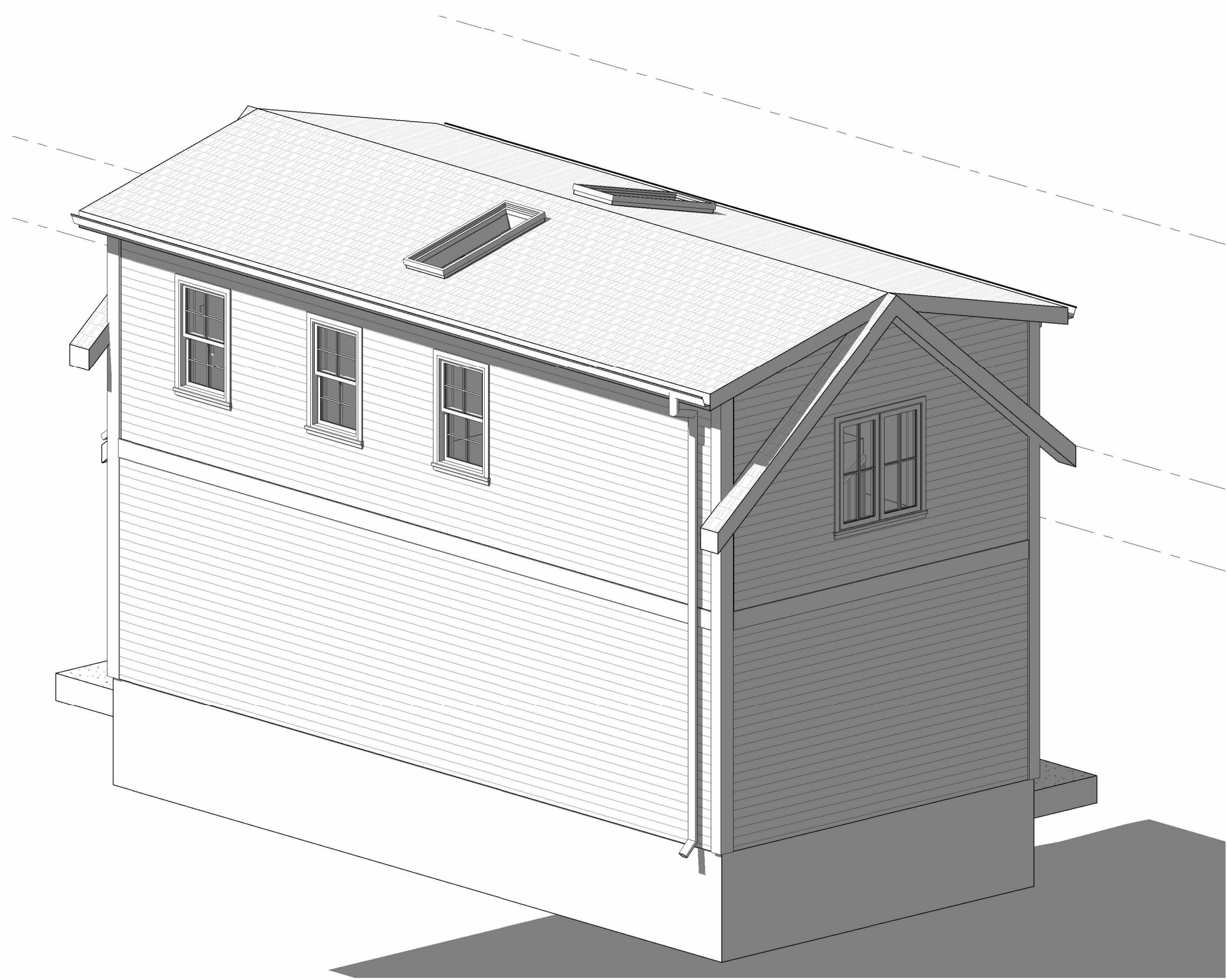
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SECTION &
DETAILS

SHEET NO.
A104



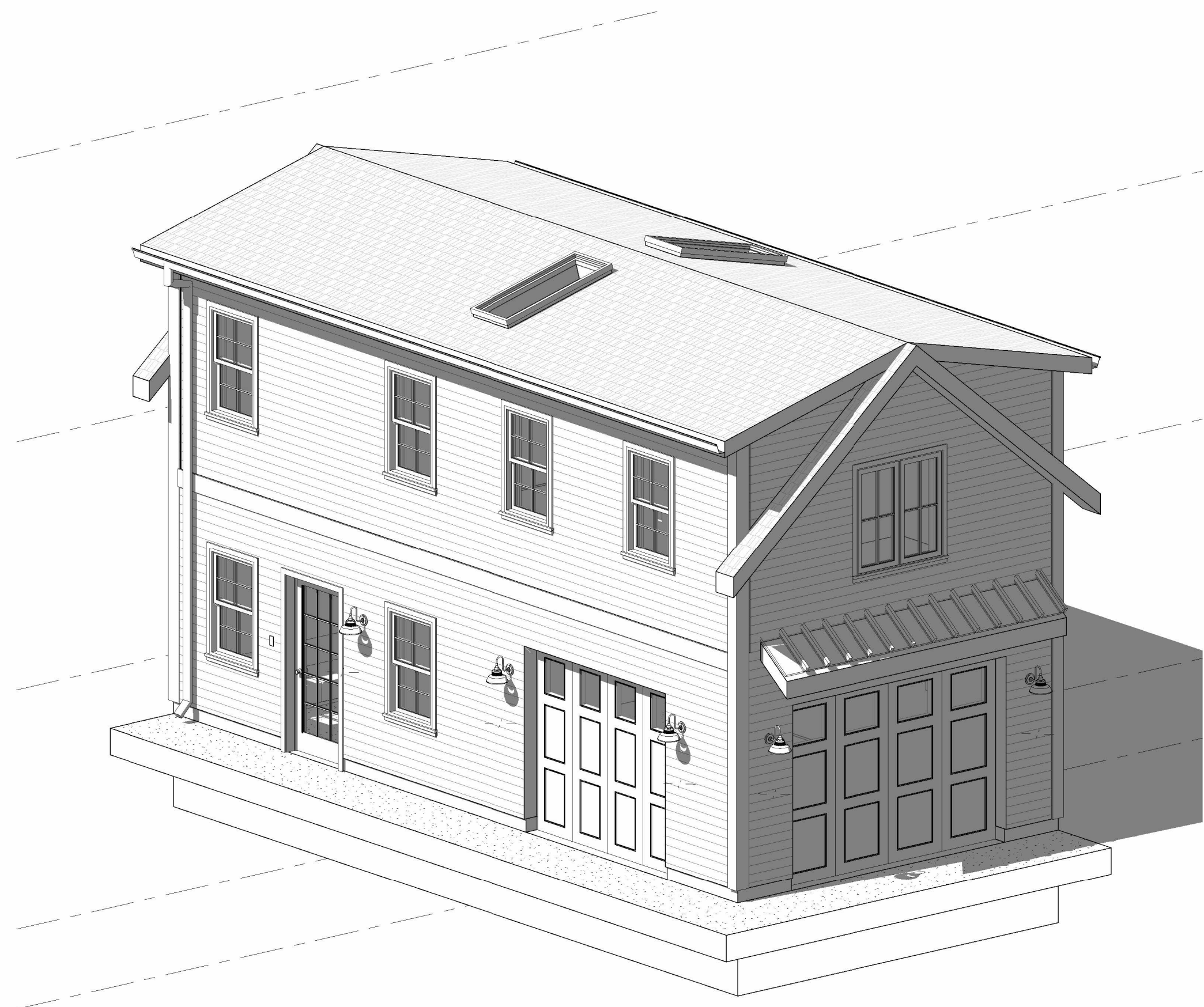
④ 3D-4



③ 3D-3



② 3D-2



① 3D-1

No.	Description	Date
1	PERMIT	11/01/2023

1302 South 5th Avenue
Des Plaines, IL 60018
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NEW GARAGE w/ LAND ACQUISITION
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Evanston, IL 60202

DATE:
11/01/2023

PROJECT:
22-140

DRAWN BY: DB CHECKED BY: DB

3D

SHEET NO.
A105



Zoning Analysis Summary

Review Date: 5/22/2023

Reviewed by: Katie Ashbaugh, AICP, Planner

Case Number:

23ZONA-0077

Case Status/Determination:

Non-compliant

Applicant: Michael Willman

Addresses: 1210 South Blvd, 518 Barton Ave,
520 Barton

District: R2 Single-Family Residential

Plans dated: 4/24/2023

Survey dated: Multiple

Proposal:

Purchase vacant lots for construction of detached garage

Non-compliant:

Code Section	Proposed and Required	Recommendation
6-16-3-5, Table 16-B	<p>PARKING (518 and 520 Barton Avenue) Existing: 3 unimproved parking stalls</p> <p>Proposed: 0 parking stalls</p> <p>Required: 3 hard surfaced parking stalls</p>	Major Variation required; see additional comments.

Additional Comments:

1. The proposed acquisition of 2 vacant lots are tied to the following properties located to the east of the subject property: 518 Barton Avenue (PIN 11-19-325-026-0000) and 520 Barton Avenue (PIN 11-19-325-024-0000). Together, these properties, in addition to 516 Barton Avenue (PIN 11-19-325-026-0000), 522 Barton Avenue (PIN 11-19-325-023-0000), and 524 Barton Avenue (PIN 11-19-325-022-0000) are considered one zoning lot given the existing principal structure, a 5-unit townhome building (single-family attached dwellings). Per the attached zoning records, the vacant lots provide parking to the 5-unit townhome building at 516-524 Barton Avenue and together the 5-unit building and the unsurfaced parking is legal nonconforming. By acquiring any of the vacant lots associated with the townhome building, multiple zoning variations are triggered to the lot with the existing 5-unit townhome building.
2. *516-524 Barton Avenue* - The current parking provided is considered legal nonconforming, as the current Zoning Code requires 1.5 parking stalls per single-family attached dwelling unit. Also, parking pads are required to be hard-surfaced, but the unsurfaced parking was considered legal-nonconforming. A total of 8 stalls are required

for the existing 5 units at 516-524 Barton Avenue where zero (0) is proposed [[Section 6-16-3-5](#), Table 16-B].

3. [Submit an application for a Major Variation](#) to allow zero (0) parking stalls where 3 are required for the properties located at 518 and 520 Barton Avenue. Please note that consent from both property owners is required as a submittal material. Review the application linked here in for additional submittal requirements. Major Variations related to off-street parking for multi-family dwellings require City Council approval by ordinance per [Section 6-3-8-10\(D\)](#) of the Zoning Code. The application fee is \$660. An additional fee for mailed notices to owners of properties within 500 feet of the subject property is invoiced to directly to the applicant from a third party printer. This process will take 90-120 days to go through the Land Use Commission (recommending body of mayoral appointees that conducts public hearing and makes recommendation), and City Council makes a final determination. Following a City Council determination on this relief, additional approvals, including a plat of subdivision will be required. Staff suggests seeking this Major Variation from the parking requirement prior to moving forward with additional design work on this project.
4. Other information noted as 'incomplete' will need to be provided at the time of building permit application, should the Major Variation be granted. If zoning requirements are not met at the time of permit, then additional zoning relief may be required to be requested and approved before permit issuance.

Principal Use and Structure:	
6-8-3-2	<p>USE Existing: single-family</p> <p>Required/Allowed: single-family</p> <p>Compliant, no change.</p>
6-8-3-5	<p>LOT WIDTH Proposed (existing): 33.33'</p> <p>Required/allowed: 35'</p> <p>Legal non-conforming.</p>
6-8-3-4	<p>LOT SIZE Existing: 4,473 sf</p> <p>Proposed: 5,975 sf</p> <p>Required/allowed: 5,000 sf</p> <p>Compliant.</p>
6-8-3-6	<p>BUILDING LOT COVERAGE Existing: 1,726 sf or 38.27%</p> <p>Proposed: 1,845 sf or 30.88%</p> <p>Required/allowed: 2,390 sf or 40%</p>

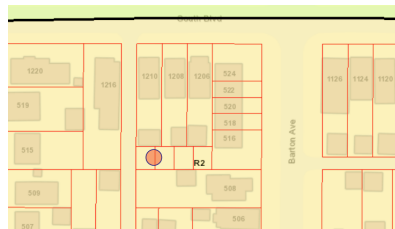
	Compliant.
6-8-3-9	<p>IMPERVIOUS SURFACE LOT COVERAGE</p> <p><i>Existing: 2,360 sf, 52.76%</i></p> <p><i>Proposed: 2,765 sf, 46.28%</i></p> <p><i>Required/allowed: 3,285 sf or 55%</i></p> <p>Compliant.</p>
6-8-3-7(A)	<p>FRONT YARD (N, South)</p> <p>N/a.</p> <p>INTERIOR SIDE YARD (W, alley)</p> <p>N/a.</p> <p>INTERIOR SIDE YARD (E)</p> <p>N/a.</p> <p>REAR YARD (S)</p> <p>N/a.</p>
6-8-3-8	<p>BUILDING HEIGHT</p> <p>N/a.</p>
6-4-6-3(A)(1)	<p>ACCESSORY STRUCTURE REAR YARD LOT COVERAGE</p> <p><i>Existing: 21.2%</i></p> <p><i>Proposed: 14.65%</i></p> <p><i>Required/allowed: 40%</i></p> <p>Compliant.</p>
Accessory Use and Structure 1: Detached garage	
6-4-6-3(B), Table 4-A #16	<p>LOCATION (YARD)</p> <p><i>Existing: Rear</i></p> <p><i>Proposed: Rear</i></p> <p><i>Required/allowed: Rear</i></p> <p>Compliant.</p>
6-4-6-2(C)	<p>DISTANCE BETWEEN PRINCIPAL/ACCESSORY STRUCTURES</p> <p><i>Existing: 30.55'</i></p> <p><i>Proposed: 52.1'</i></p> <p><i>Required: 10'</i></p>

	Compliant.
6-8-3-7(C)	<p>INTERIOR SIDE YARD (W, alley) Existing: 4.2'</p> <p>Proposed: 16.5'</p> <p>Required/allowed: 3'</p> <p>Compliant.</p> <p>INTERIOR SIDE YARD (E) Existing: 4.6'</p> <p>Proposed: 3.5'</p> <p>Required/allowed: 3'</p> <p>Compliant.</p> <p>REAR YARD (S) Existing: 2.55'</p> <p>Proposed: 10'</p> <p>Required/allowed: 3'</p> <p>Compliant.</p>
6-4-6-10(G)(1)	<p>HEIGHT Proposed: Not provided.</p> <p>Required/allowed: 28'</p> <p>Incomplete.</p>
6-16-3-5, Table 16-B	<p>ON SITE PARKING Existing: 1</p> <p>Proposed: 1</p> <p>Required: 2</p> <p>Legal nonconforming.</p>
6-16-2-2	<p>ACCESS Proposed: Parking is hard surface inside garage and is off alley in manner with least interference with traffic. However, no driveway is proposed.</p> <p>Required: All off street parking facilities shall be designed with appropriate means of vehicular access to a street or alley in a manner that will least interfere with street traffic movement. All vehicular access/driveways must be hard-surfaced pursuant to Subsection 6-16-2-8(E) of this Chapter. In addition, all vehicular access driveways shall be designed and constructed in accordance with Section</p>

	<p>7-3-8 of this Code.</p> <p><i>Compliant.</i></p>
6-16-2-5	<p>VERTICAL CLEARANCE Proposed: Unknown, rear elevation not provided.</p> <p>Required: 7'</p> <p><i>Incomplete.</i></p>
6-16-2-2; 6-16-2-8(E)	<p>SURFACE Proposed: concrete</p> <p>Required: All open parking areas or lots shall be improved in accordance with regulations applicable to driveway pavement thickness contained in Subsection 7-3-8(C) of the Evanston City Code.</p> <p><i>Compliant.</i></p>
6-16-2-1(B)	<p>LOCATION Proposed: All required parking stalls are located on-site.</p> <p>Required: Parking spaces required for single-family dwellings and/or buildings shall be located on the same lot</p> <p><i>Compliant.</i></p>
6-16-2-7(B), Table 16-A; 6-16-2-4	<p>PARKING STALL DIMENSIONS</p> <p><i>Proposed</i> Parking Angle: 90-degree Parking Space Size: 8.5'x18'</p> <p><i>Required</i> Parking Angle: 90-degree Parking Space Size: 8.5' x 18'</p> <p>Except for parallel parking spaces, each required off-street parking space shall be at least eight and one-half (8½) feet in width and at least eighteen (18) feet in length, exclusive of access drives or aisles, ramps, columns, or office work areas.</p> <p><i>Compliant.</i></p>

Council Chambers

Please be advised, as you own, or otherwise may have interest in a property within 500 ft. of the address listed below, for which the following zoning application will be discussed:



Major Variation | 518 & 520 Barton Avenue | 24ZMJV-0002

Michael Willman, potential purchaser, submits for a Major Variation to eliminate unimproved required parking areas where 3 parking spaces are required for the existing 2 townhomes, for the intention of combining the area with the adjacent property at 1210 South Boulevard for future construction of a detached garage. The applicant requests zero parking spaces where 3 parking spaces are required for 2 townhomes (Section 6-16-3-5 Table 16-B) in the R2 Single Family Residential District. The Land Use Commission is the determining body for this case in accordance with Section 6-3-8 of the Evanston Zoning Code. PINs: 11-19-325-024-0000, 11-19-325-025-0000

Those wishing to make public comments at the Land Use Commission meeting may attend in-person or submit written comments in advance by calling/texting 847-448-4311 or completing the Land Use Commission online comment form available online here: <https://bit.ly/ucpubliccomment>. Information about the Land Use Commission is available online at www.cityofevanston.org/government/boards-commissions-and-committees/land-use-commission. Questions can be directed to Melissa Klotz, Zoning Administrator, at 847-448-8153 or via e-mail at mklotz@cityofevanston.org. The City of Evanston is committed to making all public meetings accessible to persons with disabilities. Any citizen needing mobility or communications access assistance should contact the Community Development Department 48 hours in advance of the scheduled meeting so that accommodations can be made at 847-448-8170 (Voice) or 847-866-5095 (TDD). La ciudad de Evanston está obligada a hacer accesibles todas las reuniones públicas a las personas minusválidas o las quines no hablan inglés. Si usted necesita ayuda, favor de ponerse en contacto con la Oficina de Administración del Centro a 847-448-4311 (voz) o 847-866-5095 (TTY).

STAFF COMMENTS:

518 & 520 Barton Avenue - Major variation to eliminate 3 unimproved required parking spaces for 2 townhomes (518 & 520 Barton) for sale of parking area to the adjacent property at 1210 South Blvd to construct a future detached garage.

The parking area has never been improved or used for parking purposes, but is the zoning required area for parking for the townhouse units. Variation approval would eliminate the parking requirement for those 2 units. The remaining 3 townhouse units would still have required parking per zoning but no actual parking on-site with the remainder of that area. See site plan and aerial view.

Zoning:

- Since the parking area has never actually been improved or used for parking, and the new proposal maintains the ingress/egress easement, this seems logical. It does not cut off access to any area to anyone.

Parking:

- Parking has no objections and agrees with the Zoning recommendation