LAND USE COMMISSION

Wednesday, November 8, 2023 | 7:00 P.M.
James C. Lytle City Council Chambers, Second Floor
Lorraine H. Morton Civic Center, 2100 Ridge Avenue

AGENDA

Those wishing to make public comments at the Land Use Commission meeting may submit written comments in advance or sign up to provide public comment in-person during the meeting by calling/texting 847-448-4311 or completing the Land Use Commission meeting online comment form available by clicking here, or visiting the Land Use Commission webpage, https://www.cityofevanston.org/government/boards-commissions-and-committees/land-use-commission, clicking on How You Can Participate, then clicking on Public Comment Form. Community members may watch the Land Use Commission meeting online at www.cityofevanston.org/channel16 or on Cable Channel 16.

I. **CALL TO ORDER/DECLARATION OF A QUORUM**

II. **APPROVAL OF MEETING MINUTES: October 25, 2023**

III. **NEW BUSINESS**

A. **Public Hearing: Special Use | 2105-2107 Crawford Avenue | 23ZMJV-0056**
David Heredia, Project Manager, submits for the expansion of existing Special Use Ordinance 81-O-97 for an Animal Hospital, Blue River Pet Care / Fox Animal Hospital, in the C1 Commercial District (Section 6-10-2-3). The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-5 of the Evanston Zoning Code. PIN: 10-11-317-025-0000

B. **Public Hearing: Text Amendment | Efficiency Homes | 23PLND-0060**
David Wallach, Blue Paint Development, submits for a text amendment to the Zoning Ordinance, Title 6 of the City Code, to adjust regulations related to the construction of efficiency homes within residential districts (Section 6-4-1-6; Section 6-8-1-14).The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-4-6 of the Evanston Zoning Code. ***The***

Order & Agenda Items are subject to change. Information about the Land Use Commission is available at: https://www.cityofevanston.org/government/boards-commissions-and-committees/land-use-commission. Questions can be directed to Meagan Jones, Neighborhood and Land Use Planner, at mmjones@cityofevanston.org or 847-448-4311. The City of Evanston is committed to making all public meetings accessible to persons with disabilities. Any citizen needing mobility or communications access assistance should contact 847-866-2919 (Voice) or 847-866-5095 (TYY). Requests for access assistance must be made 48 hours (two working days) in advance. Requests received with less than 48 hours (two working days) advance notice will be attempted using best efforts, but cannot be guaranteed.

La ciudad de Evanston está obligada a hacer accesibles todas las reuniones públicas a las personas minusválidas o las quines no hablan inglés. Si usted necesita ayuda, favor de ponerse en contacto con la Oficina de Administración del Centro a 847/866-2916 (voz) o 847/448-8052 (TDD).

applicant has requested that this item be continued to the December 13, 2023 meeting.

C. Public Hearing: Special Use | 1915-1917 Grant Street | 23ZMJV-0046
In association with 23PLND-0060, David Wallach submits for a Special Use to construct 13 efficiency homes with related zoning relief at 1915-1917 Grant Street in the R3 Two-family Residential District. The request requires the following zoning relief: 1.) 13 proposed dwelling units where a maximum of 6 are permitted on the zoning lot (8 permitted with an IHO bonus), 2.) A front yard setback of 18 ft. where 27 ft. is required, 3.) A parking drive aisle of 23 ft. where 24 ft. is required, 4.) A parking space width of 8 ft. where 8.5 ft. is required, and 5.) An open parking setback of 0 ft. where 3 ft. is required. The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-5 of the Evanston Zoning Code. PIN: 10-12-309-020-0000, 10-12-309-021-0000. ***The applicant has requested that this item be continued to the December 13, 2023 meeting.***

IV. COMMUNICATION

V. PUBLIC COMMENT

VI. ADJOURNMENT

The Evanston Land Use Commission will hold a meeting **on Wednesday, November 29, 2023, at 7:00 pm,** in the James C. Lytle Council Chambers in the Lorraine H. Morton Civic Center.

MEETING MINUTES

LAND USE COMMISSION

Wednesday, October 25, 2023
7:00 PM
Lorraine H. Morton Civic Center, 2100 Ridge Avenue, James C. Lytle City Council Chambers

Members Present: George Halik, Kiril Mirintchev, Kristine Westerberg, Max Puchtel, Jeanne Lindwall, Brian Johnson, and Matt Rodgers

Members Absent: Myrna Arevalo and John Hewko

Staff Present: Assistant City Attorney Brian George, Neighborhood and Land Use Planner Meagan Jones, and Zoning Administrator Melissa Klotz

Presiding Member: Matt Rodgers

Call to Order

Chair Rodgers opened the meeting at 7:00 PM. A roll call was then done and a quorum was determined to be present.

Approval of October 11, 2023 Meeting Minutes

Commissioner Westerberg made a motion to approve the Land Use Commission meeting minutes from October 11, 2023. Seconded by Commissioner Lindwall. Amendments stating that Commissioner Lindwall led the review of Standards for Amendments and other corrections to the standards were discussed. Directions were also given to staff to specify within the minutes when alternative opinions on standards are given. A voice vote was taken, and the motion passed on a vote of 7-0.

New Business

A. Public Hearing: Major Variation | 1723 Simpson Street | 23ZMJV-0059

Nathan Kipnis, architect, Kipnis Architecture + Planning, submits for a Major Variation for an 85 square foot addition for Meals on Wheels of Northeastern Illinois. The applicant requests a zero foot street side yard setback where a 3 foot street side yard setback is required (Section 6-9-2-7) in the B1 Business District. The Land Use Commission is the determining body for this case in accordance with Section 6-3-8-10 of the Evanston Zoning Code. PIN: 10-12-420-014-0000

Deborah Mack, Meals on Wheels Northeastern Illinois, 1723 Simpson Street, spoke about the organization's growth and need for a more accessible walk-in cooler space. Mr. Kipnis, 1642 Payne Street, further described the current operational challenges and reviewed the alternatives that were investigated for the walk-in cooler relocation.

Commissioner Questions

Commissioner Westerberg sought clarification on the front of the building since it is not the Simpson Street address of the property. Mr. Kipnis responded that the front is on Darrow Avenue thus the request for a side yard variance. Ms. Klotz added that it is somewhat common that an address does not align with how zoning determines yards.

Commissioner Johnson inquired about the locations of parking and electric service. Mr. Kipnis said that parking was on the north side of the building and electric was further to the east on the same side.

Public Comment

Chair Rodgers called for public comment. There was none.

Chair Rodgers closed the public testimony.

Deliberations

Commissioner Lindwall noted that she thought it was a minor variation request. The location in line with the building is a reasonable solution.

The Chair reviewed the seven Standards for Major Variations (Section 6-3-8-12.E).

1. The requested variation will not have a substantial adverse impact on the use, enjoyment or property values of adjoining properties: The Chair stated since it is a small addition on the side of the building that does not further encroach on the side yard and because no public comment on property impact has been heard, he believes that the standard is met.
2. The requested variation is in keeping with the intent of the zoning ordinance: The Chair said property additions to make a property function better are common. The Zoning Ordinance allows such accommodation and so he believes that the standard is met.
3. The alleged hardship or practical difficulty is peculiar to the property: The Chair said that the property is a sideways lot with part of the building infringing on the side yard. The addition follows the same line of encroachment. In addition, the alternate locations do not work and so he believes that the standard is met.
4. The property owner would suffer a particular hardship or practical difficulty as distinguished from a mere inconvenience if the strict letter of the regulations were to be carried out: The Chair said that the requested small addition does not cut further into side yards and the variance request makes the property meet the applicants needs and so he believes the standard is met.
5. Either the purpose of the variation is not based exclusively upon a desire to extract additional income from the property, or, while the granting of the variation will result in additional income to the applicant and while the applicant for the

variation may not have demonstrated that the application is not based exclusively upon a desire to extract additional income from the property, the Land Use Commission or the City Council, depending on final jurisdiction under Section 6-3-8-2 of this Chapter, has found that public benefits to the surrounding neighborhood and the City as a whole will be derived from approval of the variation, that include, but are not limited to, any of the standards of Section 6-3-6-3 of this Chapter: The Chair noted that the organization is not-for-profit and does not charge for the space so he believes the standard is met.

6. The alleged difficulty or hardship has not been created by any person having an interest in the property: The Chair said that the building and lot has existed in its current state for a while and the applicant is limited on where it can expand so he believes the standard is met.
7. The requested variation requires the least deviation from the applicable regulation among the feasible options identified before the Land Use Commission issues its decision or recommendation to the City Council regarding said variation: The Chair said the proposed small addition within the existing building lines is a minimum to make it a usable space and so he believes the standard is met.

Chair Rodgers asked for Commissioner comments on the standards. There were none.

Commissioner Lindwall Westerberg made a motion to recommend approval of the Major Variation for the property located at 1723 Simpson Street, zoning case number 23ZMJV-0059, with the condition recommended by staff that the storm water collected from the addition drains onto the existing roof and not onto the public right-of-way. Second by Commissioner Westerberg. A roll call vote was taken, and the motion carried, 7-0.

B. Public Hearing: Major Variations | 2420 & 2422 Grant Street | 23ZMJV-0054

Mark Larsen, real estate agent, Baird & Warner, submits for Major Variations to split one zoning lot into two zoning lots in the R1 Single Family Residential District. The applicant requests a lot size of 6,003 square feet where 7,200 square feet is required (Section 6-8-2-5) and an interior side yard setback of 4 feet where 5 feet is required (Section 6-8-2-8) for 2420 Grant Street. The applicant also requests a lot size of 4,953 square feet where 7,200 square feet is required (Section 6-8-2-5) and a lot width of 33 feet where 35 feet is required for 2422 Grant Street. The Land Use Commission is the determining body for this case in accordance with Section 6-3-8-10 of the Evanston Zoning Code. PINs: 10-12-310-004-0000, 10-12-310-003-0000

Mr. Larsen, 2926 Central Street, reviewed the request including platting, taxation, ownership, and character of the neighborhood.

Chair Rodgers asked staff why the lots cannot be sold separately. Ms. Klotz responded that they are two separately platted lots but are considered as one zoning lot under the Zoning Ordinance since they are substandard lots which have been under common

ownership since 1960. If together they more closely create a compliant zoning lot then they cannot be separated without variations.

Commissioner Questions

Commissioner Mirintchev asked why there is an interior four-foot side yard setback variation request for 2420 Grant Street. Ms. Klotz responded that when the house was built it was compliant at four feet, but the regulations have changed to five feet and a variation is now necessary if the lots are separated.

Commissioner Halik commented on the reasonableness of this Zoning Ordinance regulation and Ms. Klotz noted that it has been flagged for reconsideration as part of the code update. He also noted that other lots on the block have smaller side yard setbacks.

Chair Rodgers asked about the concrete pad off the alley. Ms. Klotz responded that it would need to be removed including three feet into the adjacent lot to have a compliant setback.

Public Comment

Chair Rodgers called for public comment.

Maida Lamell, 2428 Grant Street, expressed concern regarding the variations potential to impact future construction height.

Jeff Vestal, 2424 Grant Street, also expressed concern regarding potential future construction impact on sunlight, building spacing and the environment.

Chair Rodgers asks for final statements.

Mr. Larsen added that any future construction would be required to follow codes and regulations.

Chair Rodgers closed the public testimony.

Deliberations

Commissioner Halik does not have a concern with a 33-foot lot width because it is buildable and in character with the neighborhood.

Commissioner Westerberg commented on architecture and Ms. Klotz confirmed that staff does not dictate architectural standards, but all zoning requirements would have to be met or variations would have to be sought.

Commissioner Lindwall supports the variations and finds it consistent with other R1 lots in the city. Ms. Klotz said that R1 lots have a five-foot side yard setback for the principal structure and a three-foot setback for an accessory structure.

Commissioner Mirintchev concurred with other commissioners and clarified that the four-foot variation for the 2420 Grant Street property is for the existing building and any new construction would have to comply with current regulations or seek appropriate remedies.

The Chair reviewed the seven Standards for Major Variations (Section 6-3-8-12.E).

1. The requested variation will not have a substantial adverse impact on the use, enjoyment or property values of adjoining properties: The Chair said that the lots existed separately at a point and could have both been developed. Development on an empty lot will have an impact. If the lots were kept together, the property could also be redeveloped in the future and have some impact. Overall, there will be some impact on the neighbors, but he believes it is not substantial and so the standard is met.
2. The requested variation is in keeping with the intent of the zoning ordinance: The Chair said that lots are smaller than their approved district across the city with their neighborhood character being more important. The Zoning Ordinance intends owners to be able to use their property and these lots have existed, so he believes the standard is met.
3. The alleged hardship or practical difficulty is peculiar to the property: The Chair said that the 1960 Zoning Ordinance adjoining property common ownership rules to treat as one lot does not follow with how the homeowner has treated them as two separate lots. The owner also tried unsuccessfully to sell the properties as one lot. He believes that it would be unfair to have the lots treated as one in perpetuity and so the standard is met.
4. The property owner would suffer a particular hardship or practical difficulty as distinguished from a mere inconvenience if the strict letter of the regulations were to be carried out: The Chair repeated that the lots have been treated as two separate lots, the owner has tried to sell it as one lot, as one lot it is out of character with the neighborhood, and believes that these demonstrate that the standard is met.
5. Either the purpose of the variation is not based exclusively upon a desire to extract additional income from the property, or, while the granting of the variation will result in additional income to the applicant and while the applicant for the variation may not have demonstrated that the application is not based exclusively upon a desire to extract additional income from the property, the Land Use Commission or the City Council, depending on final jurisdiction under Section 6-3-8-2 of this Chapter, has found that public benefits to the surrounding neighborhood and the City as a whole will be derived from approval of the variation, that include, but are not limited to, any of the standards of Section 6-3-6-3 of this Chapter: The Chair acknowledged that selling two lots will likely result in additional income. However, because they are reduced in size, a smaller

home could be built on the empty lot which is a city goal. He believes that it is a public benefit to have a smaller lot allowing for construction of a smaller house meeting the standard.

6. The alleged difficulty or hardship has not been created by any person having an interest in the property: The Chair reviewed the lot purchase history as it related to the zoning change. The lots were held in common ownership for 47 years with no obvious intent to immediately resell. He said the 1960 Zoning Ordinance now creates a hardship and believes the standard is met.
7. The requested variation requires the least deviation from the applicable regulation among the feasible options identified before the Land Use Commission issues its decision or recommendation to the City Council regarding said variation: The Chair said that if the lots were proposed to be divided differently than the way they have always been, his opinion may vary but since there has always been a forty-foot lot and a thirty-three foot lot he believes that it is the minimum required. Further, the lot subdivision with the setback for the current house following the regulations of when it was built, even though if it was to be reconstructed would have to meet current regulations, meets the standard.

Chair Rodgers asked for Commissioner comments on the standards. There were none.

Commissioner Lindwall made a motion to recommend approval of the Major Variations for the property located at 2420 & 2422 Grant Street, zoning case number 23ZMJV-0054, with the following conditions:

1. That the existing parking pad be reduced in size to be zoning compliant and not overlap onto the new zoning lot.

Second by Commissioner Westerberg. A roll call vote was taken, and the motion carried, 7-0.

<u>Communications</u>

Commissioner Westerberg questioned if when a project is approved with LUC conditions, which may later in the approval process get removed especially if other options have become available after LUC consideration and prior to the next review body, could a notification or update process be in place to let commissioners know it is being removed. Director Flax concurred.

Commissioner Halik stated the urgency for the Comprehensive Plan. Director Flax noted that staff resources were redirected to a unique HUD grant to apply for funds that remove barriers to build affordable housing and for affordable housing preservation. Staff efforts will refocus on the Comprehensive Plan in early November. Commissioner Lindwall suggested getting LUC input on the Comprehensive Plan community engagement and work plan as soon as possible. Chair Rodgers recommended that commissioners communicate with their council members regarding the importance of the Comprehensive Plan to the functioning of the LUC.

Adjournment
Commissioner Lindwall motioned to adjourn, Commissioner Halik seconded, and the motion carried, 6-0.

Adjourned 8:12 PM.

The next meeting of the Evanston Land Use Commission is a Special Meeting to be held on **Wednesday, November 8, 2023, at 7:00 PM, in the James C. Lytle Council Chambers in the Lorraine H. Morton Civic Center.**

Respectfully submitted,
Amy Ahner, AICP, Planning Consultant

Reviewed by,
Meagan Jones, AICP, Neighborhood and Land Use Planner

2105-2107 Crawford Avenue

Special Use
Animal Hospital
23ZMJV-0056

LUC Recommending Body

Memorandum

To: Chair and Members of the Land Use Commission

From: Melissa Klotz, Zoning Administrator

CC: Sarah Flax, Director of Community Development
Elizabeth Williams, Planning Manager

Subject: Special Use – Animal Hospital (Expansion)
Blue River Pet Care / Fox Animal Hospital
2105-2107 Crawford Avenue, 23ZMJV-0056

Date: November 2, 2023

Request

David Heredia, Project Manager, submits for the expansion of existing Special Use Ordinance 81-O-97 for an Animal Hospital, Blue River Pet Care / Fox Animal Hospital, in the C1 Commercial District (Section 6-10-2-3). The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-5 of the Evanston Zoning Code.

Notice

The Application has been filed in conformance with applicable procedural and public notice requirements including publication in the Evanston Review on October 19, 2023.

General Information

Applicant: David Heredia
Blue River Pet Care / Fox Animal Hospital
1 S. Wacker Dr., Suite 2200
Chicago, IL 60606
Evanston, IL 60201

Owner(s): Konstantinos Sotos
Olympia Plaza Evanston LLC
6925 N. Keystone Ave.
Lincolnwood, IL 60712

PIN: 10-11-317-025-0000

Analysis

2105 – 2107 Crawford Avenue is located on the northeast corner of Crawford Avenue and Simpson Street, in the C1 Commercial District. The property features a one-story commercial strip mall with a parking lot. Current tenants include Fox Animal Hospital, a vacant space previously occupied by a nail salon, and a chiropractor office.

Surrounding Zoning and Land Uses	Zoning	Land Use
North	R2 – Single Family Residential District	Single family residences
South	Village of Skokie	Automobile Repair Service
East	R1 - Single Family Residential District	Single family residences
West	Village of Skokie	Gasoline Service Station Single family residences

Property History:

Fox Animal Hospital currently operates in the northernmost unit within the strip mall at 2107 Crawford Avenue. The facility was granted a Special Use for an Animal Hospital in 1997 under Ordinance 81-O-97. The Special Use ordinance does not feature any specific conditions for operation.

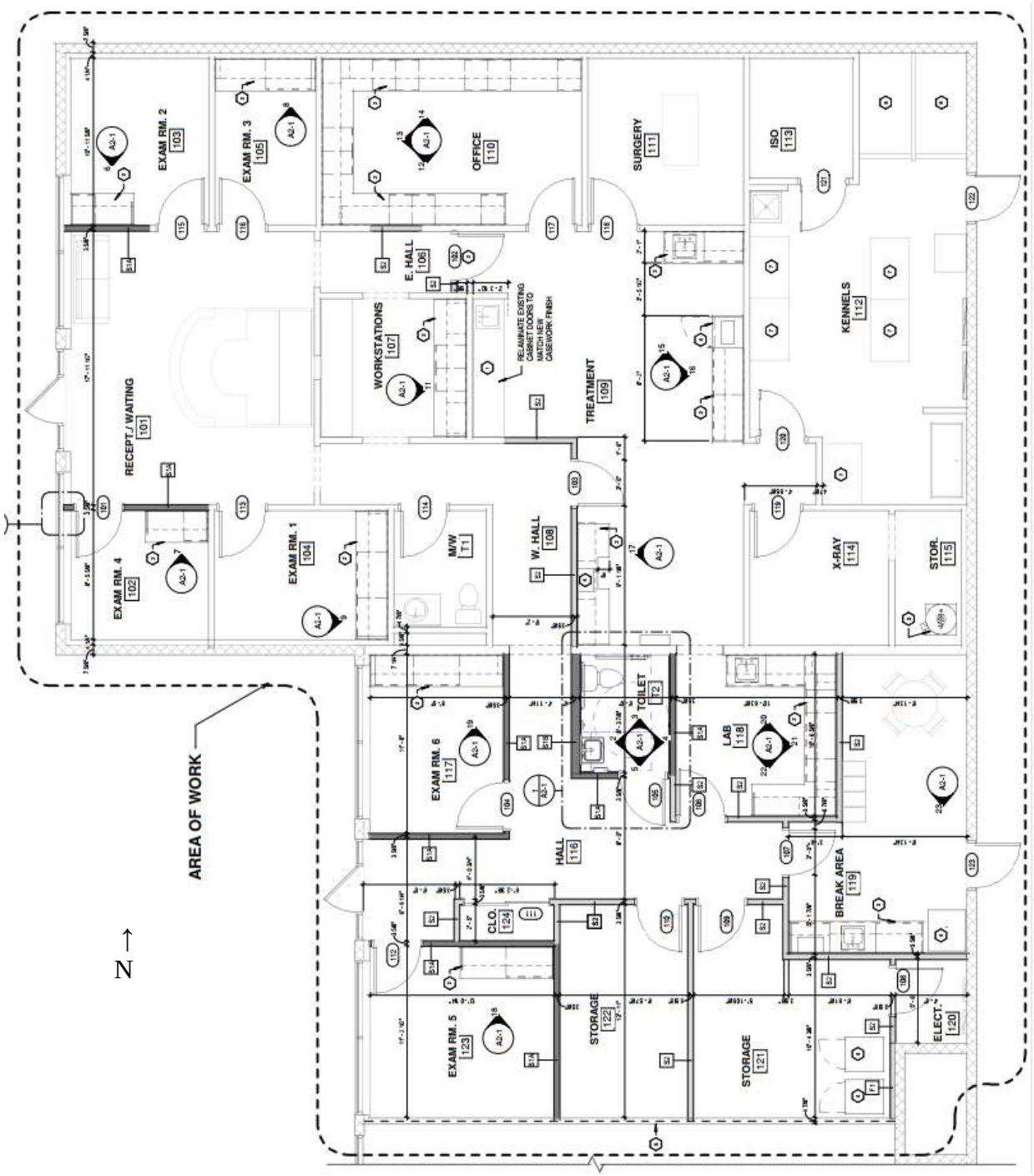
Special Use Analysis:

The Applicant requests to expand the existing Animal Hospital into the adjacent space previously occupied by the nail salon at 2105 Crawford Avenue. The expansion will allow the business to service more animals in a more efficient way. The Zoning Ordinance defines an Animal Hospital as:

> A use or structure intended or used primarily for the testing and treatment of the disorders of animals, including the indoor boarding of animals for such purpose, but not the training or grooming of animals, or outdoor cages, pens, or runs for the animals.

Fox Animal Hospital currently operates within this definition, though no animals are boarded overnight. Business operations include the following:

Hours of operation: 8am – 6pm Monday through Saturday; closed Sundays
Number of employees per shift (on average): 8-10 employees
Parking: 16 dedicated spaces on-site (of 28 total spaces on-site)



The area the business is expanding in to will add two additional exam rooms for six exam rooms total, as well as storage areas, an employee breakroom, and a restroom. The additional exam rooms are located along the storefront where the existing windows will remain. No exterior changes are proposed to the building other than signage. Animals that are walked while visiting the facility do so on-site along the Simpson Street frontage.

The parking lot features 25 typical parking stalls as well as 3 tandem stalls along the north side of the building (likely an old loading zone). Of the 28 total spaces, 12 are dedicated to the chiropractor business, 6 were previously for the nail salon but will now be used by the Animal Hospital upon expansion, and the remaining 10 spaces are for the Animal Hospital. Altogether, the Animal Hospital will have 16 dedicated parking spaces on-site, 5 of which are for employee use (including the 3 tandem stalls).

No public comments have been received, and staff is not aware of any past complaints regarding the business or operations under the existing Special Use approval.

Staff Review

The Special Use application was reviewed by staff. The following conditions are suggested for consideration:

1. Hours of operation shall not exceed 8am - 9pm, 7 days a week.
2. One outdoor refuse container is required along with a pet waste station that includes pet waste bags.
3. The dead bushes at the front of the property shall be replaced within one year of the special use approval.

4. No more than 20% of the storefront windows shall be covered as allowed by the Sign Code.
5. The applicant shall submit for a permit to tie the existing fire alarm panel at the Animal Hospital to the expanded area, as required by the Fire Department.
6. Substantial compliance with the documents and testimony on record.
7. Recordation of the special use ordinance with the Cook County Recorder of Deeds is required.

Department Recommendation

The Community Development Department finds the Standards for Approval (Section 6-3-5-10) are met and recommends approval of the expanded Special Use and consideration of the above conditions for operation at 2105-2107 Crawford Avenue.

Standards for Approval

The proposed special use must follow the Standards for a Special Use (Section 6-3-5-10). For the Land Use Commission to recommend that the City Council grant a special use, the LUC must find that each proposed special use:

1. Is one of the listed special uses for the zoning district in which the property lies;
2. Complies with the purposes and the policies of the Comprehensive General Plan and the Zoning ordinance;
3. Does not cause a negative cumulative effect in combination with existing special uses or as a category of land use;
4. Does not interfere with or diminish the value of property in the neighborhood;
5. Is adequately served by public facilities and services;
6. Does not cause undue traffic congestion;
7. Preserves significant historical and architectural resources;
8. Preserves significant natural and environmental resources;
9. Complies with all other applicable regulations;

Action by the Commission

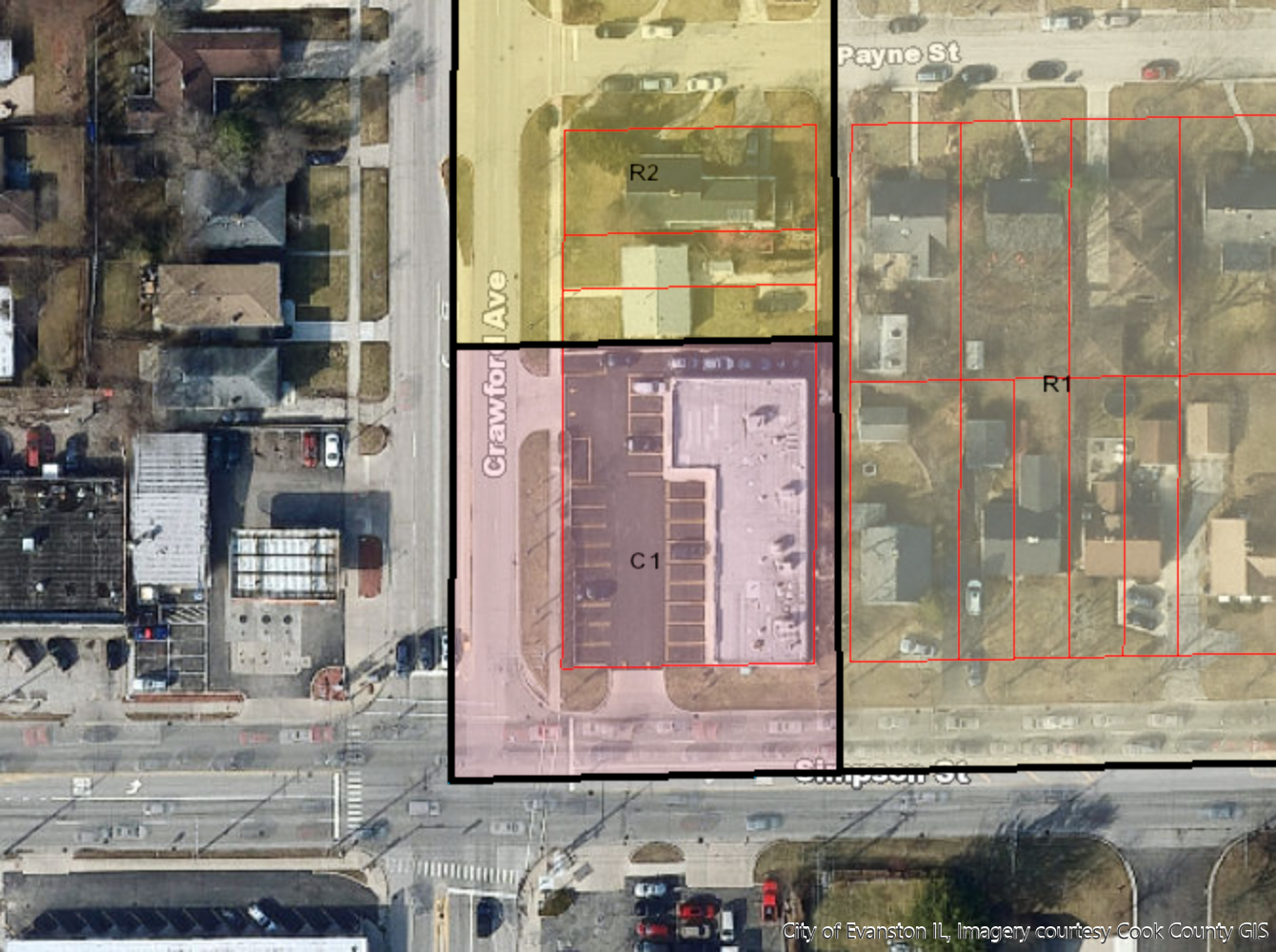
After making findings of fact as to whether or not the requested special use meets or does not meet the aforementioned Standards for Special Use, the Land Use Commission may make a recommendation or recommendations to the Planning & Development Committee of the City Council to recommend approval, denial, or no recommendation (in the case of a tie) for the special use requested. In each scenario, the Commission may choose to include recommended conditions that the City Council may then consider when making the final determination. The Land Use Commission is the recommending body and the City Council is the determining body (Section 6-3-5-8).

Attachments

Aerial View of Property
Zoning Map of Property
Image of Property
Special Use Application – submitted August 22, 2023
Operations Summary
Parking Details

Plat of Survey
Site Plans
Existing Special Use Ordinance 81-O-97
Staff Comments
Public Notice


R2
Crawford Ave
C1
R1
Simpson St
City of Evanston IL, Imagery courtesy Cook County GIS


Payne St
R2
R1
C1
Crawford Ave
Simpson St
City of Evanston IL, Imagery courtesy Cook County GIS


Fox Animal Hospital

City of Evanston

Michael Griffith <mgriffith@cityofevanston.org>

Zoning Special Use

1 message

noreply@formstack.com <noreply@formstack.com> Tue, Aug 22, 2023 at 2:24 PM
Reply-To: noreply@formstack.com
To: mgriffith@cityofevanston.org, csterling@cityofevanston.org, zoning@cityofevanston.org

formstack

Formstack Submission For: Zoning Special Use

Submitted at 08/22/23 2:24 PM

Address:	2105 Crawfard Ave Evanston , IL 60201
Permanent Identification Number (PIN) 1:	10-11-317-025-0000
Permanent Identification Number (PIN) 2:	
Name:	David Heredia
Organization:	Blue Rive Pet Care / Fox Animal Hospital
Address:	1 S. Wacker Dr 2200 Chicago, IL 60606
Home or Office Phone Number:	(312) 940-9407
Cell Phone Number:	(847) 531-0278
Email:	dheredia@brplp.com
Please choose primary means of contact:	Email
Is applicant also the property owner?:	No
Name:	Konstantinos Sotos

Organization:	Konstantinos D. Sotos - OLYMPIA PLAZA EVANSTON, LLC
Address:	
Home or Office Phone Number:	
Cell Phone Number:	
Email:	kdsotos@gmail.com
What is the relationship of the applicant to the property owner?:	Lessee
Briefly describe the proposed Special Use:	Fox Animal Hospital is now leasing the space directly next to the current hospital. We will be doing a buildout to combine the two spaces into one hospital.
Is the requested special use one of the special uses specifically listed in the Zoning Ordinance? What section of the Zoning Ordinance lists your proposed use as an allowed special use in the zoning district in which the subject property lies?:	I believe so as we currently have a special use permit from 1997 according to section 6-3-5-10. This was case number 97-19-SU and is for the current hospital at 2107 Crawfard Ave.
Will the requested special use interfere with or diminish the value of property in the neighborhood? Will it cause a negative cumulative effect on the neighborhood?:	No, the special use will help server the community by allowing the current animal hospital to expand and service more animals in a more efficient way.
Will the requested special use be adequately served by public facilities and services?:	Yes, they are currently already ran to the unit
Will the requested special use cause undue traffic congestion?:	NO.
Will the requested special use preserve significant historical and architectural resources?:	No, there are none of these at the location.
Will the requested special use preserve significant natural and environmental features?:	No, there are none of these at the location
Will the requested special use comply with all other applicable regulations of the district in which it is located and other applicable ordinances, except to the extent such regulations have been modified through the planned development process or the grant of a variation?:	Yes, the current hospital will comply with all of these.
Is applicant acting as an agent or designee for the proposed user of the land for which this	No

application for zoning relief is made?:	
List the name, address, phone, fax, and any other contact information of the proposed user of the land.:	
Does the proposed land user own or control the land for which this application for zoning relief is made?:	Yes
List the name, address, phone, fax, and any other contact information of the person or entity that has constructive control of the proposed land user.:	
Does the proposed land user hold the title to the subject property?:	No
Is the person or entity that holds the title the same as the one listed in the previous question?:	Yes
List the name, address, phone, fax, and other contact information of the person or entity holding the title to the subject property.:	
Is the Applicant or Proposed Land User a Corporation?:	Yes
A. Names and addresses of all officers and directors.:	BRM IL MGMT, LLC 1 S. Wacker Dr 2200 Chicago, IL 60606 Dan Blumenthal - President, Roy Jain - Secretary, Amy Ward - Treasurer
B. Names, addresses, and percentage of interest of all shareholders. If there are fewer than 33 shareholders, or shareholders holding 3% or more of the ownership interest in the corporation or if there are more than 33 shareholders.:	NA
Name, address, percentage of interest, and relationship to applicant, of each partner, associate, person holding a beneficial interest, or other person having an interest in the entity applying, or in whose interest one is applying, for zoning relief.:	
Plat of Survey - One copy of plat of survey, drawn to scale, that accurately reflects current conditions.:	View File
Date of Survey:	

Site Plan/Graphic Drawings - One copy of site plan or floor plans, drawn to scale, showing all dimensions or graphic representations for any elevated proposal-- garages, home additions, roofed porches, etc.:	View File
Date of Drawings:	Jul 26, 2023
Proof of Ownership - Accepted documents for Proof of Ownership include: a deed, mortgage, contract to purchase, closing documents, etc.:	View File
Document Submitted:	Lease Agreement
Quantity:	1
Price:	660
Credit Card:	Card number: **********5024 Expiration: 10/26
I certify that all of the above information and all statements, information, and exhibits that I am submitting in conjunction with this application are true and accurate to the best of my knowledge.:	View Signature

City of Evanston

Melissa Klotz <mklotz@cityofevanston.org>

RE: Fox Animal Hospital special use

1 message

Philip Lator <plator@brplp.com> Wed, Oct 18, 2023 at 4:00 PM
To: David Heredia <dheredia@brplp.com>, Melissa Klotz <mklotz@cityofevanston.org>

Melissa,

I've included the answers to the operations questions below. Do you need this summarized in paragraph form on our letterhead? Also, can you confirm that we are on LUC schedule for November 8 and where the meeting will take place? Thanks.

- Hours of operation -- M-F 8:00am to 6:00pm Sa 8:00am to 6:00pm
- Number of employees per shift (average) --8-10 people per shift, it can depend
- Number of on--site parking spaces are available for our business (including new space) 24 parking spaces in the whole lot
- Where employees park- -along side the building, sometimes in lot, and on side streets
- Any rules or procedures for outdoor dog walks-- When a dog is walked outside, we only walk right Infront of our building on street side.
- Any outdoor garbage cans or pet waste stations or designated areas -- There is a dumpster along side of the building.
- How many pets stay overnight if any, etc --- We do not have any pets stay overnight
- Anything else pertinent you can think of. --None

Phil Lator
Vice President of Operations

312-436-1176 (Direct)
312-441-0730 (Fax)
plator@brplp.com

Blue River PetCare
1 S Wacker, Suite 2200
Chicago, IL 60606

312-436-1170

www.blueriverpetcare.com

From: David Heredia <dheredia@brplp.com>
Sent: Friday, October 13, 2023 9:51 AM
To: Melissa Klotz <mklotz@cityofevanston.org>
Cc: Philip Lator <plator@brplp.com>
Subject: Re: Fox Animal Hospital special use

Thank you, Melissa this is a great breakdown. We look forward to working through the process.

Dave Heredia
Construction Project Manager

P 312.940.9407 | **F** 312.441.0730

Blue River PetCare

E dheredia@brplp.com | **W** blueriverpetcare.com

1 S. Wacker, Suite 2200, Chicago, IL 60606

City of Evanston

Melissa Klotz <mklotz@cityofevanston.org>

RE: Fox Animal Hospital special use

1 message

Philip Lator <plator@brplp.com> Wed, Nov 1, 2023 at 10:43 AM
To: Melissa Klotz <mklotz@cityofevanston.org>
Cc: David Heredia <dheredia@brplp.com>

Melissa,

I'm attached a map of the parking lot which includes 28 parking spaces in total. As it relates to your questions:

1. We currently have 5 spaces for customers (19-23) and 5 spaces for employees (24-28).
2. Once we expand, we will have access to 6 additional spaces (13-18) which were previously used by the nail salon.
3. The chiropractor has 12 spaces (1-12) and this will not change.

I think that answers your questions but let me know if not. Are you available either later today or tomorrow for a call? Let me know a few times that work. Thanks!

Phil Lator
Vice President of Operations

312-436-1176 (Direct)
312-441-0730 (Fax)
plator@brplp.com

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1 S Wacker, Suite 2200
Chicago, IL 60606

312-436-1170

www.blueriverpetcare.com

From: Melissa Klotz <mklotz@cityofevanston.org>
Sent: Monday, October 30, 2023 4:54 PM
To: Philip Lator <plator@brplp.com>
Cc: David Heredia <dheredia@brplp.com>
Subject: Re: Fox Animal Hospital special use

Phil,

Sorry for getting back to you just now - as I'm pulling all of your info together for the staff recommendation for approval, some questions have come up regarding parking. Can you clarify the following:

How many on-site parking spaces are currently dedicated for the animal hospital's use currently?

How many on-site parking spaces are currently dedicated to other businesses?

SPIEWAK CONSULTING
PROFESSIONAL DESIGN FIRM
LICENSE NO.:184.006518
1030 W. HIGGINS RD., STE 218
PARK RIDGE, IL 60068
phone: (773) 853-2672 (630) 351-9489
www.landsurveyors.pro
andrew@landsurveyors.pro

PLAT OF SURVEY

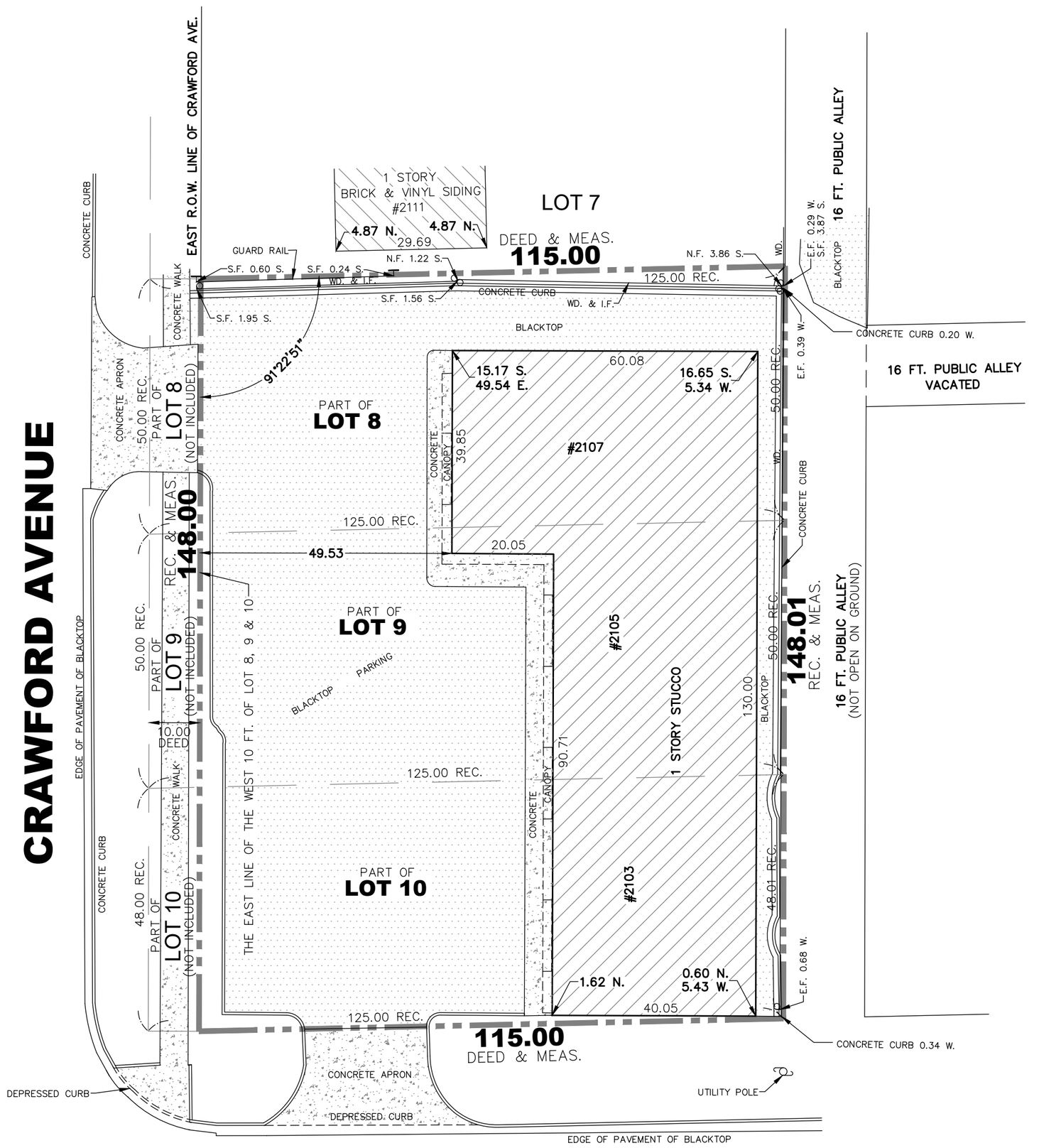
by

ANDREW SPIEWAK LAND SURVEYOR, INC.

of

LOT 8 (EXCEPT THE WEST 10 FEET THEREOF), LOT 9 (EXCEPT THE WEST 10 FEET THEREOF) AND LOT 10 (EXCEPT THE WEST 10 FEET THEREOF) IN BLOCK 4 IN THE HIGHLANDS EVANSTON LINCOLNWOOD FIRST ADDITION, BEING A SUBDIVISION OF THE SOUTH WEST 1/4 OF THE SOUTH WEST 1/4 (EXCEPT THE WEST 20 ACRES THEREOF) OF SECTION 11, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

BEARINGS ARE SHOWN FOR ANGULAR REFERENCE ONLY AND ARE NOT RELATED TO TRUE OR MAGNETIC NORTH.



COMMONLY KNOWN AS:
2107 CRAWFORD AVE.
EVANSTON, IL 60201
P.I.N. 10-11-317-025
LAND AREA ± 17,015 sq. ft.

LEGEND

FENCE
C.L.= CHAIN LINK FENCE, I.F.= IRON FENCE
V.F.= VINYL FENCE, WD.= WOOD FENCE
E.F.= EAST FACE, N.F.= NORTH FACE
S.F.= SOUTH FACE, W.F.= WEST FACE
(M)= MEASURED (R)= RECORD
CROSS FOUND & SET
IRON ROD FOUND IRON ROD SET
IRON PIPE FOUND IRON PIPE SET
BUILDING SETBACK LINE
EASEMENT LINE
PROPERTY LINE

SCALE: 1 INCH EQUALS 20 FEET.
DISTANCES ARE MARKED IN FEET AND DECIMAL PARTS THEREOF.

ORDERED BY: *DAVID HEREDIA*
ORGANIZATION: *BLUE RIVER PET CARE*
SURVEYED BY: *JG, TT*
DRAWN BY: *RAM*
CHECKED BY: *AFS*
PROJECT No: **287-23**

THIS SURVEY IS VALID ONLY WITH AN EMBOSSED SEAL

ANDRZEJ F. SPIEWAK
3178
PROFESSIONAL LAND SURVEYOR
STATE OF ILLINOIS
PARK RIDGE

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

ANDREW SPIEWAK LAND SURVEYOR, INC., A PROFESSIONAL DESIGN FIRM, LAND SURVEYING CORPORATION, LICENSE No.: 184.006518 HEREBY CERTIFIES THAT A SURVEY HAS BEEN MADE UNDER THE DIRECTION AND SUPERVISION OF AN ILLINOIS PROFESSIONAL LAND SURVEYOR OF THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR BOUNDARY SURVEYS.

THE FIELD WORK WAS COMPLETED ON 30th DAY OF AUGUST A.D. 2023 .
DATE OF PLAT: 5th DAY OF SEPTEMBER A.D. 2023 .

BY: Andrzej F. Spiewak

ILLINOIS PROFESSIONAL LAND SURVEYOR
ANDRZEJ F. SPIEWAK LICENSE No.: 035.003178
LICENSE EXPIRES 11/30/2024

PROFESSIONAL DESIGN FIRM
LAND SURVEYING CORPORATION, No.: 184.006518
LICENSE EXPIRES 04/30/2025


25
2827-26
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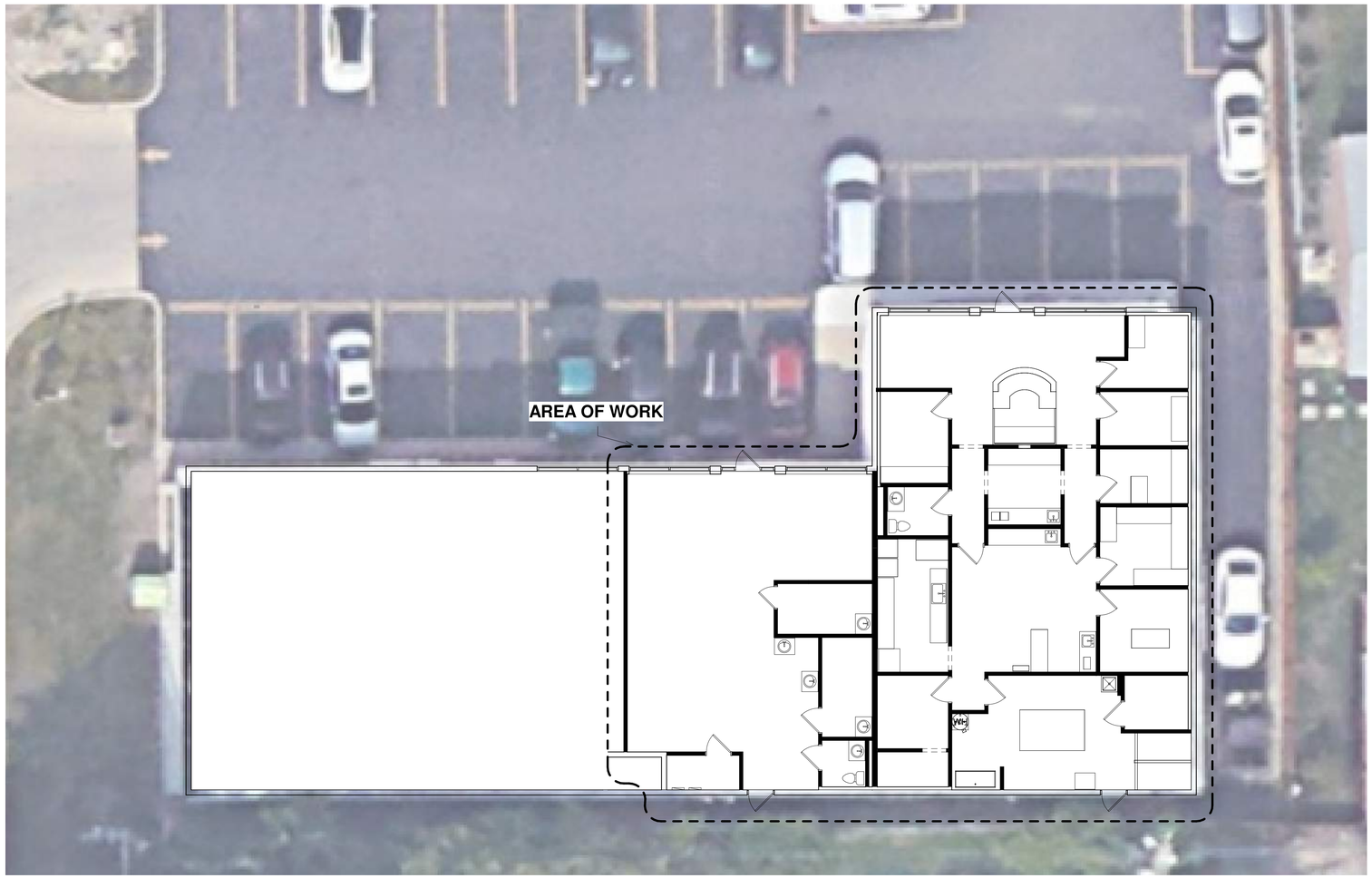
Fox Animal Hospit
Alni Nails
2101

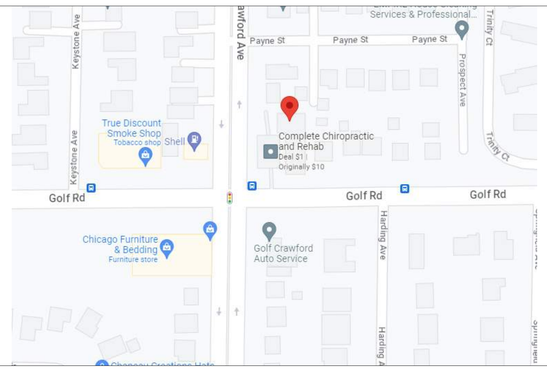
FOX ANIMAL HOSPITAL RENOVATION

2107 CRAWFORD AVE,
EVANSTON, IL 60201



1 SITE PLAN
1/8" = 1'-0"

SITE LOCATION



LIST OF ABBREVIATIONS

@	AT (THE RATE OF)
&	AND
#	NUMBER OR POUND
ACT	ACOUSTIC CEILING TILE
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
BLDG	BUILDING
B/O	BOTTOM O/F
CL	CENTER LINE
CLG	CEILING
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
CPT	CARPET
DET	DETAIL
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DWGS	DRAWINGS
ELECT	ELECTRICAL
EL	ELEVATION
EQ	EQUAL
EXT	EXTERIOR
EXIST	EXISTING
EXP JT	EXPANSION JOINT
FD	FLOOR DRAIN
FL	FLOOR
FT	FOOT
GL	GLASS
GYP BD	GYPSUM WALLBOARD
HC	HOLLOW CORE
HCA	HANDICAP ACCESSIBLE
HT	HEIGHT
HM	HOLLOW METAL
INSUL	INSULATION
JB	JUNCTION BOX
LA	LANDSCAPE ARCHITECT
LAM	LAMINATE OR LAMINATED
LAV	LAVATORY
MAX	MAXIMUM
MECH	MECHANICAL
MO	MASONRY OPENING
MTL	METAL
MFG	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
NIC	NOT IN CONTRACT
NO	NUMBER
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
PLAS LAM	PLASTIC LAMINATE
PSP	POUNDS PER SQUARE FOOT
PT	PAINT
PTD	PAINTED
REQ'D	REQUIRED
SC	SOLID CORE
ST/ST	STAINLESS STEEL
SECT	SECTION
SF	SQUARE FOOT
SY	SQUARE YARD
SHT	SHEET
STD	STANDARD
STL	STEEL
T&B	TOP AND BOTTOM
T&G	TONGUE AND GROOVE
THK	THICK, THICKNESS
T/O	TOP OF
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITION TILE
V/F	VERIFY IN FIELD
W/	WITH
W/O	WITHOUT
W/C	WATERCLOSET
YD	YARD

SYMBOLS LEGEND

ROOM IDENTIFICATION TAG
ROOM — ROOM NAME
000 — ROOM NUMBER

DOOR IDENTIFICATION TAG
101-1 — DOOR LOCATION / DOOR NUMBER

ELEVATION TAG
X — DRAWING NUMBER
AX.X — SHEET NUMBER
SIM

SECTION TAG
TYP — TAG NOTE
X — DRAWING NUMBER
AX.X — SHEET NUMBER
NOTE: ARROW FILL REMOVED WHEN USING THE BUILDING SECTION TAG

DETAIL TAG
1 — DRAWING NUMBER
A101 — SHEET NUMBER
SIM — TAG NOTE

N — NORTH ARROW
1 — KEYNOTE
ELEVATION TAG
XX — WALL TYPE TAG
1hr — WALL FIRE RATING TAG
2 — REVISION CLOUD
HANDICAP ACCESSIBLE
FE — FIRE EXTINGUISHER

LIST OF DRAWINGS

NO.	NAME	DESCRIPTION	REVISION NO.	REVISION DATE
GENERAL				
1	G1-1	GENERAL BUILDING INFORMATION		
2	G1-2	CODE STUDY		
3	G1-3	ACCESSIBLITY STANDARDS		
4	G1-4	SPECS & GENERAL NOTES		
ARCHITECTURAL				
5	A0-1	DEMOLITION FLOOR PLAN		
6	A0-2	DEMOLITION REFLECTED CEILING PLAN		
7	A1-1	FIRST FLOOR PLAN		
8	A1-2	REFLECTED CEILING PLAN		
9	A1-3	FIRST FLOOR FINISH PLAN & MILLWORK PLAN		
10	A1-4	EQUIPMENT PLAN		
11	A2-1	INTERIOR ELEVATIONS		
12	A3-1	WALL TYPES AND DETAILS		
13	A4-1	SCHEDULES		
MECHANICAL				
14	M0.1	MECHANICAL LEGEND ABBREVIATIONS AND NOTES		
15	M0.2	MECHANICAL SPECIFICATIONS		
16	M1.0	MECHANICAL FLOOR PLAN		
17	M1.1	MECHANICAL ROOF PLAN		
18	M2.0	MECHANICAL DETAILS		
19	M3.0	MECHANICAL SCHEDULES		
PLUMBING				
20	P0.1	PLUMBING LEGEND ABBREVIATIONS AND NOTES		
21	P0.2	PLUMBING SPECIFICATIONS		
22	P1.0	SANITARY DRAINAGE FLOOR PLAN		
23	P2.0	DOMESTIC WATER FLOOR PLAN		
24	P3.0	PLUMBING RISER DIAGRAM		
25	P4.0	PLUMBING DETAILS		
26	P5.0	PLUMBING SCHEDULES		
ELECTRICAL				
27	E0.0	ELECTRICAL COVER SHEET		
28	E1.0	LIGHTING FLOOR PLAN		
29	E2.0	POWER FLOOR PLAN		
30	E2.1	ELECTRICAL ROOF PLAN		
31	E3.0	ELECTRICAL SCHEDULES		

ARCHITECT'S SEAL & STATEMENT

ERIC PEPA
001-015516
REGISTERED LICENSED ARCHITECT
OF ILLINOIS
EXP. 11/30/24
DESIGN FIRM #: IL 184-002172
DATE OF SIGNATURE: 7/26/23

PERMIT SET 7/26/23

ALLEN PEPA ARCHITECTS
INFO@ALLENPEPA.COM
TEL: (630) 578-1105
215 FULTON ST., GENEVA, IL 60134

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SPRINGFIELD, IL 62704
+1 (312) 560 8428
WWW.3SMEP.COM

FOX ANIMAL HOSPITAL RENOVATION
2107 CRAWFORD AVE,
EVANSTON, IL 60201

Schematic Design:	5/8/23
Design Development	
Bidding:	
Permit:	
ISSUE DATE:	7/26/23

POST BID/PERMIT REVISIONS:

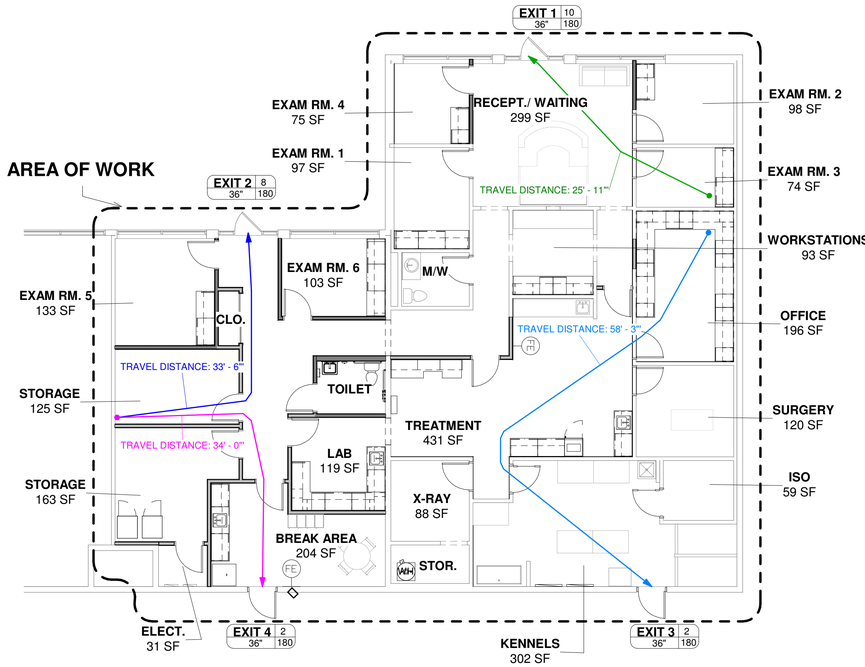
No.	Date	Description

PROJECT NO.	23-009
DRAWN BY	YL/OS
CHECKED BY	EP
SHEET	1 OF 31

GENERAL BUILDING INFORMATION

G1-1

W:\Arch 23\23-009 Fox Animal Hospital\23-009 Fox Animal Hospital - Central.rvt



1 FIRST FLOOR - EGRESS PLAN
1/8" = 1'-0"

OCCUPANCY LOAD

Name	Occupancy 1/x	Area	Total Occupants
BREAK AREA	300	204 SF	1
ELECT.	300	31 SF	1
EXAM RM. 1	150	97 SF	1
EXAM RM. 2	150	98 SF	1
EXAM RM. 3	150	74 SF	1
EXAM RM. 4	150	75 SF	1
EXAM RM. 5	150	133 SF	1
EXAM RM. 6	150	103 SF	1
ISO	300	59 SF	1
KENNELS	300	302 SF	2
LAB	300	119 SF	1
OFFICE	150	196 SF	2
RECEPT./ WAITING	300	299 SF	1
STOR.	300	44 SF	1
STORAGE	300	125 SF	1
STORAGE	300	163 SF	1
SURGERY	300	120 SF	1
TREATMENT	300	431 SF	2
WORKSTATIONS	300	93 SF	1
X-RAY	300	88 SF	1
TOTAL		2,855 SF	22

BUILDING INFORMATION

SUMMARY OF WORK:
1. NO SITE WORK OR EXCAVATION
2. DEMO EXISTING INTERIOR OFFICE PARTITIONS, BATHROOMS, ETC.
3. EXTERIOR WALLS TO REMAIN AS IS
5. NEW INTERIOR FINISHES
6. NEW/REVISED HVAC, NEW DISTRIBUTION
7. NEW BATHROOM, PLUMBING FIXTURES, STORAGE ROOM AND OFFICE
8. NEW LIGHTING AND RECEPTACLE LOCATIONS, NEW ELEC SERVICE & DISTRIBUTION
9. NEW DATA WIRING

APPLICABLE CODES **ALL CODES MAY BE SUBJUECT TO MUNICIPAL AMENDMENTS

EVANSTON

2021	**INTERNATIONAL BUILDING CODE**
2021	**INTERNATIONAL FIRE CODE**
2021	**INTERNATIONAL MECHANICAL CODE**
2014	**ILLINOIS STATE PLUMBING CODE W/ AMENDMENTS**
2021	**INTERNATIONAL FUEL GAS CODE**
2021	**NFPA 101 LIFE SAFETY CODE**
2018	**INTERNATIONAL ENERGY CONSERVATION CODE**
2020	**NATIONAL ELECTRIC CODE**

OCCUPANCY CLASSIFICATION AND USE TYPES (CH. 3)

PROPOSED OCCUPANCY: USE GROUP: B- BUSINESS
ZONING CLASSIFICATION: C1 - COMMERCIAL DISTRICT (SPECIAL USES - ANIMAL HOSPITAL)

TYPE OF CONSTRUCTION (CH 6): 3B, 2 HR EXTERIOR BEARING WALLS, UNPROTECTED

FIRE PROTECTION: UNSPRINKLERED

S.F. ANALYSIS: (APPROXIMATIONS +/ 20 s.f.)
1. EXIST. AREA: 2,310 SF (PARTIAL INTERIOR REMODEL ONLY)
2. NEW AREA: 1,160 SF (INTERIOR REMODEL ONLY)
3. TOTAL AREA: 3,470 SF

NOTE: INTERIOR CONSTRUCTION ONLY, NO CHANGE IN AREA

MEANS OF EGRESS (CH. 10)

DEAD END LIMIT (1018.4):	20 FEET / 50 FT. IN M OCCUPANCY
NUMBER OF EXITS REQUIRED (1021):	2 PER FLOOR
CORRIDOR WIDTH (1018.2):	44" MINIMUM / 36" MIN. IF SERVING <50
CLEAR EXIT WIDTH:	32" (36" NOMINAL)
STAIR WIDTH:	44" MINIMUM / 36" MIN. IF SERVING <50
LANDING WIDTH:	44" MINIMUM / 36" MIN. IF SERVING <50
STAIR HANDRAIL HEIGHT:	34" - 38"
STAIR GUARDRAIL HEIGHT:	42"
PANIC HARDWARE:	50 OR MORE
DOOR SERVING OCCUPANT LOADS:	2 FOR OCCUPANCY W/ 50 OR MORE
MINIMUM WIDTH AT DOORS:	4'-10"

1. TYPICAL EGRESS WIDTHS, SPRINKLED BUILDING (1003.2.3):
STAIRWAYS: .3" PER OCCUPANT
OTHER AREAS: .2" PER OCCUPANT

2. TRAVEL DISTANCE (1017.2):
B OCCUPANCY- 200' W/OUT SPRINKLER

FIRE RESISTANCE RATING REQUIREMENTS (TABLE 601)

STRUCTURAL FRAME:	0-HRS
ROOF:	0-HR SUPPORTING ROOF ONLY BEARING WALLS
BEARING WALLS	
EXTERIOR	2-HRS - SEE TABLE 601 and as per 704.5: within 5'
INTERIOR	
NON-BEARING WALLS:	0 HRS
EXTERIOR:	0 HRS
INTERIOR:	1 HR - DEMISING WALLS ONLY
ROOF CONSTRUCTION:	0 HRS

FIRE RESISTANCE OF THE EXTERIOR WALL AND OPENINGS PER TABLE 602 AND 704.8:

0 HR	IF STRUCTURE IS OVER 30 FT AWAY FROM THE FACE OF THE BUILDING. (PERTAINS TO DOOR 104 AND 103)
1 HR	IF DISTANCE FROM FAÇADE TO ADJACENT PROPERTY LINE IS BETWEEN 10' AND 30'
45% OF WALL CAN BE AN OPENING	IF THE BUILDING IS GREATER THAN 20' - 25' AWAY

FLAME SPREAD PER CHAPTER 8 (TABLE 803.13):
ALL NEW INTERIOR FINISHES SHALL COMPLY WITH CHAPTER 8 IBC:

	EXIT ENCLS.	CORRIDORS	ROOMS & ENC. SPACES
GROUP B:	B	C	C

ASTM E84 / FLAME SPREAD (FS) AND SMOKE DEVELOPMENT (SD) INDEX:

CLASS	FLAME SPREAD	SMOKE DEVELOPED
A	FRS: 0-25	0-450
B	FOS: 26-75	0-450
C	FOS: 76-200	0-450

ADA REQUIREMENTS

SEE SHEET G1-2

PLUMBING FIXTURE COUNT REQUIREMENTS

REQUIRED			
WATER CLOSET	LAVATORY	DRINKING FOUNTAIN	SERVICE SINK
1 PER 25 FOR THE FIRST 50	1PER 40 FOR THE FIRST 80	1 PER 100	1
1	1	1	1
PROVIDED			
2	2	WATER BOTTLE	1

890.720 f) Substitution. Whenever a drinking fountain is required by this Part, bottled drinking water or a water dispensing faucet (water station) may be substituted for a drinking fountain, provided that drinking water is accessible to the public. When bottled drinking water is provided in lieu of a drinking fountain, the bottled water used shall be commercially sealed in accordance with the Illinois Bottled Water Act and the Illinois Safe Bottled Water Act.

ENERGY CODE REQUIREMENTS

IECC 2018 TABLE C301.1, C402.1.3 AND C402.4, R402.1

CLIMATE ZONE (C301.1): 5A		COMMERCIAL	RESIDENTIAL- 4+ ST., R2, R3, R4, NOT 1&2 FAMILY
ROOFS	INSULATION ENTIRELY ABOVE ROOF	R-30 ci (continuous insulation)	R-30 ci
	METAL BUILDINGS (b)	R-19 + R-11 LS (Liner System)	R-19 + R-11 LS
	ATTIC AND OTHER	R-38	R-49
WALLS ABOVE GRADE	MASS (g)	R-11.4ci	R-13.3ci
	METAL BUILDING	R-13+R-13ci	R-13+R-13ci
	METAL FRAMED	R-13+R-7.5ci	R-13+R-7.5ci
	WOOD FRAMED AND OTHER	R-13+R-3.8ci OR R-20	R-13+R-7.5ci OR R-20+R-3.8ci
WALLS BELOW GRADE	BELOW-GRADE WALL (d)	R-7.5ci	R-7.5ci
FLOORS	MASS (e)	R-10ci	R-12.5ci
	JOIST/FRAMING	R-30	R-30
SLAB-ON-GRADE FLOORS	UNHEATED SLABS	R-10 FOR 24" BELOW	R-10 FOR 24" BELOW
	HEATED SLABS (h)	R-15 FOR 36" BELOW + R-5 FULL SLAB	R-15 FOR 36" BELOW + R-5 FULL SLAB
OPAQUE DOORS	NON-SWINGING	R-4.75	R-4.75
	SWINGING DOOR (C402.1.4)	U-0.37	U-0.37
	GARAGE DOOR (<14% GLAZING)	U-0.31	U-0.31
FENESTRATION (C402.4- SHGC- SEE CHART FOR ORIENTATION)	FIXED FENESTRATION:	U-0.38, SHGC- 0.40	U-0.38, SHGC- 0.40
	OPERABLE FENESTRATION:	U-0.45, SHGC- 0.40	U-0.45, SHGC- 0.40
	ENTRANCE DOORS:	U-0.77, SHGC- 0.40	U-0.77, SHGC- 0.40
	SKYLIGHTS:	U-0.50, SHGC- 0.40	U-0.50, SHGC- 0.40

R4 EP 1-19-21

(b) Where using R-value compliance method, a thermal spacer block shall be provided, otherwise use the U-factor compliance method in Table C402.1.4
(d) Where heated slabs are below grade, below-grade walls shall comply with exterior insulation requirements for heated slabs.
(e) "Mass floors" shall be in accordance with Section C402.2.3
(g) "Mass walls" shall be in accordance with Section C402.2.2.
(h) The first value is for perimeter insulation and the second value is for slab insulation. Perimeter insulation is not required to extend below the bottom of the slab.

PERMIT SET 7/26/23

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INFO@ALLENPEPA.COM
TEL: (630) 578-1105
215 FULTON ST., GENEVA, IL 60134

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SPRINGFIELD, IL 62704
+1 (312) 560 8428
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FOX ANIMAL HOSPITAL RENOVATION
2107 CRAWFORD AVE,
EVANSTON, IL 60201

Schematic Design:	5/8/23
Design Development	
Bidding:	
Permit:	
ISSUE DATE:	7/26/23

POST BID/PERMIT REVISIONS:

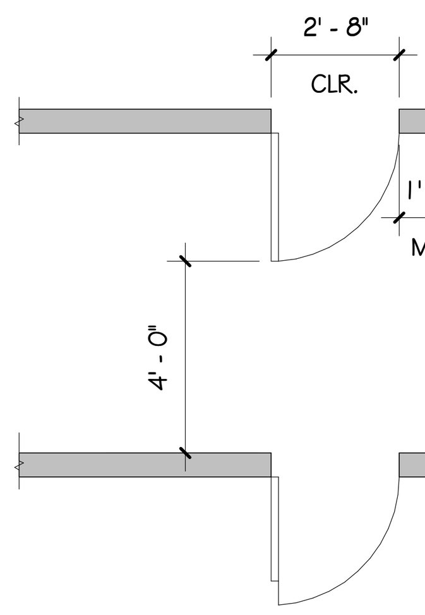
No.	Date	Description

PROJECT NO.	23-009
DRAWN BY	-
CHECKED BY	-
SHEET	2 OF 31

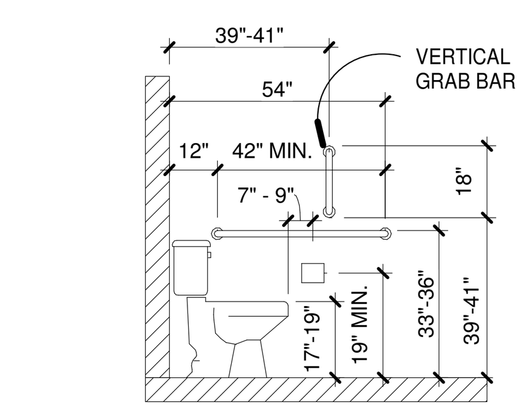
CODE STUDY

G1-2

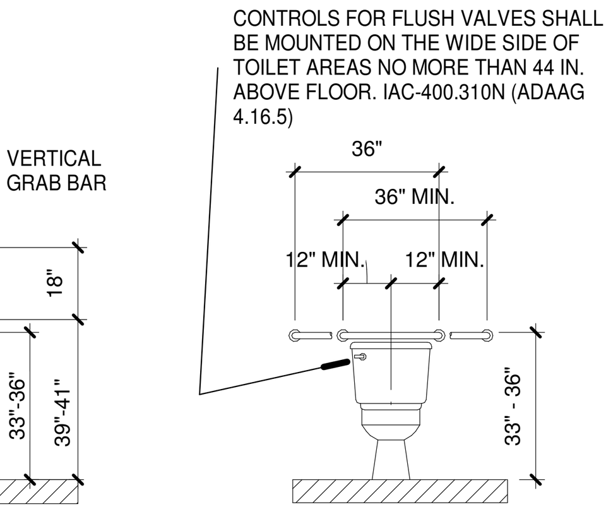
W:\Arch 23\23-009 Fox Animal Hospital\23-009 Fox Animal Hospital - Central.rvt



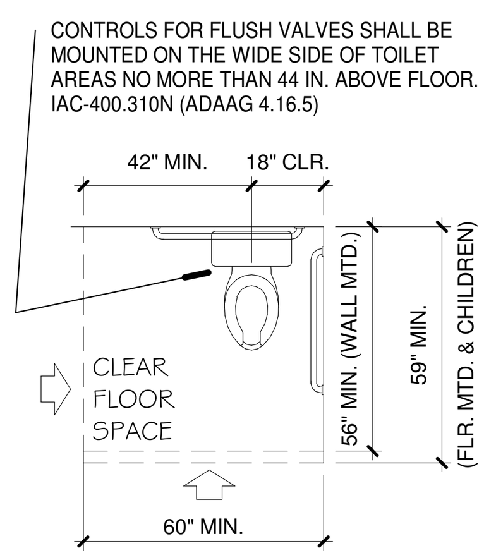
1 DOORS IN SERIES



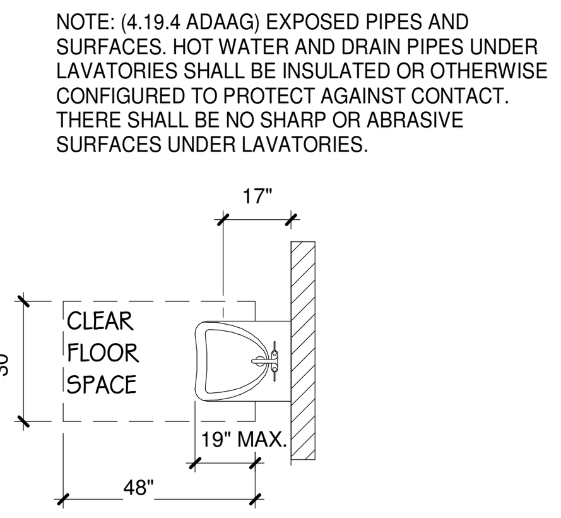
2 SIDE WALL



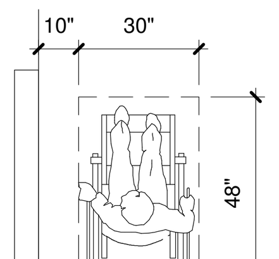
3 BACK WALL



4 CLEAR FLOOR

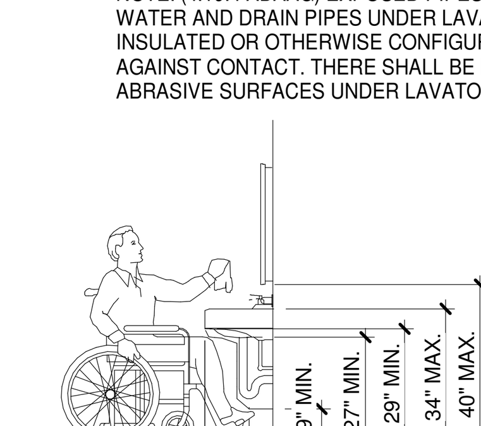


5 CLEAR FLOOR LAVATORIES

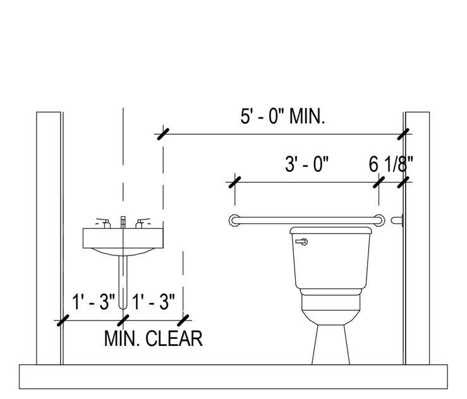


6 PARALLEL APPROACH

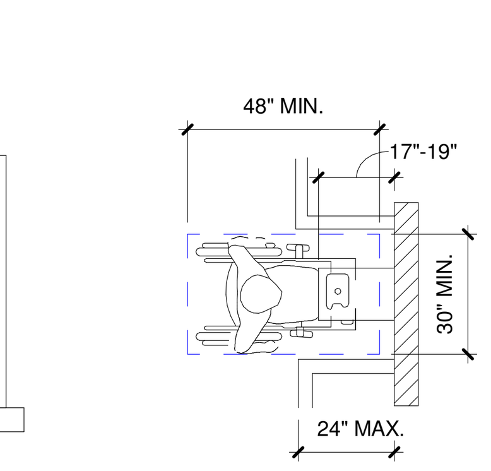
NOTE: (4.19.4 ADAAG) EXPOSED PIPES AND SURFACES. HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.



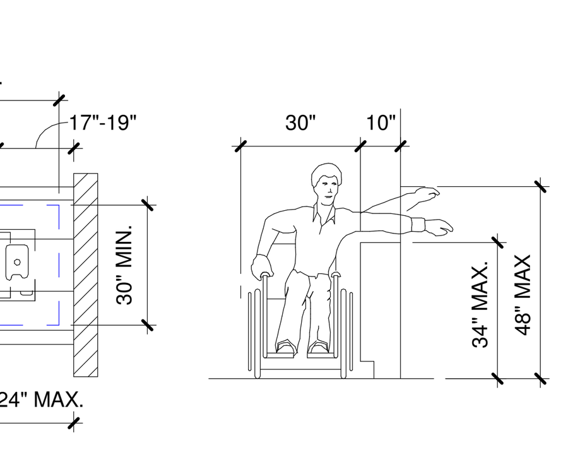
7 LAVATORY CLEARANCES



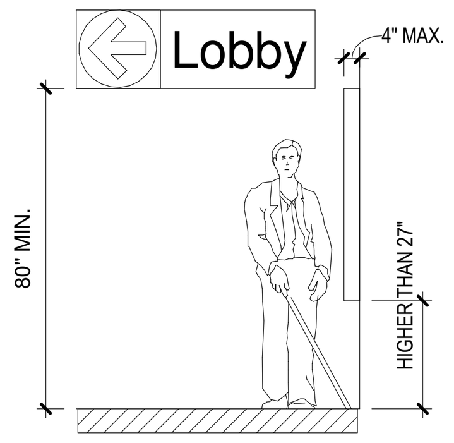
8 INTERIOR ELEVATION A



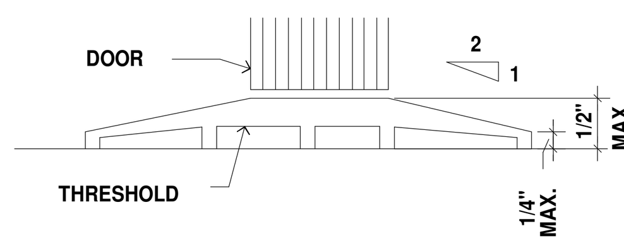
9 CLEAR FLOOR SPACE



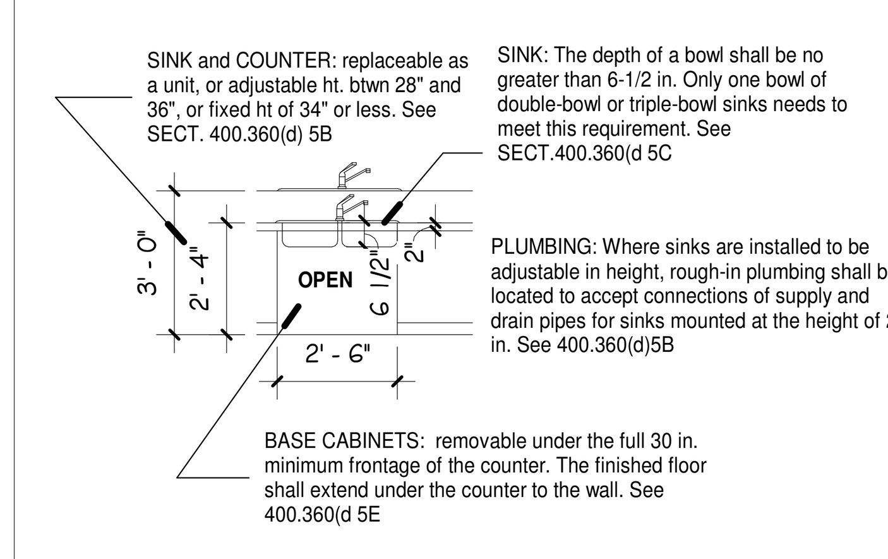
10 SIDE REACH HIGH AND LOW



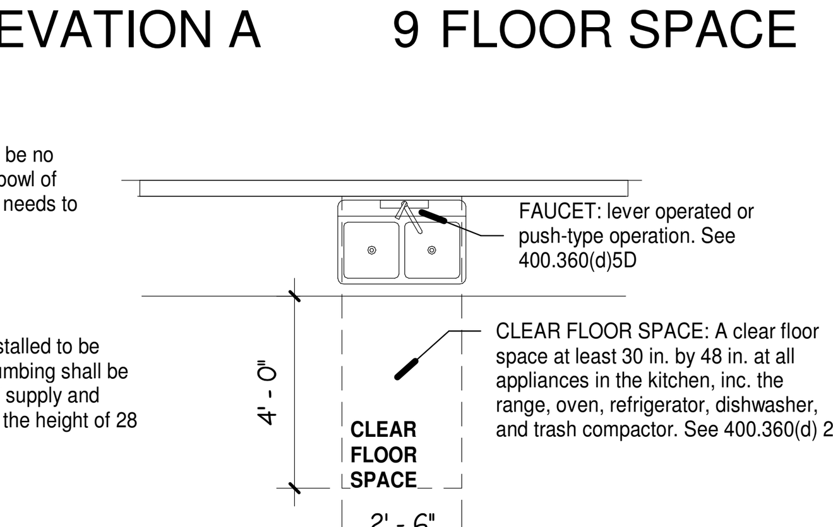
11 WALKING PARALLEL TO A WALL



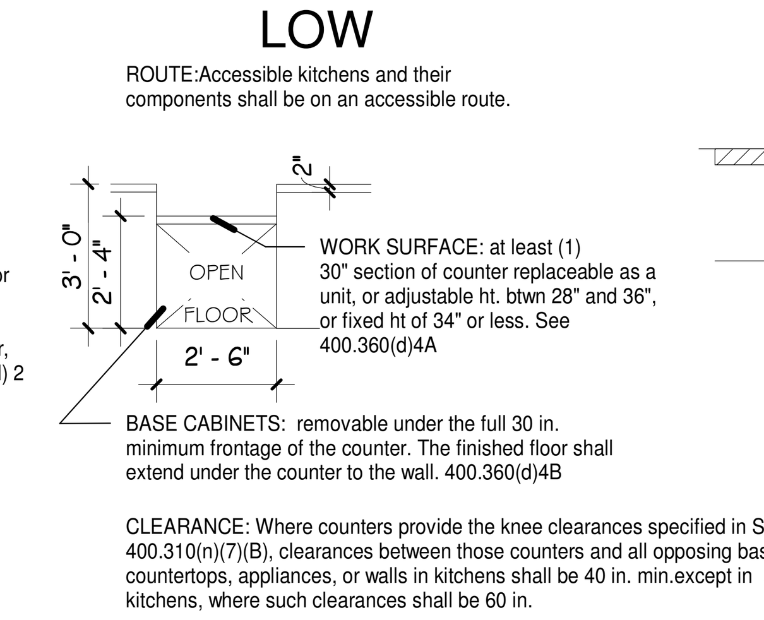
12 THRESHOLD



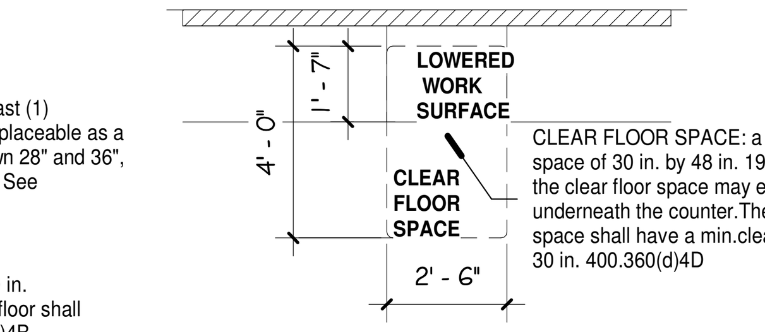
13 SINK AND COUNTER ELEVATION



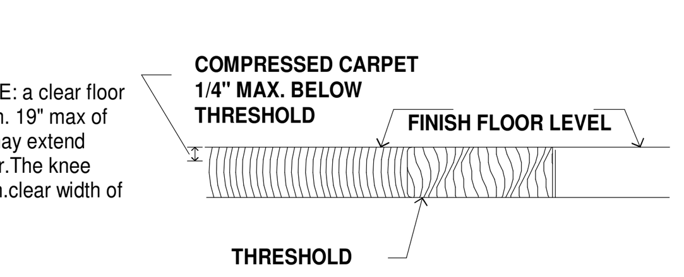
14 SINK AND COUNTER PLAN



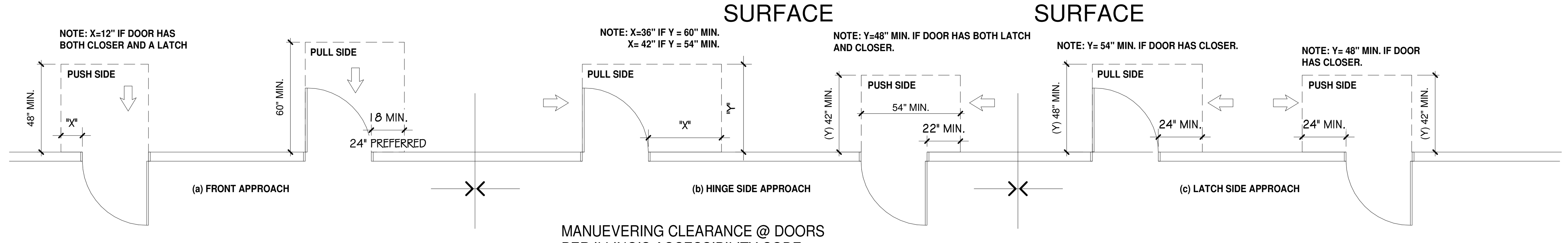
15 KITCHEN WORK SURFACE



16 KITCHEN WORK SURFACE



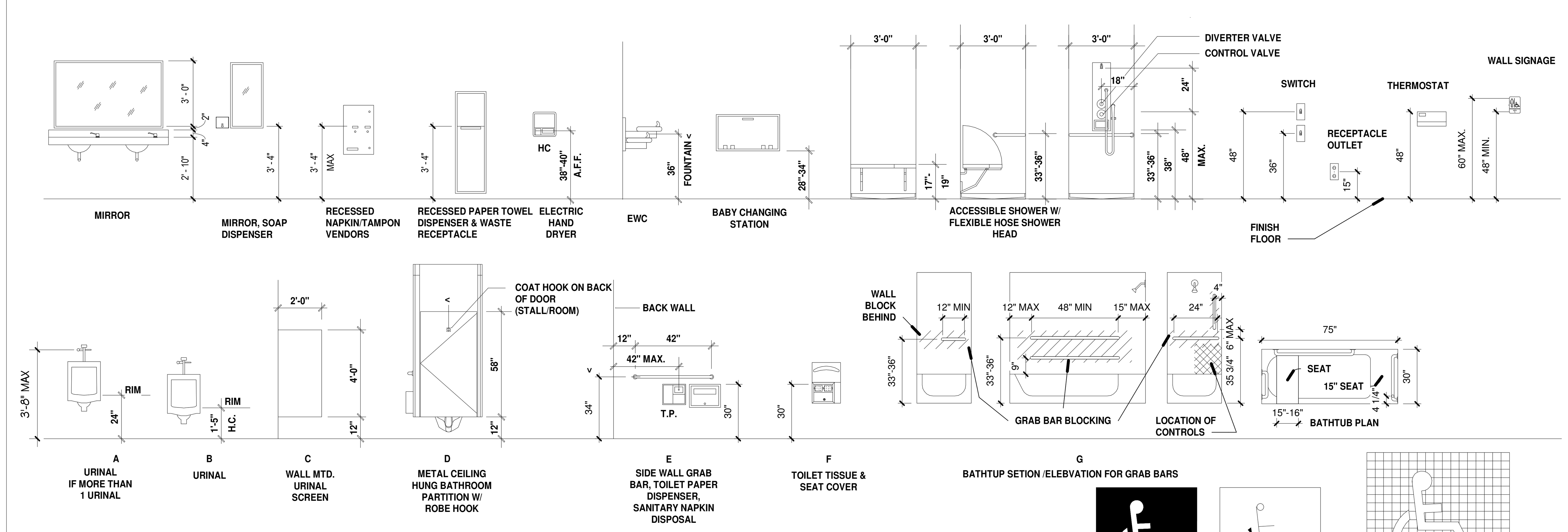
17 TRANSITIONS



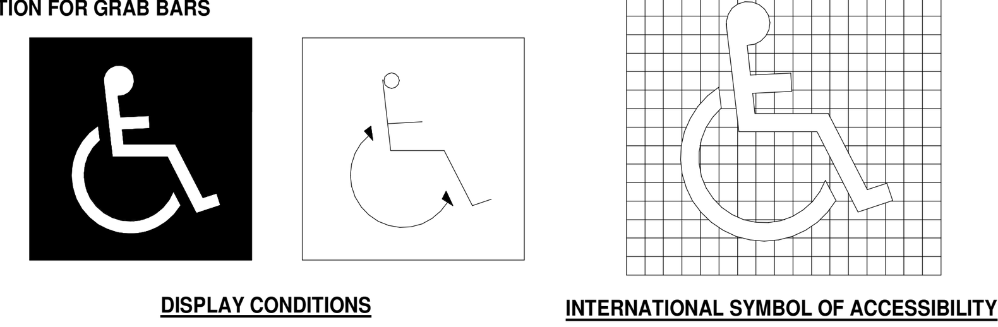
MANUEVERING CLEARANCE @ DOORS
PER ILLINOIS ACCESSIBILITY CODE
SECTION 400, ILLUSTRATION B, FIG. 25

18 DOOR APPROACH CLEARANCES

SCALE: 1/4"=1'-0"



19 FIXTURE AND ACCESSORY MOUNTING HEIGHTS



DISPLAY CONDITIONS

INTERNATIONAL SYMBOL OF ACCESSIBILITY

CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS

1. THE MINIMUM, CLEAR FLOOR OR GROUND SPACE REQUIRED TO ACCOMMODATE A SINGLE, STATIONARY WHEELCHAIR AND OCCUPANT IS 30 INCHES X 48 INCHES. THE MINIMUM CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS MAY BE POSITIONED FOR FORWARD OR PARALLEL APPROACH TO AN OBJECT. CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS MAY BE PART OF THE KNEE SPACE REQUIRED UNDER SOME OBJECTS.
2. PROVIDE AN ADDITIONAL 12 INCHES WIDTH ON ONE SIDE FOR ALCOVES GREATER THAN 15 INCHES DEEP AND DESIGNED FOR SIDE APPROACH.
3. PROVIDE AN ADDITIONAL 6 INCHES WIDTH ON ONE SIDE FOR ALCOVES GREATER THAN 24 INCHES DEEP AND DESIGNED FOR FRONTAL APPROACH.

HAZARDS AND PROTRUDING OBJECTS

1. OBJECTS PROJECTING FROM WALLS WITH THEIR LEADING EDGES BETWEEN 27 INCHES AND 80 INCHES ABOVE THE FINISHED FLOOR SHALL PROTRUDE NO MORE THAN 4 INCHES INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS, OR AISLES.
2. OBJECTS MOUNTED WITH THEIR LEADING EDGES AT OR BELOW 27 INCHES ABOVE THE FINISHED FLOOR MAY PROTRUDE ANY AMOUNT.
3. FREE-STANDING OBJECTS MOUNTED ON POSTS OR PYLONS MAY OVERHANG 12 INCHES MAXIMUM FROM 27 INCHES TO 80 INCHES ABOVE THE GROUND OR FINISHED FLOOR. 4. PROTRUDING OBJECTS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE OR MANEUVERING SPACE. 5. ANY OBSTRUCTION OVERHANGING A PEDESTRIAN WAY SHALL BE A MINIMUM OF 80 INCHES ABOVE THE WALKING SURFACE AS MEASURED TO THE BOTTOM OF THE OBSTRUCTION.

PARKING

1. SURFACE SLOPES OF PARKING SPACES FOR THE PHYSICALLY DISABLED SHALL NOT EXCEED 1/4 INCH PER FOOT (2% GRADIENT) IN ANY DIRECTION.
2. A DISABLED PARKING SPACE SHALL BE LOCATED SO AS NOT TO REQUIRE ITS USER TO WHEEL OR WALK BEHIND ANY OTHER DISABLED OR NON-DISABLED PARKING SPACE.
3. IN EACH PARKING AREA, A BUMPER OR CURB SHALL BE PROVIDED AND LOCATED TO PREVENT ENCROACHMENT OF CARS OVER THE REQUIRED WIDTH OF WALKWAYS,
4. EACH PARKING SPACE RESERVED FOR PERSONS WITH PHYSICAL DISABILITIES SHALL BE IDENTIFIED BY A REFLECTORIZED SIGN PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE, CONSISTING OF A PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT, IN WHITE ON DARK BLUE BACKGROUND. THE SIGN SHALL NOT BE SMALLER THAN 70 SQUARE INCHES IN AREA AND, WHEN IN THE PATH OF TRAVEL, SHALL BE POSTED AT A MINIMUM HEIGHT OF 80 INCHES FROM THE BOTTOM OF THE SIGN TO THE PARKING SPACE FINISHED GRADE. SIGNS MAY ALSO BE CENTERED ON THE WALL AT THE INTERIOR END OF THE PARKING SPACE AT A MINIMUM HEIGHT OF 36 INCHES FROM THE PARKING SPACE FINISHED GRADE, GROUND, OR SIDEWALK.

WALKS AND SIDEWALKS

1. WALKS AND SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2 INCHES, AND SHALL BE A MINIMUM OF 48 INCHES IN WIDTH.
2. SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4 INCH PER FOOT.
3. WALKS, SIDEWALKS, AND PEDESTRIAN WAYS SHALL BE FREE OF GRATING WHENEVER POSSIBLE. GRID OPENINGS WITHIN GRATINGS LOCATED IN THE SURFACE OF ANY OF THESE AREAS SHALL BE LIMITED TO 1/2 INCH IN THE DIRECTION OF THE TRAFFIC FLOW.
4. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1 VERTICAL TO 20 HORIZONTAL, IT SHALL COMPLY WITH THE PROVISIONS OF PEDESTRIANS RAMPS.

ENTRANCES/DOORS

1. ALL PRIMARY ENTRANCES AND EXTERIOR GROUND FLOOR EXIT DOORS TO BUILDINGS AND FACILITIES SHALL BE MADE ACCESSIBLE TO THE PHYSICALLY DISABLED.
2. ALL ACCESSIBLE ENTRANCES SHALL BE IDENTIFIED WITH AT LEAST ONE (1) STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, VISIBLE FROM APPROACHING PEDESTRIAN WAYS. UBC 1127B.3, 1117B.5 THROUGH 1117B.5.10.
3. EVERY REQUIRED ENTRANCE OR PASSAGE DOORWAY SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 36 INCHES IN WIDTH, AND NOT LESS THAN 80 INCHES IN HEIGHT. DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES AND SHALL BE SO MOUNTED THAT THE CLEAR WIDTH OF THE DOORWAY IS NOT LESS THAN 32 INCHES.
4. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL, SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.
5. LEVER HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 30 INCHES AND 44 INCHES MAXIMUM ABOVE THE FLOOR.
6. THE FLOOR OR LANDING LENGTH ON EACH SIDE OF AN ENTRANCE OR A PASSAGE DOOR SHALL BE LEVEL AND CLEAR AT LEAST 60 INCHES IN THE DIRECTION OF THE DOOR SWING AND AT LEAST 48 INCHES OPPOSITE THE DIRECTION OF DOOR AS MEASURED AT RIGHT ANGLES TO THE FACE OF THE DOOR IN ITS CLOSED POSITION. THE WIDTH OF THE LEVEL AND CLEAR AREA ON THE SIDE WHICH THE DOOR SWINGS SHALL EXTEND A MINIMUM OF 24 INCHES PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS, AND 18 INCHES PAST THE STRIKE EDGE FOR INTERIOR DOORS. REFER TO DETAIL NO. 2 ON THIS DRAWING FOR ADDITIONAL CLEARANCE REQUIREMENTS.
7. THE FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGES IN LEVEL BETWEEN 1/4 INCH AND 1/2 INCH SHALL BE LEVELED WITH A SLOPE NO GREATER THAN 1:2.
8. THE BOTTOM 10 INCHES OF ALL DOORS (EXCEPT AUTOMATIC AND SLIDING) SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 1 INCH HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST.
9. THE MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8-1/2 LBS. FOR EXTERIOR DOORS AND 5 LBS. FOR INTERIOR DOORS. SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY NOT EXCEED 15 LBS.

STAIRWAYS

1. STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE AND EVERY STAIRWAY REQUIRED TO BE MORE THAN 88 INCHES IN WIDTH SHALL BE PROVIDED WITH NOT LESS THAN ONE INTERMEDIATE HANDRAIL FOR EACH 88 INCHES OF REQUIRED WIDTH. INTERMEDIATE HANDRAILS SHALL BE SPACED APPROXIMATELY EQUALLY WITHIN THE ENTIRE WIDTH OF THE STAIRWAY.
2. THE UPPER APPROACH AND THE LOWER TREAD OF EACH INTERIOR STAIR SHALL BE MARKED BY A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2 INCHES WIDE AND PLACED PARALLEL TO AND NOT MORE THAN 1 INCH FROM THE NOSE OF THE STEP OR LANDING TO ALERT THE VISUALLY IMPAIRED. THE STRIP SHALL BE OF A MATERIAL THAT IS AT LEAST AS SLIP-RESISTANT AS THE TREADS OF THE STAIR.
3. WHERE STAIRWAYS OCCUR OUTSIDE A BUILDING, THE UPPER APPROACH AND ALL TREADS SHALL BE MARKED BY A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2 INCHES WIDE AND PLACED PARALLEL TO, AND NOT MORE THAN 1 INCH FROM THE NOSE OF THE STEP OF LANDING TO ALERT THE VISUALLY IMPAIRED. THE STRIP SHALL BE OF A MATERIAL THAT IS AT LEAST AS SLIP-RESISTANT AS THE TREADS OF THE STAIR. A PAINTED STRIPE SHALL BE ACCEPTABLE.
4. ALL STAIR TREAD SURFACES SHALL BE SLIP-RESISTANT.

HANDRAILS

1. HANDRAILS AT STAIRWAYS SHALL BE 34 INCHES TO 38 INCHES ABOVE THE NOSING OF THE TREADS.
2. HANDRAILS AT STAIRWAYS SHALL EXTEND A MINIMUM OF 12 INCHES BEYOND THE TOP NOSING AND 12 INCHES PLUS THE TREAD WIDTH BEYOND THE BOTTOM NOSING.
3. WHERE THE EXTENSION OF THE HANDRAIL IN THE DIRECTION OF THE STAIR RUN WOULD CREATE A HAZARD, THE EXTENSION SHALL BE MADE AT RIGHT ANGLES, ON THE FACE OF A RETURNING WALL. WHERE THE STAIRS ARE CONTINUOUS FROM LANDING TO LANDING, THE INNER RAIL SHALL BE CONTINUOUS AND NEED NOT EXTEND OUT INTO THE LANDING.
4. HANDRAILS ARE REQUIRED ON RAMPS WHEN THE SLOPE EXCEEDS 1:20.
5. HANDRAILS AT RAMPS SHALL RUN ALONG BOTH SIDES OF A RAMP, BE CONTINUOUS THE FULL LENGTH, EXTEND AT LEAST 12 INCHES BEYOND THE TOP AND BOTTOM OF THE RAMP, AND THE ENDS SHALL BE RETURNED.
6. THE HANDRAIL GRIP SURFACE AT RAMPS SHALL BE MOUNTED BETWEEN 34 INCHES AND 38 INCHES ABOVE THE RAMP SURFACE.
7. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.
8. HANDRAILS PROJECTED FROM A WALL SHALL HAVE AN ABSOLUTE CLEARANCE 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.
9. THE HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1-1/4 INCH NOR MORE THAN 1-1/2 INCH IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT SMOOTH GRIPPING SURFACE WITH NO SHARP CORNERS.

RAMPS

1. ALL RAMPS USED AS EXITS AND ANY PATH OF TRAVEL HAVING A SLOPE GREATER THAN 1:20 SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION. RAMPS SHALL HAVE THE LEAST POSSIBLE SLOPE.
2. PEDESTRIAN RAMPS SERVING PRIMARY ENTRANCES TO A BUILDING SHALL HAVE A MINIMUM WIDTH OF 48 INCHES. RAMPS SERVING AN OCCUPANCY LOAD GREATER THAN 300 SHALL HAVE A MINIMUM WIDTH OF 60 INCHES.
3. ALL RAMPS IN AREAS ACCESSIBLE TO PERSONS WITH DISABILITIES ON A PATH OF TRAVEL OR SERVING EXITS SHALL HAVE A 1:12 MAXIMUM SLOPE WITH CROSS SLOPES NO GREATER THAN 1:50.
4. THE LANDING WIDTH SHALL EXTEND PAST THE STRIKE EDGE OF ANY DOOR OR GATE AS SHOWN ON DETAIL NO. 2 ON THIS DRAWING.
5. DOORS STANDING IN ANY POSITION SHALL NOT REDUCE THE MINIMUM DIMENSION OF THE RAMP TO LESS THAN 42 INCHES OR THE REQUIRED WIDTH BY MORE THAN 3 INCHES.

SANITARY FACILITIES (GENERAL)

1. ALL DOORWAYS LEADING TO SANITARY FACILITIES SHALL HAVE 32 INCH CLEAR, UNOBSTRUCTED OPENINGS.
2. ALL SINKS, FAUCET CONTROLS, AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS. LEVER-OPERATED, PUSH-TYPE, AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.
3. LAVATORIES SHALL BE MOUNTED WITH A MINIMUM DISTANCE OF 18 INCHES FROM A WALL OR PARTITION TO THE CENTER LINE OF THE FIXTURE. ACCESSIBLE LAVATORIES SHALL BE MOUNTED WITH THE RIM OR COUNTER SURFACE NO HIGHER THAN 34 INCHES ABOVE THE FINISHED FLOOR.

TOILET ROOM FIXTURES AND ACCESSORIES

1. THE HEIGHT OF ACCESSIBLE WATER CLOSETS SHALL BE A MINIMUM OF 17 INCHES AND A MAXIMUM OF 19 INCHES MEASURED TO THE TOP OF THE TOILET SEAT.
2. PROVIDE 18 INCHES FROM THE CENTERLINE OF THE WATER CLOSET TO THE ADJACENT WALL.
3. TOILET AND URINAL FLUSH CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. CONTROLS FOR THE FLUSH VALVES SHALL BE MOUNTED ON THE OPEN (WIDE) SIDE OF THE TOILET STALL, NO MORE THAN 44 INCHES ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS.
4. WHERE URINALS ARE PROVIDED, AT LEAST ONE SHALL HAVE A CLEAR SPACE 30 INCHES WIDE X 48 INCHES LONG IN FRONT OF THE URINAL. AT LEAST ONE URINAL WITH A RIM PROJECTING A MINIMUM OF 14 INCHES FROM THE WALL AND A MAXIMUM OF 17 INCHES ABOVE THE FLOOR SHALL BE INSTALLED.
5. A CLEAR FLOOR SPACE 30 INCHES WIDE X 48 INCHES LONG SHALL BE PROVIDED IN FRONT OF A LAVATORY TO ALLOW A FORWARD APPROACH. SUCH CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE AND SHALL EXTEND INTO KNEE AND TOE SPACE UNDERNEATH THE LAVATORY. CLEAR FLOOR AREAS MAY NOT OVERLAP THE DOOR SWING.
6. LAVATORIES SHALL BE MOUNTED WITH A CLEARANCE OF AT LEAST 29 INCHES FROM THE FLOOR TO THE BOTTOM OF THE APRON WITH KNEE CLEARANCE UNDER THE FRONT LIP EXTENDING A MINIMUM OF 30 INCHES IN WIDTH WITH 8 INCHES MINIMUM DEPTH AT THE TOP. TOE CLEARANCE SHALL BE THE SAME WIDTH AND SHALL BE A MINIMUM OF 9 INCHES HIGH FROM THE FLOOR AND A MINIMUM OF 17 INCHES DEEP FROM THE FRONT OF THE LAVATORY. PROVIDE 60" CLEAR FROM EDGE OF LAVATORY TO WALL AT TOILET SIDE OF LAVATORY.
7. HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
8. MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTIVE SURFACE NOT MORE THAN 40 INCHES FROM THE FLOOR.
9. LOCATE PAPER TOWEL DISPENSERS, SANITARY NAPKIN DISPENSERS, AND WASTE RECEPTACLES WITH ALL OPERABLE PARTS NOT MORE THAN 40 INCHES FROM THE FLOOR.
10. LOCATE TOILET TISSUE DISPENSERS ON THE WALL WITHIN 12 INCHES OF THE FRONT EDGE OF THE TOILET SEAT.

MULTIPLE ACCOMMODATION TOILET FACILITIES

1. A CLEAR SPACE MEASURED FROM THE FLOOR TO A HEIGHT OF 27 INCHES ABOVE THE FLOOR, WITHIN THE SANITARY FACILITY ROOM, OF SUFFICIENT SIZE TO INSCRIBE A CIRCLE WITH A DIAMETER NOT LESS THAN 60 INCHES, OR A CLEAR SPACE NOT LESS THAN 56 INCHES X 63 INCHES IN SIZE SHALL BE PROVIDED. DOORS OTHER THAN THE DOOR TO THE DISABLED TOILET COMPARTMENT, IN ANY POSITION, MAY ENCROACH INTO THIS SPACE BY NOT MORE THAN 12 INCHES.
2. AN ACCESSIBLE INDIVIDUAL TOILET STALL SHALL PROVIDE AT LEAST 28 INCHES CLEAR SPACE FROM A FIXTURE OR 32 INCHES CLEAR SPACE FROM A WALL AT ONE SIDE OF THE WATER CLOSET. A 48 INCH LONG CLEAR SPACE IN FRONT OF THE WATER CLOSET SHALL BE PROVIDED IF THE COMPARTMENT HAS AN END OPENING DOOR (FACING THE WATER CLOSET). A 60 INCH LONG CLEAR SPACE SHALL BE PROVIDED IN A COMPARTMENT WHEN THE DOOR IS LOCATED AT THE SIDE. GRAB BARS SHALL NOT PROJECT MORE THAN 3 INCHES INTO THE CLEAR SPACES AS SPECIFIED ABOVE.
3. WATER CLOSET COMPARTMENTS SHALL BE EQUIPPED WITH A DOOR THAT HAS AN AUTOMATIC CLOSING DEVICE, AND SHALL HAVE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32 INCHES WHEN LOCATED AT THE END AND 34 INCHES WHEN LOCATED AT THE SIDE WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
4. EXCEPT FOR DOOR OPENING WIDTHS AND DOOR SWINGS, A CLEAR UNOBSTRUCTED ACCESS NOT LESS THAN 44 INCHES SHALL BE PROVIDED TO WATER CLOSET COMPARTMENTS DESIGNED FOR USE BY THE DISABLED. THE SPACE IMMEDIATELY IN FRONT OF A WATER CLOSET COMPARTMENT SHALL BE NOT LESS THAN 48 INCHES AS MEASURED AT RIGHT ANGLES TO THE COMPARTMENT DOOR IN ITS CLOSED POSITION.

GRAB BARS

1. GRAB BARS SHALL BE LOCATED ON ONE SIDE AND THE BACK OF THE PHYSICALLY DISABLED TOILET STALL OR COMPARTMENT AND SHALL BE SECURELY ATTACHED 33 INCHES ABOVE AND PARALLEL TO THE FLOOR.
2. GRAB BARS AT THE SIDE SHALL BE AT LEAST 42 INCHES LONG WITH THE FRONT END POSITIONED 54 INCHES FROM THE BACK OF THE STALL. GRAB BARS AT THE BACK SHALL NOT BE LESS THAN 36 INCHES LONG.
3. PROVIDE A VERTICAL GRAB BAR AT SIDE WALL OF TOILET PER 18 INCHES MINIMUM IN LENGTH WITH THE BOTTOM OF TEH BAR LOCATED BETWEEN 39 INCNES AND 41 INCHES ABOVE THE FLOOR, AND WITH THE CENTER LINE OF THE BAR LOCATED BETWEEN 39 INCHES AND 41 INCHES FROM THE REAR WALL.
4. THE DIAMETER OR WIDTH OF THE GRIPPING SURFACES OF A GRAB BAR SHALL BE 1-1/4 INCHES OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. IF THE GRAB BARS ARE MOUNTED ADJACENT TO A WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BARS SHALL BE 1-1/2 INCHES.
5. A GRAB BAR AND ANY WALL OR OTHER SURFACE ADJACENT TO IT SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS. GRAB BAR EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8 INCH.
6. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
7. GRAB BARS SHALL BE DESIGNED TO SUPPORT A 250 POUND FORCE.

TELEPHONES

1. PROVIDE A 30 INCH X 48 INCH CLEAR SPACE AT TELEPHONE. THE CLEAR SPACE MAY INCLUDE KNEE SPACE UNDER THE TELEPHONE.
2. THE HIGHEST OPERABLE PART OF THE TELEPHONE SHALL BE WITHIN 48 INCHES OF THE FLOOR IF FORWARD APPROACHED AND 54 INCHES IF SIDE APPROACHED.
3. TELEPHONES MOUNTED DIAGONALLY IN A CORNER THAT REQUIRE WHEELCHAIR USERS TO REACH DIAGONALLY SHALL HAVE THE HIGHEST OPERABLE PART NO HIGHER THAN 54 INCHES ABOVE THE FLOOR.
4. THE CORD FROM THE TELEPHONE TO THE HANDSET SHALL BE AT LEAST 29 INCHES LONG.
5. IF BANKS OF PUBLIC TELEPHONES ARE PROVIDED, THEN A REASONABLE NUMBER, BUT ALWAYS AT LEAST ONE (1), IN A BUILDING OR FACILITY SHALL BE EQUIPPED WITH A VOLUME CONTROL.
6. TELEPHONES SHALL HAVE PUSH-BUTTON CONTROLS WHERE SERVICE FOR SUCH EQUIPMENT IS AVAILABLE.

ADDITIONAL REQUIREMENTS

1. THE CENTER OF RECEPTACLE OUTLETS SHALL BE NOT LESS THAN 15 INCHES ABOVE THE FLOOR OR WORKING PLATFORM.
2. THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES, OR COOLING, HEATING AND VENTILATING EQUIPMENT, SHALL BE NOT LESS THAN 36 INCHES NOR MORE THAN 48 INCHES ABOVE THE FLOOR OR WORKING PLATFORM.
3. THE CENTER OF FIRE ALARM INITIATING DEVICES (BOXES) SHALL BE LOCATED 48 INCHES ABOVE THE LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE, OR SIDEWALK.
4. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY DISABLED PERSONS. THE SYMBOL SPECIFIED ABOVE SHALL CONSIST OF A WHITE FIGURE ON BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NO. 15090 IN FEDERAL STANDARD 595A.
5. WHERE PERMANENT IDENTIFICATION IS PROVIDED OR WHERE SIGNAGE IS REQUIRED FOR ROOMS AND SPACES, RAISED LETTERS SHALL BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE IN CONFORMANCE WITH SECTIONS 1117B.5.6, 1117B.5.6.1, 1117B.5.6.2, AND 1117B.5.6.3. SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH OUTSIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT. MOUNTING HEIGHT SHALL BE 60 INCHES ABOVE THE FINISH FLOOR TO THE CENTERLINE OF THE SIGN. MOUNTING LOCATIONS SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE A DOOR.

NOTE:
ALL ILLUSTRATIONS HEREIN ARE INCLUDED AS REFERENCE ONLY. ALL DIMENSIONS AND CLEARANCES SHOULD BE VERIFIED WITH ADAAG CURRENT GUIDELINES AND ILLINOIS ACCESSIBILITY CODE.

PERMIT SET 7/26/23

ALLEN PEPA ARCHITECTS
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ENGINEERS
3S YOUR TRUSTED DESIGN PARTNER
MECHANICAL | ELECTRICAL | PLUMBING | FIRE PROTECTION
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FOX ANIMAL HOSPITAL RENOVATION

2107 CRAWFORD AVE,
EVANSTON, IL 60201

Schematic Design:	5/8/23
Design Development	
Bidding:	
Permit:	
ISSUE DATE:	7/26/23

POST BID/PERMIT REVISIONS:

No.	Date	Description

PROJECT NO.	23-009
DRAWN BY	-
CHECKED BY	-
SHEET	3 OF 31

ACCESSIBLITY STANDARDS

G1-3

CONTRACTS:

1. General Contractor responsible for submitting contractual document that refers to this construction document package contained herein.
2. The General Contractor shall be responsible for obtaining and paying for all taxes, etc. required by State and Local authorities for all construction related activity associated with the project.
3. The General Conditions, AIA A201-2017 edition, and the General Conditions and Supplementary Condition for Construction are a part of this contract.
4. Provide all necessary liability insurance policies as required to keep the owner and architect of the project harmless from any claim against them.
5. No changes may be accepted to the attached plan unless submitted and approved by the owner
6. Construction bid to be based on "turn-key" delivery per the attached specifications and tenant improvement allowance per the lease agreement. "Turn-key" shall mean all construction through final punch-list has been completed.

COORDINATION NOTES:

1. It is the sole responsibility of the General Contractor to have control over construction means, methods, techniques, sequences and procedures, and for coordinating all portions of the work communicated in the construction documents so that construction can proceed smoothly, without interference or waste of time and materials.
2. General Contractor shall supervise and direct the work, using the contractor's best skill and attention.
3. General Contractor shall be responsible for acts and omissions of the contractor's employees, subcontractors and other persons performing portions of the work.General Contractor shall be responsible for acts and omissions of the contractor's employees, subcontractors and other persons performing portions of the work.
4. General Contractor shall be responsible for the inspection of the work in preparation for subsequent work.General Contractor shall be responsible for the inspection of the work in preparation for subsequent work.
5. Unless otherwise provided in the construction documents, the general contractor shall provide and pay for labor, materials, equipment, tools, construction equipment and machinery, water, heat, utilities, transportation, and other facilities and services necessary for proper completion of the work, whether temporary or permanent or to be incorporated with the work.
6. Contractors are responsible to meet all applicable codes in the installation of their work even if not communicated in the drawings or scope of work notes.Contractors are responsible to meet all applicable codes in the installation of their work even if not communicated in the drawings or scope of work notes.
7. General Contractor shall verify that no conflicts exist in locations of any and all mechanical, telephone, electrical, plumbing and sprinkler equipment (to include all piping, duct work, sprinklers structural members and conduit) and that clearances for installation and maintenance of above equipment is provided. Elements in conflict shall be determined and reviewed with the Architect prior to work proceeding. Contractor to coordinate new work with existing conditions.
8. During construction, a temporary fence will be located around the entire construction site when shown on site plan.During construction, a temporary fence will be located around the entire construction site when shown on site plan.
9. All equipment shall bear the "UL/AGA" label for the specific use of the installation.
10. General Contractor shall be responsible for unloading, storing, inspection for damage when received, loss from site and/or damage after receipt for all materials furnished by Owner for installation by General Contractor (or his subcontractors).
11. Any penetrations made in the course of the construction shall be closed with fire safing or gypsum wallboard mud for a complete closure.
12 General Contractor to coordinate and review size and location of all slab penetrations. All required penetrations shall be made in accordance with the Owner's standard approval procedures and methods. All penetrations shall be properly sealed according to the Architect and the Owner's requirements and applicable codes.
13. Slab penetrations less than 2" around new and existing piping, conduit, ductwork, etc. shall be filled with acoustic foam and/or sealant to ensure acoustical separation between floor slabs. Slab penetrations greater than 2" around new and exiting piping, conduit, ductwork, etc. shall be filled with concrete in addition to acoustic foam. All piping, conduit, ductwork, etc. shall be wrapped with expansion material prior to filling with concrete. Expansion material shall be approved by the MEP Engineer.Slab penetrations less than 2" around new and existing piping, conduit, ductwork, etc. shall be filled with acoustic foam and/or sealant to ensure acoustical separation between floor slabs. Slab penetrations greater than 2" around new and exiting piping, conduit, ductwork, etc. shall be filled with concrete in addition to acoustic foam. All piping, conduit, ductwork, etc. shall be wrapped with expansion material prior to filling with concrete. Expansion material shall be approved by the MEP Engineer.
14. Dust control: It is the responsibility of each contractor to control the spread of dust throughout the building with temporary partitions and filtered exhaust systems. Immediate cleaning of debris and dust is required. Notify the Owner of uncontrollable dust.
15. The General Contractor shall continuously check architectural and structural clearances for accessibility of equipment and mechanical and electrical systems. No allowances of any kind will be made for the General Contractor's negligence to foresee means of installing equipment into position.
16 Contractor to locate and verify existing sanitary, vent, and plumbing supply lines.
17. Provide complete HVAC, plumbing, electrical, and other systems ready for use. Confer with other trades in coordination of this work for clearances, chases, recesses, and openings required.
18. Provide 4" high concrete housekeeping pads under all equipment sitting on floor in mechanical, fire pump, electrical, and boiler rooms. Contractor to verify exact size and location of all equipment and submit appropriate shop drawings.
19. General contractor shall verify size and provide all required exterior concrete pads for gas meters, electrical transformers, generator, cooling tower, condensers, compressors, etc. General contractor shall provide all required protective concrete filled steel bollards around exterior mounted equipments, generators, transformers, etc.
20. All duct work shall be constructed and installed in accordance with "ASHRAE", "SMACNA", NFPA standards and correctly with NFPA 90A Bulletin and local codes and shall be zinc coated sheet metal.All duct work shall be constructed and installed in accordance with "ASHRAE", "SMACNA", NFPA standards and correctly with NFPA 90A Bulletin and local codes and shall be zinc coated sheet metal.
21. The plumbing and heating contractors shall appropriately insulate all plumbing and heating water piping which occurs in exterior walls to prevent freezing of pipe and fittings. Provide electrical heat tracing, if required by conditions.
22. No water pipes from heating, plumbing or sprinkler contractors shall be allowed in any room or above the ceiling of any room which is designated an electrical switchgear room or elevator equipment room.
23. Consult and check at all times the latest drawing of other trades drawing for devices and equipment which may affect your work.
24. All excavation, backfilling, and patching is the responsibility of each respective trade.
25. All wood blocking in contact with masonry or concrete shall be pressure treated.
26. Provide 2x blocking and backing as required for all cabinetry and shelving.
27. All exterior restroom walls to have continuous vapor barrier behind the GWB.
28. All exterior restroom walls to have continuous vapor barrier behind the GWB.
29. Provide control joints above all door jambs which are located in drywall or masonry walls over 50' in length.
30. Strike all mortar joints at exposed surfaces.

DIMENSIONAL COORDINATION:

1. The General Contractor shall layout and verify the overall and internal dimensions of building on site, prior to commencing construction and promptly inform Architect in writing of any discrepancy in the contractor documents.
2. Do not scale drawings. Stated & written dimensions govern. The General Contractor shall verify all dimensions in the field and shall be responsible for their accuracy. No extra charge or compensation shall be allowed because of difference between actual dimensions and those indicated on the drawings, unless they contribute to a change in the scope of the Work. Any difference which may be found shall be submitted to the Architect for decision prior to ordering, manufacturing, or proceeding with the Work. Horizontal dimensions indicated are to/from face of finish, unless noted otherwise. Vertical dimensions are from top of floor slab except where noted to be above finished floor (AFF). Dimensions are not adjustable without approval of Architect unless noted +/-.
3. In the event of conflict between data shown on drawings and data shown in the specification, the specification shall govern. Detail drawings take precedent over drawings of larger scope. Should the General Contractor at any time discover an error in a drawing or specification, or any discrepancy, or variation between dimensions on the drawings and measurements at site, or lack of dimensions or other information, the Contractor shall not proceed with the work affected until clarification has been made by the Architect. In case of an inconsistency between Drawings and Specifications or within either Document, not clarified by addendum, the more specific provision will take precedence over less specific; more specific will take precedence over less stringent; more expensive item will take precedence over less expensive. Better quality or greater quantity of work shall be provided in accordance with Architect's interpretation. On drawings, figures take precedence over scaled dimensions. Scaling of dimensions, if done, is done at the Contractor's own risk.

GENERAL NOTES:

1 OSHA rules, regulations and requirements are a part of this contract. All contractors shall follow them along with all state and local requirements for the safety of workers on the job and passers-by.
2. Contractor shall provide adequate bracing, shoring, protective covering, dust protection, and all necessary preventative measures against fire, injury to all people at job site and damage to property on the premises.
3. The General Contractor shall exercise extreme care and precaution during construction and scheduling of work to minimize disturbances to adjacent spaces and/or structures and their occupants, property, public thoroughfares, etc. The General Contractor shall take precautions and be responsible for the safety of all building occupants from construction procedures. The contractor is responsible for any costs of overtime incurred thereby.
4. All work shall generally be performed during the normal working day: provide 48-hour notice to owner of any work to be performed outside of normal working hours.All work shall generally be performed during the normal working day: provide 48-hour notice to owner of any work to be performed outside of normal working hours.
5. Work shall be performed in a neat, workmanlike manner and to a high standard of the commercial industry.Work shall be performed in a neat, workmanlike manner and to a high standard of the commercial industry.
6. Contractor shall remove all debris and trash resulting from construction on a daily basis.
7. All abandoned miscellaneous nails, hangers, staples, wires, conduits and debris shall be removed from the walls and areas of exposed ceilings. Remove all abandoned pipe sleeves in floor slabs. Patch existing slab as req. to maintain UL fire rating of floor slab where pipes and conduits have been removed.
8. The General Contractor shall provide protection and be responsible for any existing finishes to remain and shall repair or replace any areas damaged as a result of their work. All existing finishes to remain shall be cleaned at the completion of construction.The General Contractor shall provide protection and be responsible for any existing finishes to remain and shall repair or replace any areas damaged as a result of their work. All existing finishes to remain shall be cleaned at the completion of construction.
9. All materials and systems shall be installed as per manufacturers' specifications and all construction shall be of industry standard or better. The Architect shall be the ultimate judge of quality.
10. The Contractor shall provide the Team with a construction schedule showing the proposed phasing. Any long-lead items that will affect the Substantial Completion date shall be brought to the Architect's attention immediately.The Contractor shall provide the Team with a construction schedule showing the proposed phasing. Any long-lead items that will affect the Substantial Completion date shall be brought to the Architect's attention immediately.
11. The General Contractor shall submit shop drawings and submittals, order and schedule delivery of materials in ample time to avoid delays in construction. If an item is found to be unavailable or have a long lead time, the General Contractor shall notify the Architect immediately with a proposed alternative.The General Contractor shall submit shop drawings and submittals, order and schedule delivery of materials in ample time to avoid delays in construction. If an item is found to be unavailable or have a long lead time, the General Contractor shall notify the Architect immediately with a proposed alternative.
12. . The Contractor shall submit and obtain approval from Architect prior to ordering, manufacturing, purchasing, or installing any equipment. No product substitution will be allowed without the approval of Owner and Architect.
13. The General Contractor shall provide shop drawings for the architect's review and approval for the following: All shop millwork, carpet layout, flooring, light fixtures, doors, misc. steel, masonry, concrete mix, metal fabrication, windows, sprinkler layouts, accessories, toilet accessories, and hardware. Shop drawings shall be submitted in the form of three sets of prints. Shop drawing shall not be reproductions of Contract Documents. Material Submittals (3 samples) shall be provided for wood, fasteners, acrylic, carpet, tile, base, laminate, and any other materials indicated in the shop drawing.
14. . The General Contractor shall provide the Architect with manufacturers' cut sheets and specifications for all equipment including but not limited to: light fixtures, plumbing equipment, fans, supplementary heating and cooling elements, all hardware and security equipment.
15. Contractor and Subcontractors shall visit job site to thoroughly examine existing conditions. Failure to meet this requirement shall not entitle the contractor to additional compensation after proposals are accepted. The General Contractor should notify the Owner and Architect immediately of any in the base building work prior to commencement of work. Any unreported deficiencies shall become the responsibility of the Contractor to correct.Contractor and Subcontractors shall visit job site to thoroughly examine existing conditions. Failure to meet this requirement shall not entitle the contractor to additional compensation after proposals are accepted. The General Contractor should notify the Owner and Architect immediately of any in the base building work prior to commencement of work. Any unreported deficiencies shall become the responsibility of the Contractor to correct.
16. Contractor shall verify all existing and proposed grades prior to commencing construction. Promptly inform the architect in writing of any discrepancy between surveyed grades and indicated grades on this plan.
17. Any discrepancy in the contract documents or between drawings and the job site conditions shall be promptly reported to the Architect in writing for clarification prior to commencement of the work.
18. The General Contractor shall not proceed with work for which he expects additional compensation beyond the contract amount with out written authorization from the Architect and Owner. Failure to obtain such authorization shall invalidate a claim for extra compensation. The Contractor shall not proceed with work which, if completed in strict conformance with the Construction Documents, will result in additional work beyond the scope of the Contract without written authorization from the Architect and Owner. Any field conditions that significantly vary from the Contract Documents or will result in additional work, shall be brought to the attention of the Architect prior to proceeding with work.
19. Contractor shall include all core drill costs. All core drilling of the slab shall be approved by the Landlord's Structural Engineer prior to proceeding with the Work. Contractor shall submit proposed locations to Architect and Structural Engineer for review prior to proceeding with the work.
20. Attachments, connections or fasteners of any nature are to properly and permanently be secured in conformance with best practice and the General Contractor is responsible for improving them accordingly. The drawings highlight special conditions only and by no means illustrate every connection. The Contractor is responsible for improving connection accordingly.

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21. General Contractor shall waive "Common Practice" and "Common Usage" as construction criteria wherever details and Contract Documents of governing codes, ordinances, etc. require quantity or better quality than common practice or common usage would require.
22. The finished work shall be firm, well-anchored, in true alignment, plumb and level, with smooth, clean, uniform, appearance without waves, distortions, holes, marks cracks, stains, or discoloration. Jointing shall be close fitting, neat and well scribed. The finished work shall have no exposed unsightly anchors or fasteners and shall not present hazardous, unsafe corners. All work shall have the provision for expansion, contraction and shrinkage as necessary to prevent cracks, buckling, and warping due to temperature and humidity conditions.
23. Prior to project close out the General Contractor is to complete all punch list items, provide the owner with operation and maintenance manuals, complete warranty submittals, and complete the final cleaning (defined as move-in condition, ready for owner/tenant business operations). Close-out shall be approved by the architect.
24. The General Contractor shall be responsible for obtaining a complete Certificate of Occupancy for the project.

INDEMNIFICATION:

1. To the fullest extent permitted by law, the contractor shall indemnify and hold harmless the owner, the architect and his consultants, against claims, damages, losses, expenses, including but not limited to attorney's fees arising out of or resulting from the performance of the work, but only to the extent caused in whole or part by the negligent acts and omissions of the contractor.

QWNER'S RESPONSIBILITIES:

1. Owner shall obtain and pay all fees and permits to all private and public authorities that have jurisdiction of the project unless noted on the Bid Form otherwise.
2. Owner shall pay for fire extinguishers and Contractor to install. Contractor shall coordinate with fire department for exact number and location.

Notes - 06 - Millwork

1. Millwork shall be fabricated and installed by a qualified woodworker with experience in commercial applications of the scope of the job. The General Contractor shall submit shop drawings and hardware catalogue cuts of all millwork and hardware for review by Architect and in accordance with the Construction Documents. Shop drawings shall show the design and the dimensions and clearly indicate at a large scale to the Architect the method and means of construction. Fabrication of millwork shall not proceed until shop drawings have been reviewed by the Architect. Shop drawings shall be submitted with 3 sets of prints.
2. The method of manufacturing, fabricating and installing millwork, equipment, and its structural components defined in the contract documents is representative and indicates design intent only. If the materials, details or dimensional properties are at variance with the General Contractor or manufacturer's recommendations, alternate details will be considered for review by the Architect. It is the responsibility of the General contractor to guarantee that the millwork and equipment will have proper support, stability and fault-free performance and provide all necessary blocking. All work shall conform to American Woodworking Institute (AWI) standards for premium grade construction.
3. All cabinets shall be of flush overlay construction with 4" satin chrome wire pulls UON. Interior surfaces of cabinets not exposed to view shall be melamine with plastic laminate edgebanding to match melamine. All cabinet exterior surfaces exposed to view shall be plastic laminate. All open cabinet shelving shall be plastic laminate with plastic laminate edgebanding to match. All counter supports shall be plastic laminate. All counters used as work surfaces and all paneling shall be balanced and have phenolic backer laminated to entire underside or back face. Cabinet doors shall have plastic laminate on all faces and edges. All casework shall comply with AWI Section 400 for premium grade construction.
4. Millwork covered with plastic laminate shall be fabricated and assembled by skilled workmen to the satisfaction of the Architect. Exposed surfaces shall be free from dents, tool marks, warpage, buckling, or open joints. All joints, corners and mitered connections shall be made tightly so the edges are entirely concealed. It is the responsibility of the General Contractor to obtain accurate field measurements and to verify dimensions and to provide shop drawings to ensure an accurate fit.
5. Only exposed hardware is specified in this document. The Contractor is to supply all other necessary hardware to complete the Work. All unspecified hardware shall be of the highest quality commercial grade heavy duty. The Contractor is to provide catalog cuts of all hardware for review by Architect. Provide plastic grommets at cabinetry and counters for wire management as noted in the drawings. Submit catalog and samples to Architect for approval.
6. Install millwork to be plumb, level, true and straight with no distortions. Shim as required using concealed shims. Provide all required blocking at new or existing construction for installation of millwork. Scribe and cut millwork to fit adjoining work. Provide sealant to match adjacent surfaces at all gaps. All exposed anchors, nail heads, screw heads, chips, indentations or imperfection in the wood surface to be painted shall be filled, sanded, sealed and prepared for painting. All lumber, particle board, finish wood, plywood, blocking, etc. shall be fire retardent treated (FRT) where required by local building codes, as interpreted by the local Code Official. No exposed fasteners.
7. The General Contractor shall be responsible for making certain that the millwork items are not delivered until areas are sufficiently dry so that the millwork will not be damaged by excessive changes in moisture content. All delivered units shall match the final approved shop drawings and samples. Units which are marred, chipped or otherwise damaged shall be repaired or replaced as determined by the Architect. Units shall be protected during shipment and installation. After installation of units in their proper location and substantial completion of the Work, all protection shall be removed and all surfaces thoroughly cleaned to the complete satisfaction of the Architect. Surfaces shall then be covered and protected.
8. Wood cabinets, countertops, trim and rails are to comply with AWI Section 400 and other applicable American Woodworking Institute Standards (AWI) for custom grade.
9. Install millwork in compliance with AWI Section 1700. Premium Grade unless otherwise indicated. Install millwork in compliance with AWI Section 1700, Premium Grade unless otherwise indicated. Flush wood paneling shall conform to AWI Section 500, Premium. Wood veneer to have "AA" face with 3/4" MDF core. See drawings for species and cut. Veneer shall be book matched, balance match panel faces and sequence between adjacent panels. Exposed edges to be veneered same species and finish as face. Provide sound back of similar species.
10. To the greatest extent possible, furnish millwork with shop applied finishes. Defer only final touch-up, cleaning, and polishing until after installation. Shop applied finishes shall comply with AWI 1500, Premium Grade, TR-2 catalyzed lacquer, semi-filled.

Notes - 08 - Doors, Frames, and Hardware

1. Refer to Door and Hardware Schedule for extent, type and additional notes. Acceptable wood door manufacturers to be Weyerhaeuser, Eggers, Mohawk or Architect approved equal. General Contractor shall provide a hardware schedule and catalogue cuts for all finish hardware for approval by the Architect indicating location of hardware set, cross-referenced to indications on Drawings, manufacturer's name and product number, finish, and other similar information describing hardware to be provided. Items of hardware not definitely specified, but needed for satisfactory installation of hardware shall be provided. Such items shall be of type and quality suitable for service needed and comparable to adjacent hardware.
2. All doors shall be set 6" off adjacent perpendicular wall, UON. Doors shall not be undercut, UON. All levers, pulls, and locks are to be provided per the schedule. All hinges and other miscellaneous exposed hardware shall be in similar and compatible finishes as indicated on Hardware Schedule.
3. General Contractor shall coordinate keying system with Owner (Building Management), Landlord, and Architect. General Contractor shall coordinate security system with system vendor and scheduled hardware and the submittal of all security hardware specifications and cut sheets to the proper authorities for review and approval during building permit process
4. Provide hardware, door pulls, hinges, closers, electromagnetic devices, etc. needed to provide a full and complete installation. Provide silencers at metal frame doors. Provide floor mounted door stops unless existing conditions require wall mounted. Ensure adequate blocking for wall mounted stops. Submit to Architect for approval.
5. Provide 4 1/2 x 4 1/2, full mortise, template, 5-knuckle, heavy duty, button tip hinges with non-rising loose pins and anti-friction, ball type bearing. Doors with locksets shall be furnished with non-removable pins hinges. Provide 1-1/2" pair hinges for doors up to 90" in height. Add 1 hinge for every additional 30" in height.
6. Heavy duty cylindrical locksets and latchsets shall conform to ANSI A156.2, Series 4000, Grade 1. Functions as listed in schedule. Heavy duty mortise locksets and latchsets, levers shall conform to ANSI A156.13 Series, 1000, Grade 1. Overhead Closers shall be surface mounted or concealed overhead as noted in the hardware schedule and shall be heavy duty, fully hydraulic, rack and pinion action and sized to be in compliance with requirements for accessibility for handicapped and recommendations of manufacturer. Furnish complete with all necessary hardware. Furnish 2 keys per lock with a maximum of 8 keys per keyed alike set. Before final completion, adjust hardware so that doors operate in perfect order. Test and adjust hardware for quiet, smooth operation and adjust closers for proper operation. At final completion, properly tag and identify keys and deliver to Owner.

Notes - 09 - Floor Finish

1. Refer to Finish Plan & Schedule for extent and type of all floor finishes. Submit manufacturer's literature describing carpet and underlayment system products prior to ordering. Submit scaled shop drawings of each area to be carpeted that clearly indicate locations of seams, direction of carpet, type of adhesive, and installation procedures. Shop drawings shall include name of manufacturer, color of carpet for each area, quantities for each area including roll length, notations as to where dye lot changes occur, and location and type of resilient moldings. Submit 3 samples of each carpet and underlayment selected for use, sufficiently sized to clearly indicate construction, but not less than 12" x 12". Upon completion of Project, supply Owner with an amount of extra carpet equal to 5% of each type and color. Extra stock shall be provided neatly rolled, and clearly marked for Owner's future use.
2. Floor surfaces scheduled to receive carpet shall be properly prepared to accept a direct glue down installation in accordance with MFG specifications. Joints shall be tightly butted to form minimal seams without gaps. Seams at doorways shall be on the centerline of the door. Flash patch slab to align carpet with adjacent floor finish.
3. Carpet cushion underlayment to be Styrene-butadiene rubber, Polycellular urethane, chemically bonded to a woven polypropylene substrate or high density open cell urethane in 5/32" (.15625") thickness minimum. Cushion Adhesive to be pressure sensitive, hi-viscosity release adhesive. Double Glue Application to be installed per manufacturer's recommendations.
4. GC to flashpatch floor to provide a level surface that shall not exceed 1/4± over 10 feet cumulative. At floor finish transitions flash patch to smooth transition of finished material to maintain level finished floor surface.
5. LLINOIS ACCESSIBILITY SLIP RESISTANCE PARAMETERS: FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT, THERE SHALL BE NO TRIP HAZARDS OVER 1/4" TO 1/2" . THEY CAN BE BELVELED NO GREATER THAN 1:2. OVER 1/2" A ' RAMP, CURB-RAMP, ELEVATOR OR A PLATFORM LIFT WOULD BE REQUIRED FOR AN ACCESSIBLE ROUTE;

Notes - 09 - Paint and Wall Finish

1. Refer to Finish Schedule and Finish Plan for extent and type. All wall surfaces, metal frames, and trim shall be painted, UON. All surfaces to be painted shall be prepared for priming in accordance with the manufacturer's specifications.
2. All painted surfaces shall receive 1 prime and 2 finish coats as follows:
   GWB surfaces - Interior eggshell latex paint
   GWB ceiling surfaces - Interior flat latex paint
   Hollow Metal/Wood - Odorless interior semi-gloss alkyd latex
3. Paint is to be applied by a roller or brush on all surfaces. Only the prime coat may be spray applied. Provide a 12"x12" GWB sample for each color for Architect's approval prior to the start of the Work.

Notes - 09 - Interior Drywall

1. All GWB work shall be performed by a qualified installer with experience in commercial applications similar in scope to this job. GWB installation shall conform to ASTM C840, the recommendation of the Gypsum Association, the specific recommendations of the mfg., and the requirements of the UL Fire Resistance Directory (at fire rated partitions). Apply tape and joint compound over joints, interior angles, fastener heads, metal trims, and accessories as outlined in the Gypsum Association Publication 214.
2. All Mechanical, Electrical, and Plumbing penetrations in fire rated partitions shall be sealed at their perimeter with approved fire-rated sealer. All Mechanical, Electrical, and Plumbing penetrations in sound rated partitions shall be sealed at their perimeter with approved acoustical sealer.
3. All partitions and horizontal dimensions are dimensioned to face of GWB, unless otherwise noted. Dimensions indicated as CLEAR and CLR shall be maintained. Any discrepancies or variations in these dimensions shall be reviewed with the Architect before beginning construction. Vertical dimensions are from top of floor slab except where noted to above finished floor. Align face of partitions with face of adjacent column, unless otherwise noted.
4. General Contractor shall clearly lay-out all partitions and notify Architect of date for partition layout. Layout shall be complete and shall be approved by Architect before beginning construction. Alignments are to be verified in the field.
5. GWB shall be finished to within 1/4" of floor slab at all partitions. All partitions, edge trim, corner beads, performed reveals and joints to existing drywall surfaces shall be taped, bedded in joint compound and sanded smooth with no visible joints ("J" trim shall not be used). Provide proper backing for all reveals as recommended by the manufacturer.
6. All outside corners of GWB shall have metal corner beads (screwed type), unless noted otherwise. Metal edge trim shall comply with Gypsum Association "L" Series in sizes corresponding to gypsum wallboard thickness.
7. Control joints shall be installed in unbroken partitions and ceilings exceeding 30 feet. Control joints in fire rated partitions shall conform to those tested in accordance with ASTM E 119. Locations of control joints to be approved by Architect prior to installation.
8. Alignment of door heads and other critical horizontal elements shall be maintained at a constant level relative to the ceiling plans, and shall not follow variations in the floor plans. Partition types above doors and windows shall be same as the adjacent partitions, unless noted otherwise. Provide necessary structure.
9. At areas where existing wall covering is to be removed from partitions to remain, repair and prepare surface of reused gypsum wall board to accept new finish. Quality of repaired and prepared surface shall be equal to that of newly constructed partitions.

Notes - 09 - Interior GWB Metal Framing

1. Installation of interior GWB metal framing systems shall conform to ASTM C754. Fire rated partitions shall conform to UL design number indicated. Refer to UL Fire Resistance Directory - Volume I (latest edition) for additional information. Sound rated partitions shall conform to ASTM E497, Standard Practice for Installing Sound-Isolating Lightweight Partitions.
2. Metal Stud gauge for partitions shall be 25 gauge minimum unless noted otherwise. Metal studs at fire rated or STC rated door frames shall be 20 gauge minimum. Metal runners shall correspond in size and gauge to metal studs. Metal runners shall be continuous and attachment shall be at 16" on center, minimum. Metal furring spacing shall be 16" on center unless noted otherwise.
3. G.C. to notify architect of date for partition layout on slab. Layout to be approved by architect, prior to construction.
4. Wood blocking shall be fire resistant treated (FRT). Install 3/4" FRT wood blocking in partitions at all wall hung shelving, cabinets, millwork, guardrails, handrails and equipment requiring blocking as indicated on the drawings and as necessary for proper support. Verify blocking requirements with millwork subcontractor and review with Architect for acceptance prior to installation. Metal attachment plates for handrails, grab bars, etc. shall be 16 gauge min. and shall span a minimum of two studs.
5. Metal framing for GWB ceilings shall consist of 1 1/2" cold rolled steel channels @ 4'-0" OC suspended by 8 gauge galvanized wire hangers @ 4'-0" O.C. with 7/8" 25 gauge metal furring channels running parallel @ 2'-0" OC attached to channels with approved clips. Metal framing shall not be attached to the Ductwork.

PERMIT SET 7/26/23

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ENGINEERS

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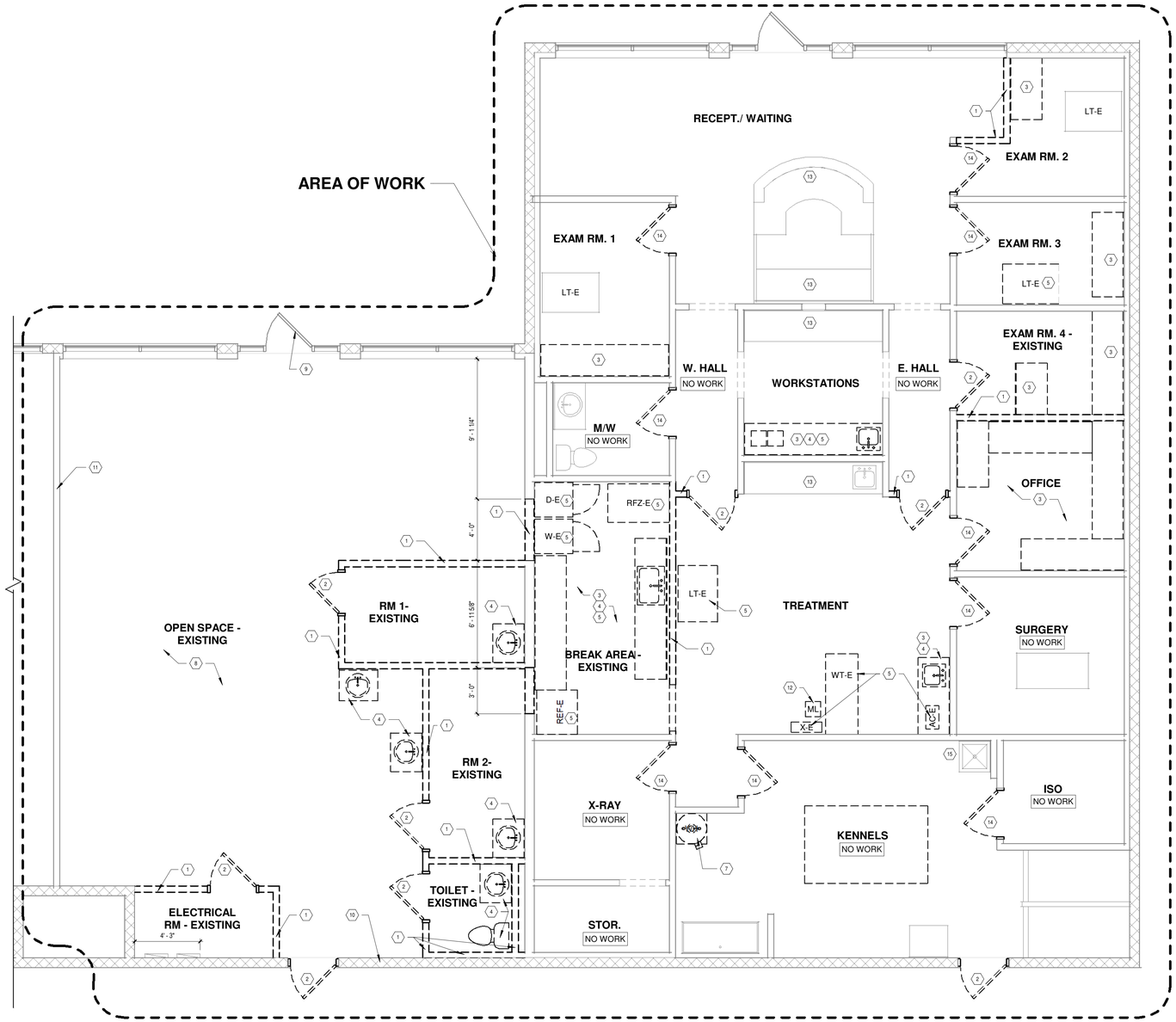
SPECS & GENERAL NOTES

G1-4



1 1ST FLOOR DEMOLITION PLAN
1/4" = 1'-0"

DEMOLITION GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL VISUALLY INSPECT ALL EXISTING CONDITIONS AND SHALL COORDINATE ANY OUTSTANDING DEMO ISSUES WITH THE ARCHITECT PRIOR TO BEGINNING WORK. ALL BASE BUILDING FRAMES, WINDOW SILLS, AND CORE PARTITIONS TO BE FREE FROM MASTIC OR OTHER BUILDING RESIDUE AND READY TO RECEIVE FINISH.
2. PROVIDE PROTECTION OF ALL EXISTING FINISHES TO REMAIN.
3. MAINTAIN AND PROTECT EXISTING UTILITIES TO REMAIN IN SERVICE BEFORE PROCEEDING WITH DEMOLITION, PROVIDING BYPASS CONNECTIONS TO OTHER PARTS OF THE BUILDING.
4. LOCATE, IDENTIFY, SHUT OFF, DISCONNECT, AND CAP OFF UTILITY SERVICES TO BE DEMOLISHED.
5. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND SITE IMPROVEMENTS.
6. PROVIDE AND MAINTAIN SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE BUILDING STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE.
7. PROTECT BUILDING STRUCTURE AND INTERIOR FROM WEATHER AND WATER LEAKAGE AND DAMAGE.
8. PROTECT WALLS, CEILINGS, FLOORS, AND EXPOSED FINISHES THAT ARE TO REMAIN. ERECT AND MAINTAIN DUSTPROOF PARTITIONS BETWEEN AREA OF WORK AND NON-WORK AREAS INCLUDING DUCTS & AREA ABOVE CEILING. COVER AND PROTECT FIXTURES, FURNISHINGS, AND EQUIPMENT THAT ARE TO REMAIN.
9. NEATLY CUT OPENINGS AND HOLES PLUMB, SQUARE, AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION.
10. PROMPTLY PATCH AND REPAIR HOLES AND DAMAGED SURFACES OF BUILDING CAUSED BY DEMOLITION. RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO REMAINING ADJOINING CONSTRUCTION.
11. PROMPTLY REMOVE DEMOLISHED MATERIALS FROM OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM. DO NOT BURN DEMOLISHED MATERIALS.
12. TO THE BEST OF THE OWNER'S AND ARCHITECT'S KNOWLEDGE, THERE ARE NO HAZARDOUS MATERIALS PRESENT IN THE EXISTING AREA OF WORK. IF MATERIAL IS FOUND WHICH MAY BE SUSPECTED TO BE HAZARDOUS, CONTRACTOR SHALL NOTIFY ARCHITECT AND BUILDING OWNER IMMEDIATELY. IF IT IS DETERMINED TO BE HAZARDOUS, THE MATERIAL SHALL BE FULLY ABATED ACCORDING TO APPLICABLE LAWS.
13. PROVIDE DUMPSTER FOR DEBRIS REMOVAL. COORDINATE LOCATION WITH BUILDING OWNER. REMOVE DEMOLITION MATERIALS EACH DAY AND VACUUM PUBLIC/COMMON AREAS BEFORE LEAVING SITE.

PLAN LEGEND

- NEW WALL
- EXISTING WALL TO REMAIN
- DEMO WALL
- RATED WALL
- INSULATED WALL
- CMU WALL
- CONCRETE WALL
- EXISTING DOORS AND FRAMES TO REMAIN
- EXISTING DOORS AND FRAMES TO BE REMOVED
- NEW DOORS AND FRAMES

DEMOLITION PLAN KEYNOTES

1. REMOVE AND DISPOSE OF ENTIRE/PORTION OF EXISTING WALL AND WALL BASE SHOWN AS DASHED. COODINATE WITH FLOOR PLANS FOR OPENING SIZE.
2. REMOVE AND DISPOSE OF EXISTING DOOR AND FRAME.
3. REMOVE AND DISPOSE OF EXISTING WALL CABINETS, BASE CABINETS AND COUNTERTOP.
4. REMOVE EXISTING PLUMBING FIXTURES. ALL PIPING SHALL BE REMOVED BACK TO ACTIVE MAINS & CAPPED. SEE PLUMBING DRAWINGS FOR REMOVAL OF SINK.
5. RELOCATE EXISTING EQUIPMENTS. SALVAGE ALL ACCESSORIES AND PARTS FOR REINSTALLATION. SEE A1-4 FOR NEW APPROXIMATE LOCATIONS. FINAL LOCATIONS BY OWNER
6. REMAIN EXISTING EQUIPMENTS
7. RELOCATE EXISTING WATER HEATER
8. REMOVE ALL EXISTING FLOORING, UNDERLAYMENT, MASTIC AND BASE COMPLETE DOWN TO EXISTING SUBFLOOR/SLAB. PATCH/REPAIR, CHISEL, SAWCUT, GRIND, INFILL, LEVEL AND/OR SMOOTH FLOOR AS REQUIRED FOR NEW FINISH OR TO MATCH EXISTING ADJACENT CONDITIONS. SEE FINISH PLANS FOR MORE INFORMATION.
9. EXISTING STOREFRONT TO REMAIN
10. EXISTING EXTERIOR MASONRY WALL TO REMAIN
11. EXISTING DEMISING WALL TO REMAIN. VERIFY IN FIELD THIS WALL GOES UP TO UNDERSIDE OF DECK
12. EXISTING MEDICAL LIGHT TO BE REMOVED AND SALVAGED TO THE OWNER
13. EXISTING CASEWORK AND SHELVING TO REMAIN
14. REMOVE AND DISPOSE OF EXISTING DOOR PANEL. DOOR FRAME TO REMAIN.
15. EXIST. MOP SINK TO REMAIN

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DEMOLITION FLOOR PLAN

A0-1

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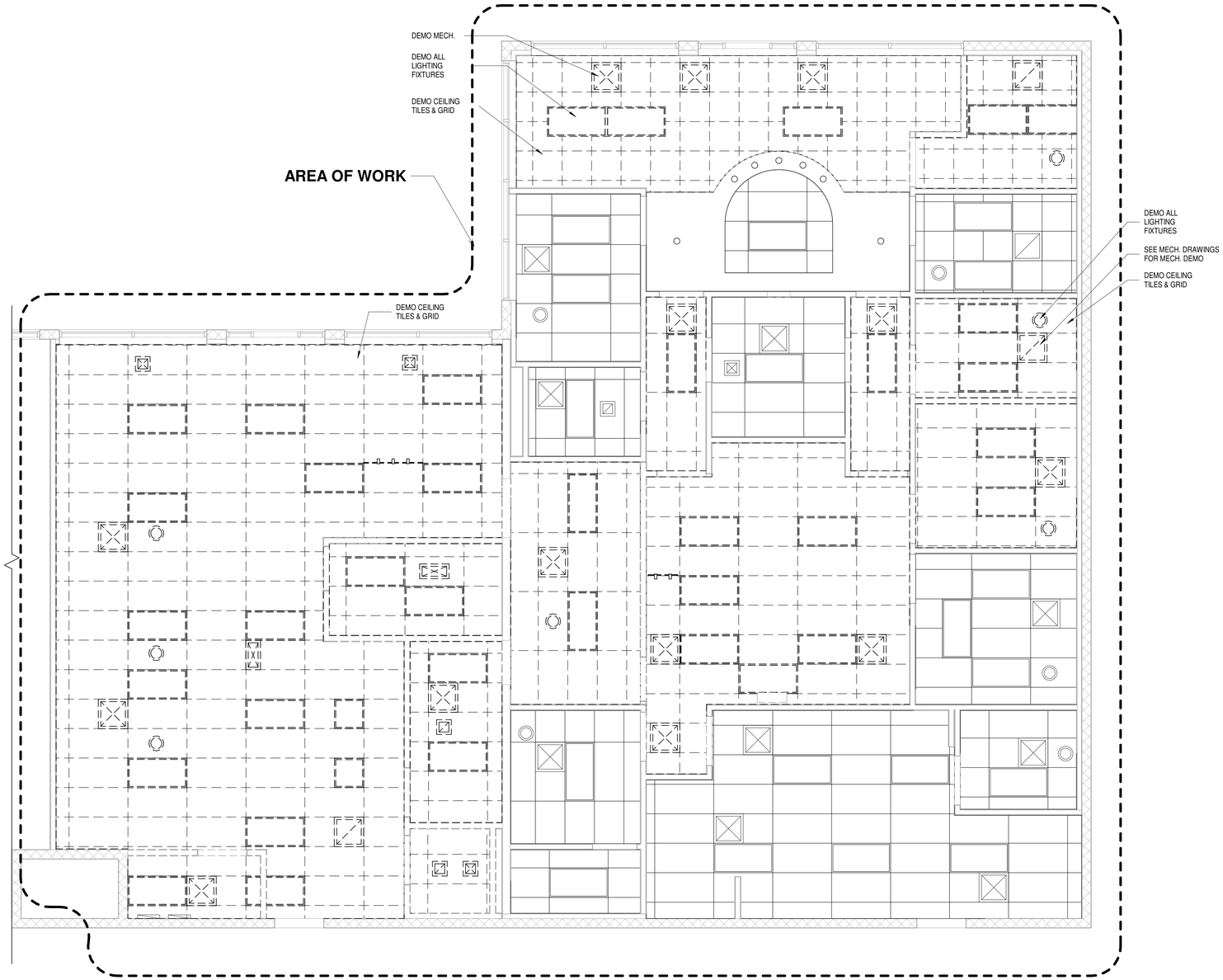

1 DEMO REFLECTED CEILING PLAN
1/4" = 1'-0"

DEMOLITION CEILING PLAN LEGEND

EXISTING CEILING TO BE DEMOLISHED

EXISTING LIGHT FIXTURES TO BE DEMOLISHED

EXISTING AIR TERMINAL DIFFUSERS TO BE CAREFULLY REMOVED, SALVAGED AND RELOCATED

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DEMOLITION REFLECTED CEILING PLAN

A0-2

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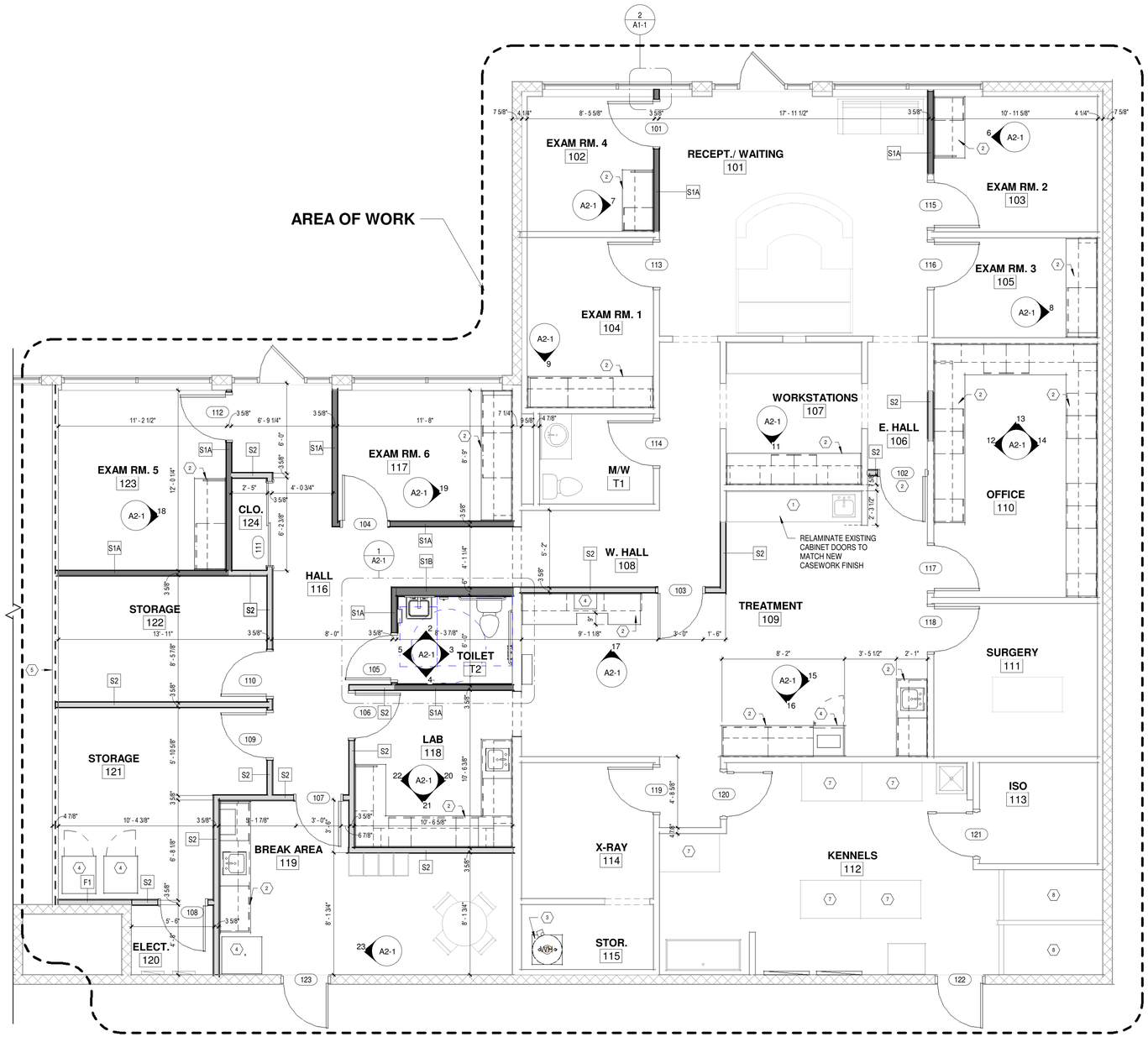
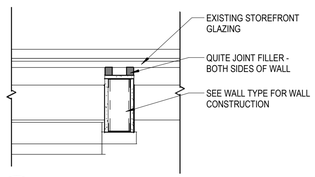


1 PROPOSED FLOOR PLAN
1/4" = 1'-0"



2 DETAIL
1" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. SEE SHEET G1-1 FOR GENERAL NOTES AND SYMBOLS.
2. SEE SHEET G1-2 FOR CODE REFERENCE PLANS AND FIRE RATED ASSEMBLY LOCATIONS.
3. SEE SHEET A1-1 FOR WALL TYPE DETAILS.
4. SEE SHEET A4-1 FOR DOOR AND FRAME SCHEDULE.
5. ALL NEW WALL PENETRATIONS MUST BE SEALED AGAINST THE PASSAGE OF SMOKE. ALL NEW WALL PENETRATIONS THROUGH A FIRE RATED WALLS MUST BE SEALED TO MAINTAIN THE SPECIFIED RATING.
6. NEW MASONRY TO BE TOOTHED-IN WHERE INTERSECTING EXISTING MASONRY LOCATIONS. BONDING AND COURSING SHALL MATCH EXISTING.
7. PATCH ALL AREAS DISTURBED BY CONSTRUCTION WHETHER OR NOT INDICATED ON PLANS. PATCH OR PROVIDE NEW MATERIALS TO MATCH EXISTING ADJACENT CONDITIONS. NEW MATERIALS AND FINISHES SHALL BE BROUGHT TO A STOPPING POINT TO MINIMIZE DETECTION OF REPAIR.
8. PATCH ALL HOLES WHERE ITEMS HAVE BEEN REMOVED FROM WALLS. INFILL ALL VOIDS AFTER REMOVAL OF EXISTING DUCTS, PIPING, CONDUIT, ETC. TO MATCH EXISTING ADJACENT CONSTRUCTION.
9. ALL DOOR RETURNS TO BE 2" UNLESS NOTED OTHERWISE.
10. ALL ROOM NAMES AND NUMBERS INDICATED ON THE DRAWINGS ARE FOR REFERENCE ONLY. OWNER WILL PROVIDE NEW NAMES AND NUMBERS THAT SHALL BE USED FOR THE PROGRAMMING OF ALL SYSTEMS.
11. NEW INFILL WALLS TO BE FLUSH AND ALIGN WITH EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE. ANY OPENINGS THAT REMAIN FROM LOUVERS BEING REMOVED WILL BE INFILLED WITH BRICK AND BLOCK TOOTHED-IN PER SPECIFICATIONS.

PLAN LEGEND

- NEW WALL
- EXISTING WALL TO REMAIN
- DEMO WALL
- RATED WALL
- INSULATED WALL
- CMU WALL
- CONCRETE WALL
- EXISTING DOORS AND FRAMES TO REMAIN
- EXISTING DOORS AND FRAMES TO BE REMOVED
- NEW DOORS AND FRAMES

FLOOR PLAN KEYNOTES

1. EXISTING CASEWORK TO REMAIN - RELAMINATE TO MATCH NEW CASEWORK
2. NEW CASEWORK
3. EXISTING WATER HEATER TO BE RELOCATED HERE - COORDINATE FINAL LOCATION ITH OWNER AND MEP DRAWINGS
4. EQUIPMENTS- SEE EQUIPMENT PLAN AND SHCEDULE
5. EXISTING DEMISING, 1-HR RATED WALL TO REMAIN

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FIRST FLOOR PLAN

A1-1

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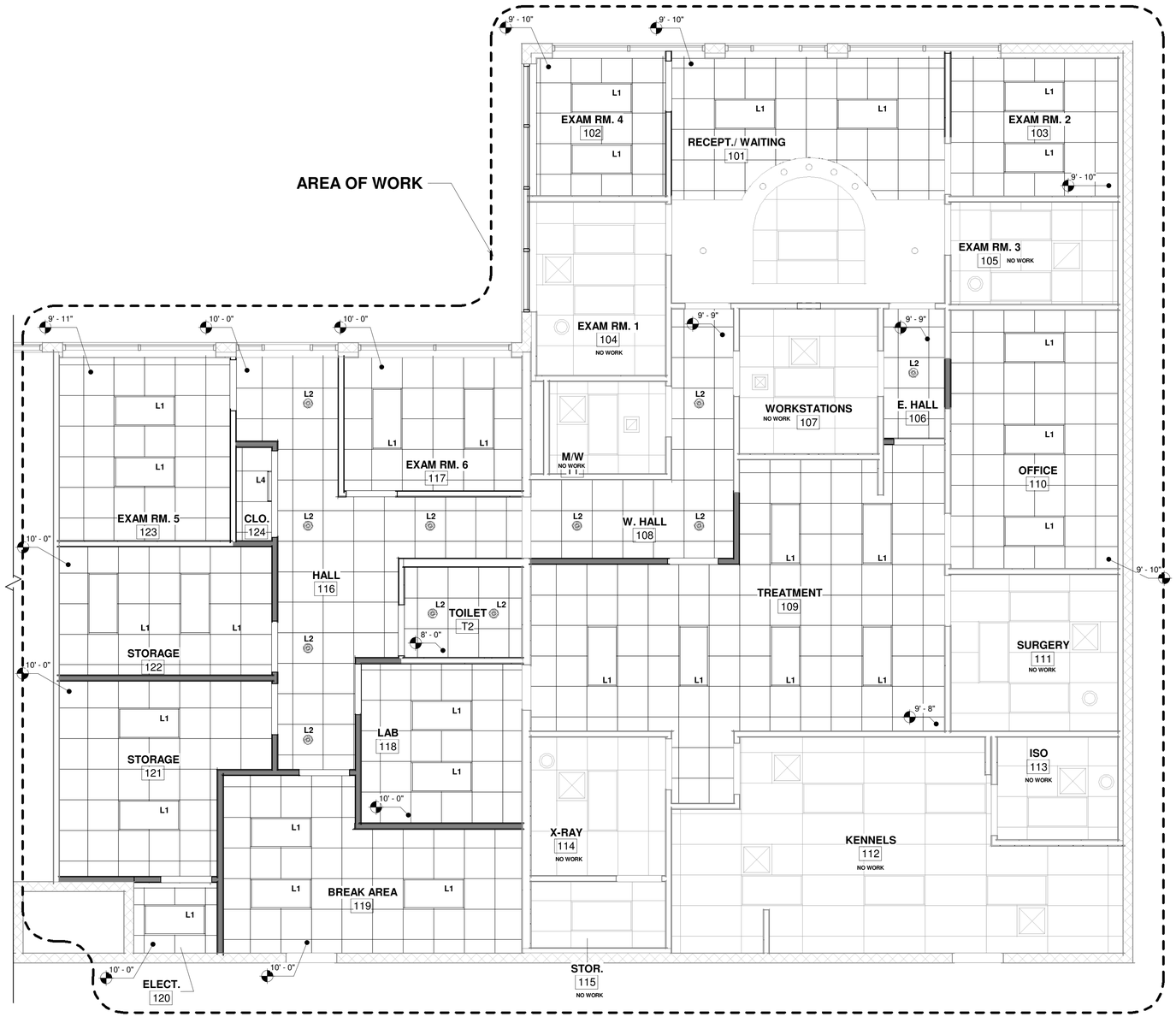

1 REFLECTED CEILING PLAN
1/4" = 1'-0"

GENERAL REFLECTED CEILING PLAN NOTES

1. EXISTING CEILING AREA TO BE PATCHED/REPAIRED TO ACCOMMODATE NEW CONSTRUCTION.
2. ALL CEILINGS ARE TO BE SUSPENDED FROM DECK ABOVE.
3. ALIGN NEW GRID TO EXISTING GRID.
4. SPRINKLER HEADS ARE SHOWN FOR REFERENCE ONLY. SPRINKLER CONTRACTOR SHALL PREPARE PERMIT DRAWINGS AND OBTAIN PERMITS SEPARATELY.
5. SEE SHEET G1-1 FOR GENERAL NOTES AND SYMBOLS.
6. SEE MECHANICAL DRAWINGS FOR LOCATION OF DIFFUSER AND RETURN GRILLES.
7. SEE ELECTRICAL DRAWINGS FOR COORDINATION OF ELECTRICAL FIXTURES.
8. PROVIDE CONTROL JOINTS 20'-0" TO 25'-0" OC IN ALL GYP BD CEILINGS AND SOFFITS. COORDINATE LOCATIONS WITH ARCHITECT IN FIELD, UNO.
9. LOCATE ALL SPRINKLER HEADS IN THE CENTER OF CEILING TILES.
10. PATCH/REPAIR EXISTING CEILING SYSTEM AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION WHETHER OR NOT INDICATED ON PLANS.

PLAN LEGEND

- NEW WALL
- EXISTING WALL TO REMAIN
- DEMO WALL
- RATED WALL
- INSULATED WALL
- CMU WALL
- CONCRETE WALL
- EXISTING DOORS AND FRAMES TO REMAIN
- EXISTING DOORS AND FRAMES TO BE REMOVED
- NEW DOORS AND FRAMES

LIGHTING LEGEND

- LIGHTING TROFFER COOPER METALUX 2X4
- LDN6 40/30 LO6AR LSS
- CLX LED L24

LIGHTING FIXTURE SCHEDULE

TAG	Description	Type Comments	Count
01 FIRST FLOOR			
L1			29
L2	RECESSED 6" CAN LIGHT		11
L4	2'-0" WALL MOUNTED LINEAR FIXTURE		1
Grand total: 41			41

RCP GENERAL NOTES

1.	Borders at lay-in acoustical ceiling panels shall be cut to match factory edge profile. No exposed fasteners shall be permitted including pop rivets and tappets.
2.	Height of ceilings shall be measured from top of slab to finish face of GWB or face of ceiling grid as indicated on the Reflected Ceiling Plan, UON.
3.	All light fixtures are to be installed according to the Architectural Reflected Ceiling Plan. Architect to review ceiling layout including bulkheads and grid prior to installation.
4.	Light fixture types, quantities and locations only are noted on Architectural Reflected Ceiling Plans. Specifications, switching, exit lights, emergency lighting, life safety equipment, and circuiting are noted on Engineering documents. The General Contractor is responsible for all architectural and engineering drawings
5.	Dimensioned light fixtures are from finished face of partitions to centerline of fixture and from centerline of fixture to centerline of fixture. All fixtures shall be installed in center of ceiling tile unless noted otherwise. Any discrepancies with light fixtures, switches, thermostats, or diffusers as to location between architectural and engineering drawings or between the drawings and existing field conditions shall be clarified with the Architect before proceeding with installation.

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REFLECTED CEILING PLAN

A1-2

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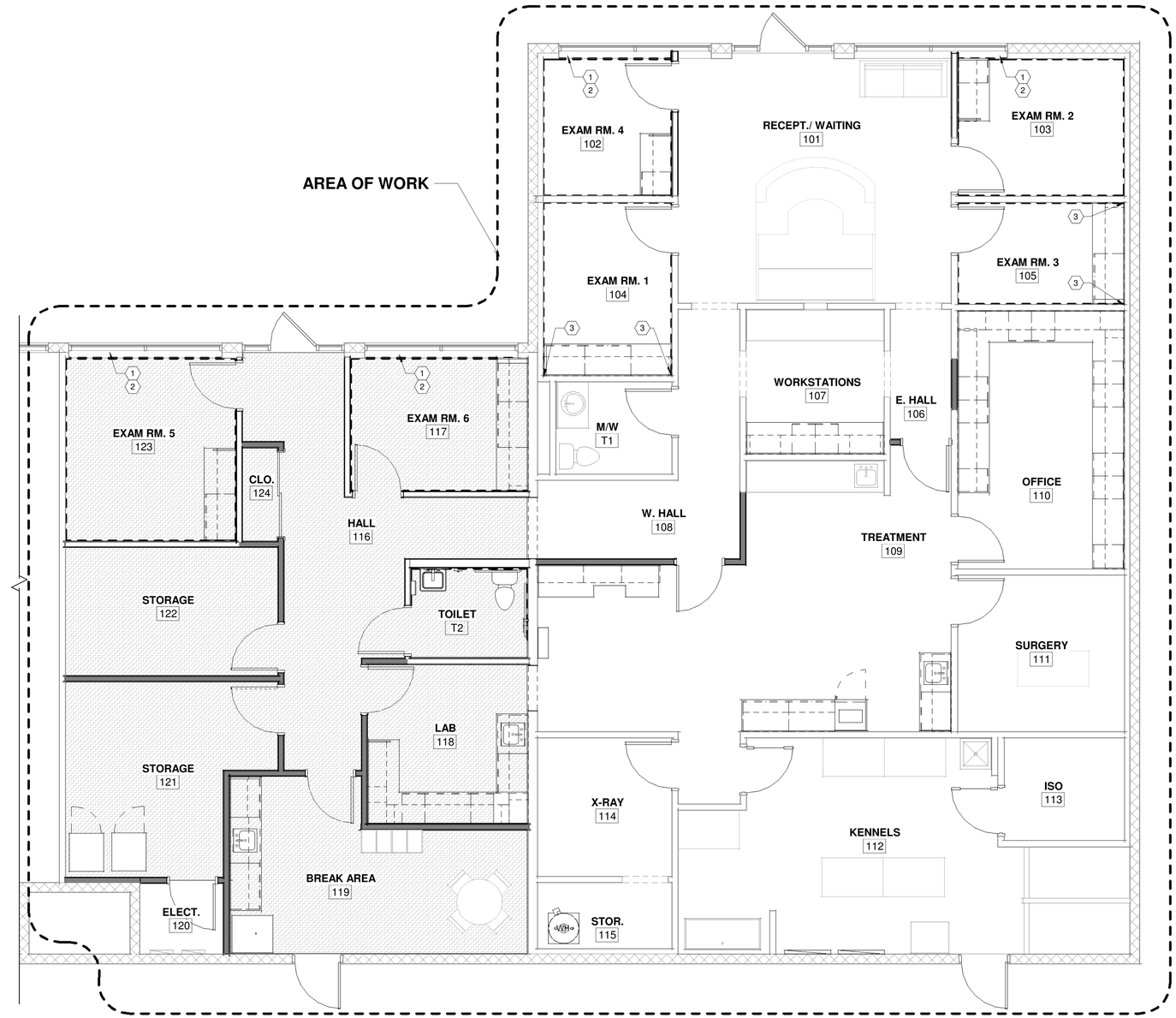

1 FIRST FLOOR FINISHES PLAN
1/4" = 1'-0"

FINISHES KEY:

AL:	ALUMINUM
ACR:	CLEAR ACRYLIC PAINTED
ACT:	ACOUSTICAL CEILING TILE
ACT - 2X2:	ARMSTRONG FINE FISSURE BASED ON SAG RESISTANCE, ACOUSTICAL PERFORMANCE AND LOW COST
CARPET:	THROW RUGS OR 2X2 CARTPET TILE BY OWNER
EXP CONC:	EXISTING CONCRETE CLEANED & PREPARE FOR FUTURE FLOOR FINISHES.
EXP:	EXPOSED STRUCTURE
FRP:	1/8" THICK FIBERGLASS REINFORCED PANEL KEMLITE
HM:	HOLLOW METAL
HM-TM:	HOLLOW METAL THERMALLY BROKEN
LVP:	LUXURY VINYL PLANK
LAMINATE:	LAMINATE FLOORING OVER EXISTING FLOORING -SANDWOOD OR WILSONART
OAK WOOD:	1" PREFAB/ PRE-FINISHED TREAD, 3/4" PREFAB/ PRE-FINISHED OAK RISERS. SEE DETAIL
PEDIGRID:	3/8" PEDIGRID w/ 6" x 12" PORCELAIN TILE AROUND PERIMETER. PROVDE TRANSITION STRIPS AS REQUIRED.
P-ACT:	PAINTED ACOUSTICAL CEILING TILE AND GRID
PGWB:	PAINTED GYPSUM WALLBOARD
P-LAM:	PLASTIC LAMINATE OVER NEW OR EXISTING GWB. COLOR FROM NEVAMAR STANDARD COLORS (BY GC)
PT	12" X 12" PORCELAIN TILE OF 1/4" SUBFLOOR
PT - 6":	1/2 FLOOR PT -+/- 6" X 12"
PT - 4":	4" HIGH PORCELAIN TILE IN MEN'S AND WOMEN'S BATHROOMS
SANDED:	SAND EXISTING WOOD PRIIOR TO WALL CONSTRUCTION.
ST.V.	STAINED AND VARNISHED WOOD STRUCTURE
TH STN:	THIN STONE VENEER
VB:	4" VINYL BASE, CONTINUOUS, JOHNSONITE
VCT:	VINYL COMPOSITION TILE STANDARD COLORS OVER 1/4" SUBFLOOR
VST:	VINYL STRIP FLOORING - ARMSTRONG 6" X 48" VINYL "NATURAL CREATIONS ARBOR-ART TP075 HAND CRAFTED NUTMEG
VWB	VINYL WALL BASE 4" HIGH, CONTINUOUS WITH COVE
WD	WOOD
WDB	WOOD BASE - SEE DETAIL
WD- 5 1/2":	3/4" X 5 1/2" SOLID CHERRY, STAINED AND VARNISH

FINISH PLAN GENERAL NOTES

1. SEE FLAME SPREAD PARAMETERS IN CODE REVIEW ON G1-2.
2. PROVIDE TRANSITION STRIPS BETWEEN FLOORING MATERIALS
3. ILLINOIS ACCESSIBILITY SLIP RESISTANCE PARAMETERS:
   - A. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
   - B. THERE SHALL BE NO TRIP HAZARDS OVER 1/4" TO 1/2" . THEY CAN BE BEVELED NO GREATER THAN 1:2. OVER 1/2" A ' RAMP, CURB-RAMP, ELEVATOR OR A PLATFORM LIFT WOULD BE REQUIRED FOR AN ACCESSIBLE ROUTE.
   - C. AN ACCESSIBLE ROUTE CANNOT INCLUDE A STEP.
4. ALL FINISH MANUFACTURE & COLOR TO BE SELECTED BY OWNER
5. PROVIDE WALL BASE AT GYP WALL BOARD AND BASE CABINET CONTINUOUSLY.
6. PATCH AND REPAIR EXISTING FINISHES AS REQUIRED - INCLUDE BUT NOT LIMITED TO FLOORING, WALL, AND CEILING

FINISH PLAN LEGEND

- EXISTING TO REMAIN - NO WORK
- LVT: IUXURY VINYL TILE
- NOT USED
- ACROVYN WALL PROTECTION PANEL - UP TO 48" AFF (TYP AT WHOLE PARAMETER WALL OF EXAM ROOMS, UNO)

FINISH PLAN KEYNOTES

1. SOLID SURFACE WINDOW SILL
2. FIT WALL PROTECTION PANEL AT WINDOW SILL
3. STOP WALL PROTECTION PANEL AT WALL INNER CORNER

PLAN LEGEND

- NEW WALL
- EXISTING WALL TO REMAIN
- DEMO WALL
- RATED WALL
- INSULATED WALL
- CMU WALL
- CONCRETE WALL
- EXISTING DOORS AND FRAMES TO REMAIN
- EXISTING DOORS AND FRAMES TO BE REMOVED
- NEW DOORS AND FRAMES

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FIRST FLOOR FINISH PLAN & MILLWORK PLAN

A1-3

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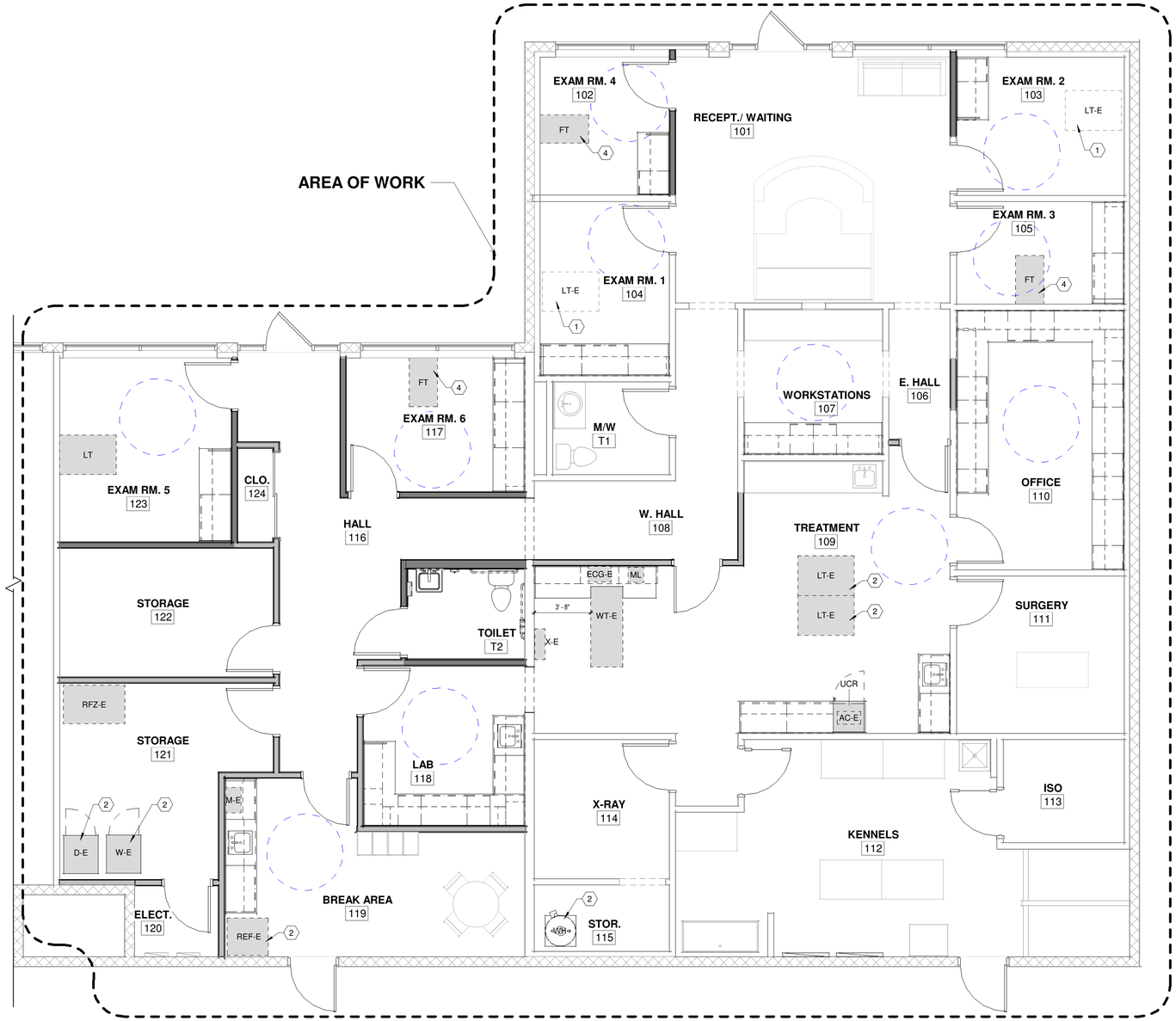

1 EQUIPMENT FLOOR PLAN
1/4" = 1'-0"

EQUIPMENT PLAN GENERAL NOTES

1. SEE SHEET G1-1 FOR GENERAL NOTES AND SYMBOLS.
2. SEE SHEET G1-2 FOR CODE REFERENCE PLANS AND FIRE RATED ASSEMBLY LOCATIONS.
3. ALL EQUIPMENT TO BE PROVIDED BY OWNER, INSTALLED BY CONTRACTOR PER MANUFACTURER. COORDINATE WITH OWNER FOR FINAL LOCATIONS.
4. SEE ELECTRICAL AND PLUMBING DRAWINGS FOR COORDINATION.

EQUIPMENT PLAN KEYNOTES

1. EXISTING EQUIPMENT TO REMAIN
2. EXISTING EQUIPMENT TO BE RELOCATED - COORDINATE WITH ELECTRICAL AND/OR PLUMBING DRAWINGS
3. NOT USED
4. OPEN BELOW WHEN FOLDED UP

EQUIPMENT SECHEDULE

TAG	NAME	RM	COUNT	MOUNTING	NOTES
LT-E	LIFT TABLE - EXISTING	103	1	FLOOR	RELOCATION
		104	1	FLOOR	RELOCATION
		109	2	FLOOR	RELOCATION - NEW POWER FROM CEILING
FT	FOLD-UP TABLE	102	1	WALL	-
		105	1	WALL	-
		117	1	WALL	-
AC-E	AUTOCLAVE-EXISTING	109	1	COUNTER	RELOCATION
U.C.R.	UNDER COUNTER REFRIGERATOR	109	1	FLOOR	-
WT-E	WET TABLE- EXISTING	109	1	WALL	RELOCATION- REQUIRE PLUMBING
ML	MEDICAL LIGHT	109	1	WALL	ABOVE UPPER CABINET - COORD. W/ OWNER
X-E	XRAY- EXISTING	109	1	WALL	RELOCATION
ECG-E	ELECTROCARDIOGRAM	109	1	UPPER CABINET	RELOCATION PROVIDE POWER AT UPPER CABIN.
LT	LIFT TABLE	123	1	FLOOR	-
REF-E	REFRIGERATOR- EXISTING	119	1	FLOOR	RELOCATION
D-E	DRYER-EXISTING	121	1	FLOOR	RELOCATION
W-E	WASHING MACHINE-EXISTING	121	1	FLOOR	RELOCATION
M-E	MICROWAVE - EXISTING	119	1	UPPER CABINET	RELOCATION PROVIDE POWER AT UPPER CABIN.
FRZ-E	FREEZER- EXISTING	121	1	FLOOR	RELOCATION

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EQUIPMENT PLAN

A1-4

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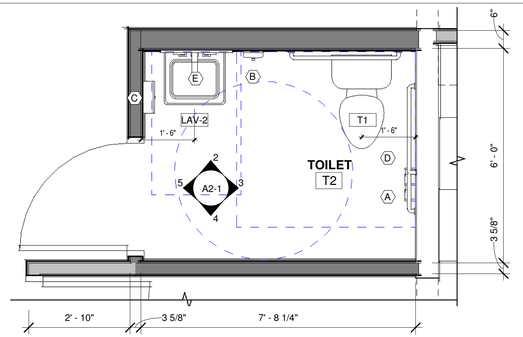
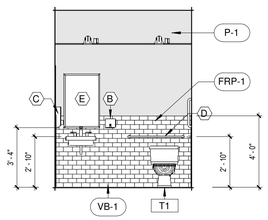
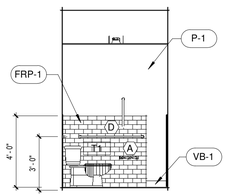


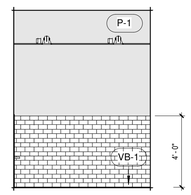
1 ENALRGED FLOOR PLAN
1/2" = 1'-0"



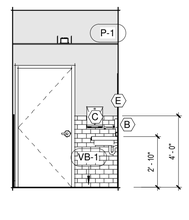
2 INT. ELEVATION - TOILET T2
1/4" = 1'-0"



3 INT. ELEVATION - TOILET T2
1/4" = 1'-0"



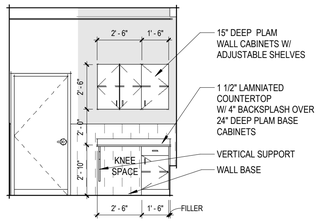
4 INT. ELEVATION - TOILET T2
1/4" = 1'-0"



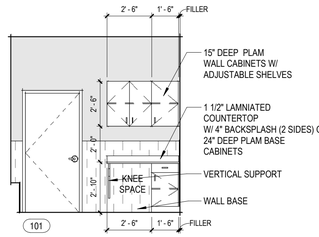
5 INT. ELEVATION - TOILET T2
1/4" = 1'-0"

RESTROOM ACCESSORY SCHEDULE

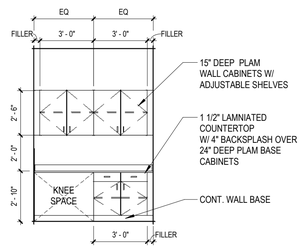
NOTE	DESCRIPTION	MANUF.	MODEL	NO.
A	DOUBLE-ROLL TOILET TISSUE DISPENSER	BOBRICK	B-6867	1
B	SOAP DISPENSER	BOBRICK	B-4112	1
C	PAPER TOWEL DISPENSER	BOBRICK	B262	1
D	GRAB BARS	BOBRICK	B5806X36, B5806X42, B5806X18	1
E	Channel-Frame Mirror, Welded Corners, 24 by 36 inches	Bradley Corporation	781-024360	1



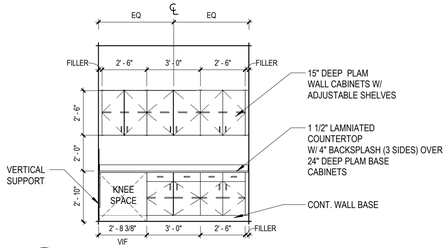
6 IE- EXAM RM 2
1/4" = 1'-0"



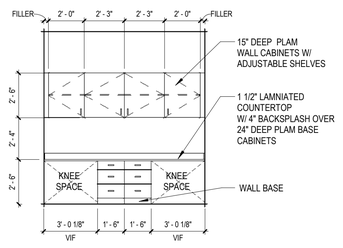
7 IE- EXAM RM 4
1/4" = 1'-0"



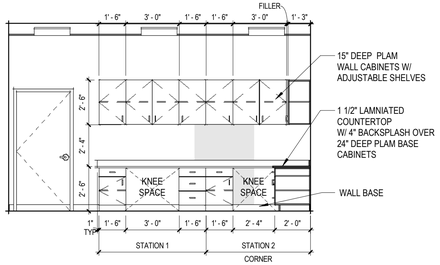
8 IE
1/4" = 1'-0"



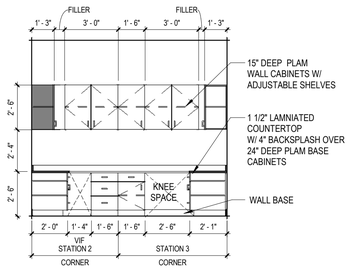
9 IE- EXAM RM 1
1/4" = 1'-0"



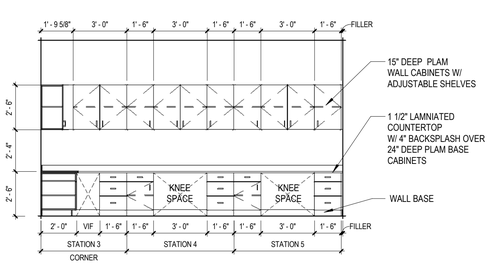
11 IE- WORKSTATIONS- SOUTH
1/4" = 1'-0"



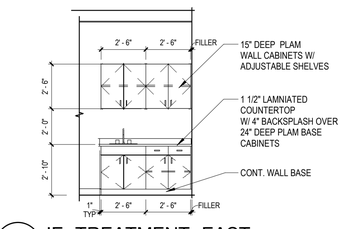
12 IE- OFFICE- WEST
1/4" = 1'-0"



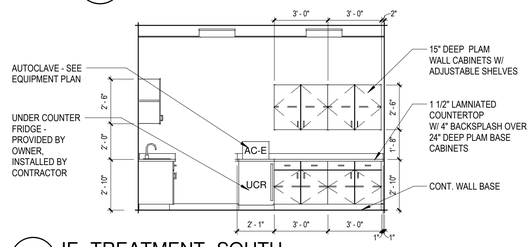
13 IE- OFFICE- NORTH
1/4" = 1'-0"



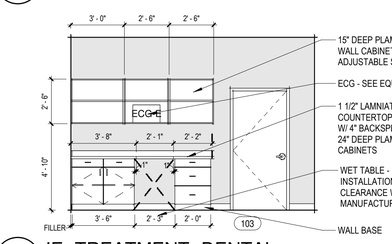
14 IE- OFFICE- EAST
1/4" = 1'-0"



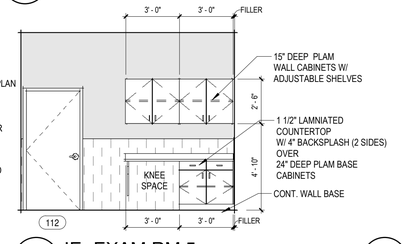
15 IE- TREATMENT- EAST
1/4" = 1'-0"



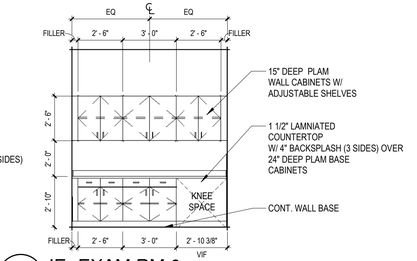
16 IE- TREATMENT- SOUTH
1/4" = 1'-0"



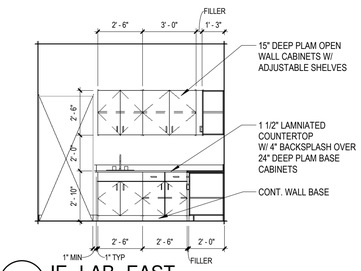
17 IE- TREATMENT- DENTAL
1/4" = 1'-0"



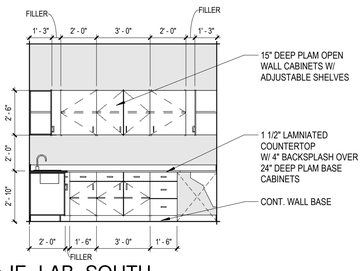
18 IE- EXAM RM 5
1/4" = 1'-0"



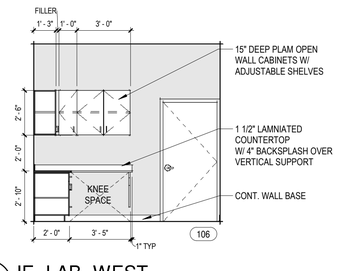
19 IE- EXAM RM 6
1/4" = 1'-0"



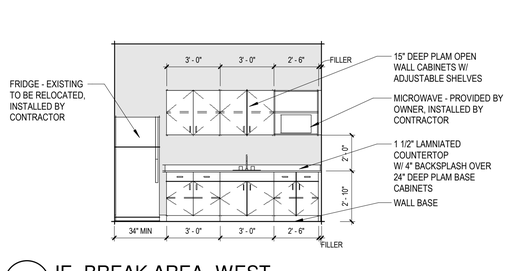
20 IE- LAB- EAST
1/4" = 1'-0"



21 IE- LAB- SOUTH
1/4" = 1'-0"



22 IE- LAB- WEST
1/4" = 1'-0"



23 IE- BREAK AREA- WEST
1/4" = 1'-0"

INTERIOR ELEVATION GENERAL NOTES

1. SEE PLUMBING DRAWINGS FOR PLUMBING FIXTURES, TRAPS, AND ALL OTHER MISCELLANEOUS ITEMS TO BE FURNISHED AND INSTALLED.
2. FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATING CASEWORK.
3. REFER TO MANUFACTURED WOOD CASEWORK SPECIFICATIONS FOR PLASTIC LAMINATE CABINETS AND COUNTERTOPS.
4. PROVIDE LOCKS AT ALL CABINETS UNLESS NOTED OTHERWISE.
5. PROVIDE FINISHED END PANEL AT EXPOSED CASEWORK END, AND PROVIDE FULL HEIGHT FINISHED END PANEL AT EXPOSED CUBBIES AND WALL CABINETS END
6. FOR WALL PAINT COLOR REFER TO FLOOR FINISH PLANS.
7. FOR SOFFIT PAINT COLOR REFER TO REFLECTED CEILING PLANS
8. AT CASEWORK WHERE ELECTRICAL OUTLETS ARE SPECIFICALLY NOTED INSIDE CABINETS, OUTLETS TO BE FLUSH MOUNTED ON INSIDE FACE OF CASEWORK PANEL.
9. PROVIDE CONTINUOUS SEALANT AT GAPS BETWEEN BACKSPLASH AND WALL - COLOR SELECTED BY ARCHITECT.
10. ALL LAMINATE WOOD GRAIN TO RUN VERTICAL - TYPICAL FOR BASE AND UPPER CABINETS.
11. PROVIDE TWO 3" DIAMETER PLASTIC GROMMETS AT ALL OPEN KNEE SPACES - SEE INTEIOR ELEVATIONS FOR KNEE SPACE LOCATIONS. EXACT LOCATION TO BE COORDINATED IN THE FIELD W/ ARCHITECT. COLOR SELECTED BY OWNER.

ALLEN PEPA ARCHITECTS
INFO@ALLENPEPA.COM
TEL: (630) 578-1105
215 FULTON ST., GENEVA, IL 60134

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WWW.3SMEP.COM

FOX ANIMAL HOSPITAL RENOVATION
2107 CRAWFORD AVE,
EVANSTON, IL 60201

Schematic Design:	5/8/23
Design Development	
Bidding:	
Permit:	
ISSUE DATE:	7/26/23

POST BID/PERMIT REVISIONS:

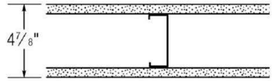
No.	Date	Description

PROJECT NO.	23-009
DRAWN BY	YL/OS
CHECKED BY	EP
SHEET	11 OF 31

INTERIOR ELEVATIONS

A2-1

PERMIT SET 7/26/23



UL U465

Interior Partitions -Steel Stud (Non-loadbearing)

Fire Rating	1 hour
STC	40
Sound Test	RAL-TL11-125
System Thickness	4-7/8"

Detailed Description | Quick Description

Gypsum Board - 5/8 in. thick board, applied vertically, attached to studs with 1 in. long, Type S -12 screws, spaced 8 in. OC along the edges and 12 in. OC of the board
* SHEETROCK Brand PREcode Core (Type X) - 5/8"

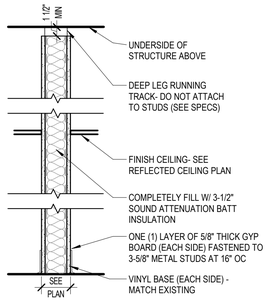
Steel Studs - 3-5/8 in. wide min. 25 gauge steel. Attached to floor and ceiling with fasteners, 24 in. OC

Product: 362S125-18 ▾ Limiting Heights Range: undefined - undefined (in.) ~

Gypsum Board - 5/8 in. thick gypsum board applied vertically or horizontally.
* SHEETROCK Brand PREcode Core (Type X) - 5/8"

R1

3-5/8" MTL STUD W/ 5/8" GYP. BD.
UL U465 1-HOUR RATED

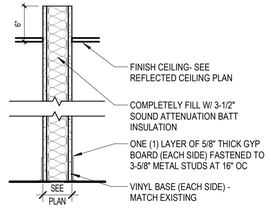


S1A

3-5/8" MTL STUD W/ 5/8" GYP. BD. (UP TO DECK)

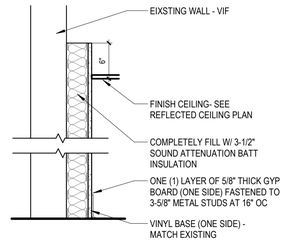
S1B

6" MTL STUD W/ 5/8" GYP. BD. (UP TO DECK)



S2

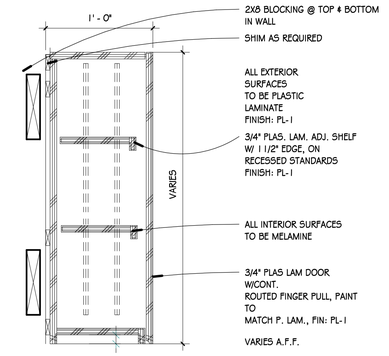
3-5/8" MTL STUD W/ 5/8" GYP. BD.



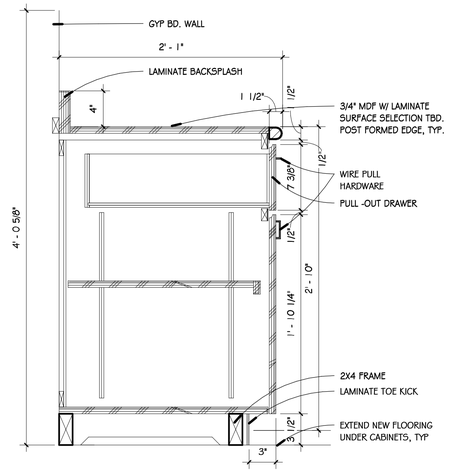
F1

3-5/8" MTL STUD W/ 5/8" GYP. BD.

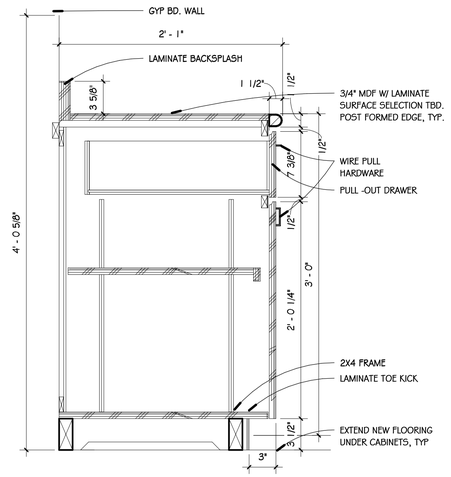
WALL TYPES
1" = 1'-0"



5 UPPER CABINET SECTION
1 1/2" = 1'-0"



7 ACCESSIBLE BASE CABINET
1 1/2" = 1'-0"



9 STD. BASE CABINET
1 1/2" = 1'-0"

PERMIT SET 7/26/23

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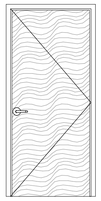
No.	Date	Description

PROJECT NO.	23-009
DRAWN BY	-
CHECKED BY	-
SHEET	12 OF 31

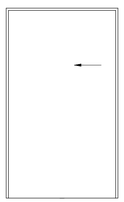
WALL TYPES AND DETAILS

A3-1

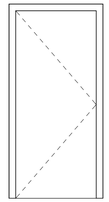
W:\Arch 23\23-009 Fox Animal Hospital\23-009 Fox Animal Hospital - Central.rvt



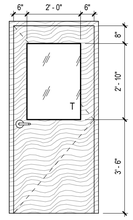
D1
SINGLE FLUSH, SOLID CORE WOOD DOOR



D2
SLIDING, SOLID CORE WOOD DOOR

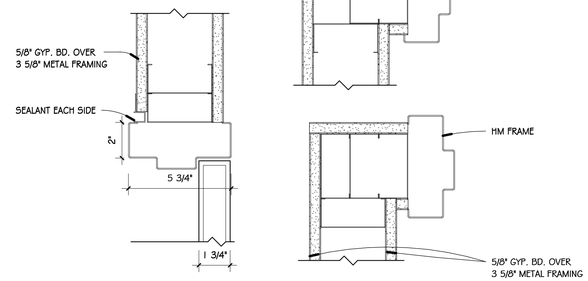


D3
EXTERIOR INSULATED METAL DOOR



D4
SINGLE SOLID CORE WOOD DOOR W/ HALF LITE

DOOR LEGEND
3/8" = 1'-0"



1 HOLLOW METAL DOOR FRAME DETAILS
3" = 1'-0"

WALL SIGNAGE

SIGNAGE NOTES

1. PERMANENT LETTERS AND NUMERALS SHALL BE RAISED 1/32" UPPER CASE AND ACCOMPANIED WITH GRADE 2 BRAILLE.

2. CHARACTERS AND BACKGROUND OF SIGNS SHALL BE MATTE FINISH.

3. BACKGROUNDS SHALL BE BLACK IN COLOR. CHARACTERS SHALL BE WHITE IN COLOR. FRAMES SHALL BE WHITE IN COLOR.

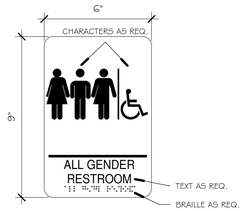
4. SIGNAGE SHALL BE PROVIDED AND INSTALLED IN COMPLIANCE WITH ILLINOIS ACCESSIBILITY CODE SECTION 400.310.a

5. ALL SIGNS SHALL BE WALL MOUNTED W/ HARDWARE APPROVED BY SIGN MANUFACTURER.

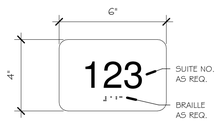
6. PROVIDE SHOP DRAWINGS FOR OWNER/ARCHITECT REVIEW PRIOR TO INSTALLATION OF ANY SIGNS. USE OF ALTERNATE SIGNAGE, FRAMES, ETC. SHALL BE APPROVED BY OWNER/ARCHITECT.

8. VERIFY ROOM NAMES, ROOM NUMBERS, ETC. WITH OWNER PRIOR TO MANUFACTURING SIGNS.

9. SEE ACCESSIBILITY STANDARDS SHEET FOR MOUNTING HEIGHT.



1 ALL GENDER RESTROOM



2 ROOM

08 - Door & Frame Schedule

DOOR NUMBER	DOOR PANEL TYPE	DOOR PANEL MATERIAL	DOOR PANEL FINISH	SIZE WIDTH	SIZE HEIGHT	SIZE THICKNESS	DOOR FRAME MATERIAL	DOOR FRAME FINISH	HARDWARE	SIGNAGE	COMMENTS
101	D1	SC WD	STAINED. SELECTION PER OWNER	3' - 0"	6' - 8"	1 3/4"	HM	PAINTED	1		
102	D1	SC WD	STAINED. SELECTION PER OWNER	3' - 0"	6' - 8"	1 3/4"	HM	PAINTED	2		ADD PROTECTIVE PLEXIGLASS PANELS FOR SCRATCHING
103	D1	SC WD	STAINED. SELECTION PER OWNER	3' - 0"	6' - 8"	1 3/4"	HM	PAINTED	2		ADD PROTECTIVE PLEXIGLASS PANELS FOR SCRATCHING
104	D1	SC WD	STAINED. SELECTION PER OWNER	3' - 0"	6' - 8"	1 3/4"	HM	PAINTED	1		
105	D1	SC WD	STAINED. SELECTION PER OWNER	3' - 0"	6' - 8"	1 3/4"	HM	PAINTED	4	1	
106	D1	SC WD	STAINED. SELECTION PER OWNER	3' - 0"	6' - 8"	1 3/4"	HM	PAINTED	2		
107	D1	SC WD	STAINED. SELECTION PER OWNER	3' - 0"	6' - 8"	1 3/4"	HM	PAINTED	2		
108	D1	SC WD	STAINED. SELECTION PER OWNER	3' - 0"	6' - 8"	1 3/4"	HM	PAINTED	3		
109	D1	SC WD	STAINED. SELECTION PER OWNER	3' - 0"	6' - 8"	1 3/4"	HM	PAINTED	2		
110	D1	SC WD	STAINED. SELECTION PER OWNER	3' - 0"	6' - 8"	1 3/4"	HM	PAINTED	1		
111	D2	SC WD	STAINED. SELECTION PER OWNER	5' - 6"	6' - 8"	1 3/8"	WD	REPAINTED	6		
112	D1	SC WD	STAINED. SELECTION PER OWNER	3' - 0"	6' - 8"	1 3/4"	HM	PAINTED	1		
113	D1	SC WD	STAINED. SELECTION PER OWNER	3' - 0"	6' - 8"	1 3/4"	EXIST.	REPAINTED	1		
114	D1	SC WD	STAINED. SELECTION PER OWNER	3' - 0"	6' - 8"	1 3/4"	EXIST.	REPAINTED	4		
115	D1	SC WD	STAINED. SELECTION PER OWNER	3' - 0"	6' - 8"	1 3/4"	EXIST.	REPAINTED	1		
116	D1	SC WD	STAINED. SELECTION PER OWNER	3' - 0"	6' - 8"	1 3/4"	EXIST.	REPAINTED	1		
117	D1	SC WD	STAINED. SELECTION PER OWNER	3' - 0"	6' - 8"	1 3/4"	EXIST.	REPAINTED	2		
118	D1	SC WD	STAINED. SELECTION PER OWNER	3' - 0"	6' - 8"	1 3/4"	EXIST.	REPAINTED	1		
119	D1	SC WD	STAINED. SELECTION PER OWNER	3' - 0"	6' - 8"	1 3/4"	EXIST.	REPAINTED	1		
120	D1	SC WD	STAINED. SELECTION PER OWNER	3' - 0"	7' - 0"	1 3/4"	EXIST.	REPAINTED	2		
121	D1	SC WD	STAINED. SELECTION PER OWNER	3' - 0"	7' - 0"	1 3/4"	EXIST.	REPAINTED	1		
122	D3	HM-I	PREFINISHED	3' - 0"	6' - 8"	1 3/4"	HM-TM	PAINT TO MATCH DOOR PANEL	5		
123	D3	HM-I	PREFINISHED	3' - 0"	6' - 8"	1 3/4"	HM-TM	PAINT TO MATCH DOOR PANEL	5		

HARDWARE SCHEDULE LEGEND

Hardware Set:	Latchsets	Vestibule	Passage	Office/Corridor	Classroom	Bath Privacy	Storeroom	Cylinder/deadbolt if req'd	Push Paddle Storefront latch	Exit devices - Rim device	Closer	Push plate - pull plate	1 1/2 pair hinges	1 pair hinges	Kick plate	Kick-down hold open	Silencers	Door stop	Spring Hinge	Weather Stripping	Sliding Door Hardware	Comments
HDWE 1				●								●			●		●	●				
HDWE 2			●									●					●	●				
HDWE 3							●				●	●					●	●				
HDWE 4						●						●					●	●				
HDWE 5							●				●	●					●		●			
HDWE 6																					●	

ILLINOIS ACCESSABILITY CODE SECTION 400.310 j8: PROVIDE LEVER HARDWARE:
Handles, pulls, latches, locks, and other operating devices on accessible doors shall have a shape that is easy to grasp with one hand and does not require tight grasping, tight pinching, or twisting of the wrist to operate. Lever-operated mechanisms, push-type mechanisms, and U-shaped handles are acceptable designs. When sliding doors are fully open, operating hardware shall be exposed and usable from both sides. Hardware required for accessible door passage shall be mounted no higher than 48 in. (1220 mm) above finished floor. (ADAAG 4.13.9)

DOOR SCHEDULE ABBREVIATIONS
HM HOLLOW METAL
WD WOOD DOOR
FV FIELD VERIFY

SPECIFICATIONS:
LOCKSETS: SCHLAGE, BEST ACCESS, YALE

PANIC BAR: VON DUPRIN

HINGES: BOMMER INDUSTRIES, HAGER COMPANIES, STANLEY HARDWARE

CYLINDRICAL LOCKS: SCHLAGE, BEST, ACCESS, YALE

CLOSERS: LCN, SARGENT, CORBIN OR YALE

GASKETING: NATIONAL GUARD PRODUCTS, PEMKO MANUFACTURING

DOOR STOPS: ROCKWOOD, QUALITY, HAGER

ALUMINUM THRESHOLDS: NATIONAL OR WITH DOOR FRAME

KEYING: PROVIDE 5 KEYS

LOCKSET DEFINITIONS:

VESTIBULE LOCK: UNLOCKED BY KEY FROM OUTSIDE, NEVER LOCKED FROM INTERIOR

PASSAGE: BOTH LEVERS ALWAYS UNLOCKED

OFFICE/CORRIDOR LOCK: LOCKED OR UNLOCKED FROM OUTSIDE, PUSH BUTTON LOCKING WITH THUMBTURN, CLOSING DOOR OR TURNING LEVER RELEASES LOCK

CLASSROOM: OUTSIDE LEVER LOCKED AND UNLOCKED BY KEY, INTERIOR ALWAYS UNLOCKED

BED/BATH PRIVACY: PUSH BUTTON LOCKING. CAN BE OPENED FROM OUTSIDE WITH SMALL SCREWDRIVER. TURNING RELEASES BUTTON

STOREROOM: OUTSIDE LEVER ALWAYS FIXED, INSIDE LEVER ALWAYS UNLOCKED

PUSH PADDLE STOREFRONT LATCH (CYLINDER REQUIRED): ALWAYS ACTIVE INTERIOR PANEL THAT CAN BE LOCKED IN THE OPEN POSITION DURING THE DAY OR LATCHED DURING OFF-HOURS AND OPENED WITH A KEY.

DOOR LEGEND KEY

FRAME:

AL: ALUMINUM
BF: BIFOLD
C/W: CASED WITH CASING AND WOOD DOOR TRIM
C/HM: CASED WITH HM FRAME ONLY
HM: HOLLOW METAL
HM-TM: HOLLOW METAL THERMALLY BROKEN
OV-R: ROLLING OVERHEAD DOOR PER ELEVATION AND SCHEDULE
OV-P: OVERHEAD DOOR PANALIZED PER ELEVATION AND SCHEDULE
WD: WOOD

DOOR PANEL:

BF.W: BIFOLD SOLID CORE
BF.MDF: BIFOLD HOLLOW CORE
FI: FIBERGLASS INSULATED
HM: HOLLOW METAL
HM-I: HOLLOW METAL INSULATED
PM-I: PREFORMED METAL, INSULATED
WF&P: SOLID WOOD FRAME AND PANEL
WHC: WOOD HOLLOW CORE WITH INTERNAL REINFORCING
WHC-MDF: WOOD HOLLOW CORE MDF PRESSED AND PRIMED
WSC: WOOD SOLID CORE

LEAVES:

BF: BIFOLD
DS: DOUBLE SWING
PD: POCKET DOOR
PR: PAIR
(AL-ACTIVE LEFT HAND PASSIVE WITH FLUSH BOLTS)
(AR-ACTIVE RIGHT HAND PASSIVE WITH FLUSH BOLTS)
S: SINGLE
SL: SLIDER

LITE KITS:

LK 4-24: 4"x24" 96 S.I. GLAZING AREA
LK 1010: 10"x10" 100 S.I. GLAZING AREA
LK 2424: 24"x24" 576 S.I. GLAZING AREA
LK 2454: 24"x54" 1296 S.I. GLAZING AREA
LK RES: PER SCHEDULE

SIDE LIGHTS
-RESIDENTIAL EXTERIOR LITE
-INTERIOR COMMERTIAL HM S.L.
(SEPERATE # AND SPEC / ELEVATION)

EXAMPLE: HM-TM | WSC | S | N/A
FRAME
DOOR PANEL
LEAVES
LIGHT KIT

ALLEN PEPA ARCHITECTS
INFO@ALLENPEPA.COM
TEL: (630) 578-1105
215 FULTON ST., GENEVA, IL 60134

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EVANSTON, IL 60201

Schematic Design:	5/8/23
Design Development	
Bidding:	
Permit:	
ISSUE DATE:	7/26/23

POST BID/PERMIT REVISIONS:

No.	Date	Description

PROJECT NO.	23-009
DRAWN BY	-
CHECKED BY	-
SHEET	13 OF 31

SCHEDULES

A4-1

PERMIT SET 7/26/23

W:\Arch 23\23-009 Fox Animal Hospital\23-009 Fox Animal Hospital - Central.rvt

MECHANICAL LEGEND

SYMBOL	DESCRIPTION
	DUCT WIDTH x DEPTH CLEAR INSIDE DIMENSION
UP DN	SUPPLY AIR DUCT SECTION UP - DOWN
UP DN	RETURN AIR DUCT SECTION UP - DOWN
UP DN	EXHAUST AIR DUCT SECTION UP - DOWN
UP DN	ROUND SUPPLY AIR DUCT SECTION UP - DOWN
UP DN	ROUND RETURN AIR DUCT SECTION UP - DOWN
UP DN	ROUND EXHAUST AIR DUCT SECTION UP - DOWN
	SQUARE ELBOW W/TURNING VANES
DN	DROP IN DUCT (DIRECTION OF FLOW)
UP	RISE IN DUCT (DIRECTION OF FLOW)
	TAKE-OFF DAMPER/EXTRACTOR
	MANUAL VOLUME DAMPER
FD	FIRE DAMPER
FS	FIRE & SMOKE DAMPER
M	MOTORIZED DAMPER
	RECTANGULAR TO ROUND TRANSITION
	SUPPLY DIFFUSER
	SUPPLY GRILLE
	EXHAUST GRILLE
	RETURN GRILLE
CD	CONDENSATE DRAIN PIPE
CS	CONDENSER WATER SUPPLY
CR	CONDENSER WATER RETURN
CWS	CHILLED WATER SUPPLY
CWR	CHILLED WATER RETURN
G	GAS PIPE
HWS	HEATING WATER SUPPLY
HWR	HEATING WATER RETURN
MU	MAKEUP WATER
RL RS	REFRIGERANT PIPE
	REDUCER
	UNION
	PIPE DOWN
	PIPE UP
	GAS PRESSURE REDUCING VALVE (GPR) WITH VENT
	ISOLATION VALVE
S	SOLENOID VALVE
	BALL VALVE (2-1/2" AND SMALLER)
	GLOBE VALVE
	CHECK VALVE
	BUTTERFLY VALVE (3" AND LARGER)
	BALANCING VALVE
	TWO WAY CONTROL VALVE
	THREE WAY CONTROL VALVE
	RELIEF(R), OR SAFETY(S) VALVE
	PUMP, IN SCHEMATIC PRESENTATION
T	THERMOSTAT
H	HUMIDISTAT
SD	DUCT SMOKE DETECTOR
CO	CARBON MONOXIDE DETECTOR
T/H	DUCT TEMP / HUMID SENSOR
	NEW CONNECTION
	LIMIT OF DEMOLITION
UC 1"	UNDERCUT
1 M3.X	SECTION TAKEN AT

ABBREVIATIONS

AC	AIR CONDITIONING
ACH	AIR CHANGES PER HOUR
AD	ACCESS DOOR OR PANEL
AF	AIR FOIL
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
ALT	ALTERNATE
AMP	AMPERE
AP	ACCESS PANEL
ARCH	ARCHITECTURAL
ASSY	ASSEMBLY
B	BOILER
BAS	BUILDING AUTOMATION SYSTEM
BG	BELOW GRADE
BHP	BRAKE HORSEPOWER
BI	BACKWARD INCLINED
BLDG	BUILDING
BOP	BOTTOM OF PIPE
BS	BELOW SLAB
BTU	BRITISH THERMAL UNIT
BTUH	BRITISH THERMAL UNITS PER HOUR
C	COMMON
CA	COMPRESSED AIR, COMBUSTION AIR
CAP	CAPACITY
CB	CIRCUIT BREAKER
CC	COOLING COIL
CD	CEILING DIFFUSER
CFCI	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED
CFM	CUBIC FEET PER MINUTE
CFH	CUBIC FEET PER HOUR
CH	CHILLER
CLG	CEILING
CEF	CEILING EXHAUST FAN
CMU	CONCRETE MASONRY UNIT
COND	CONDENSER, CONDENSATE
CONT	CONTINUATION
COP	COEFFICIENT OF PERFORMANCE
CTE	CONNECT TO EXISTING
CU	CONDENSING UNIT
DB	DRY BULB, OR DECIBEL
DDC	DIRECT DIGITAL CONTROL
DET	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DWG	DRAWING
(E)	EXISTING
EA	EACH, OR EXHAUST AIR
EAD	EXHAUST AIR DAMPER
EAT	ENTERING AIR TEMPERATURE
EF	EXHAUST FAN
EFF	EFFICIENCY
EG	EXHAUST GRILLE
EL.	ELEVATION
ELEV	ELEVATION
ENT	ENTERING
EQUIP	EQUIPMENT
ESP	EXTERNAL STATIC PRESSURE
ET	EXPANSION TANK
ETR	EXISTING TO REMAIN
EWT	ENTERING WATER TEMPERATURE
EXH	EXHAUST AIR
EXT	EXTERIOR
F	FAHRENHEIT
F/A	FROM ABOVE
F/B	FROM BELOW
FC	FORWARD CURVED
FCU	FAN COIL UNIT
FLA	FULL LOAD AMPS
FLR	FLOOR
FPM	FEET PER MINUTE
FPS	FEET PER SECOND
FT	FEET
G	NATURAL GAS
GA	GAUGE
GAL	GALLON
GALV	GALVANIZED
GPM	GALLONS PER MINUTE
GPR	GAS PRESSURE REDUCING VALVE
GR.	GRILLE
GSM	GALVANIZED SHEET METAL
HC	HEATING COIL
HP	HORSEPOWER, OR HEAT PUMP
HTG.	HEATING
HZ	HERTZ
ID	INSIDE DIAMETER
IN	INCHES
KEF	KITCHEN EXHAUST FAN
KW	KILOWATTS
KWH	KILOWATT HOURS
L	LENGTH
LAT	LEAVING AIR TEMPERATURE
LBS	POUNDS
LRA	LOCKED ROTOR AMPS
LTG	LIGHTING
LWT	LEAVING WATER TEMPERATURE
MAX	MAXIMUM
MBH	THOUSAND BTUH
MCA	MINIMUM CIRCUIT AMPACITY
MEZZ	MEZZANINE
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MTD	MOUNTED
MTG	MEETING
(N)	NEW
NC	NORMALLY CLOSED
NO	NORMALLY OPEN, OR NUMBER
NPT	NATIONAL PIPE THREAD
N.R.	NOT REQUIRED
NTS	NOT TO SCALE
O.A.	OUTSIDE AIR
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED, OWNER INSTALLED
OSA	OUTSIDE AIR
OSAD	OUTSIDE AIR DAMPER
P	PUMP
PD	PRESSURE DROP
PH	PHASE
PLBG	PLUMBING
PLC	PROGRAMMABLE LOGIC CONTROL
PRV	PRESSURE REDUCING VALVE
PSI	POUNDS PER SQUARE INCH
PSIG	POUNDS PER SQUARE INCH GAGE
(R)	REMOVE
R OR RA	RETURN AIR
RAD	RETURN AIR DAMPER
(RL)	RELOCATE
REQD	REQUIRED
RF	RETURN FAN
RM	ROOM
RPM	REVOLUTIONS PER MINUTE
RTU	ROOFTOP HVAC UNIT
S OR SA	SUPPLY AIR
SAD	SUPPLY AIR DAMPER
SCH	SCHEDULE
SF	SQUARE FEET
SHT	SHEET
SP	STATIC PRESSURE
SQ	SQUARE
SQ. FT.	SQUARE FEET
SR	SPRING RANGE
SS	STAINLESS STEEL
STD	STANDARD
T OR TA	TRANSFER AIR
T/A	TO ABOVE
T/B	TO BELOW
TDH	TOTAL DYNAMIC HEAD
TEMP	TEMPERATURE, OR TEMPORARY
TOS	TOP OF SLAB
TSP	TOTAL STATIC PRESSURE
TTC	TIGHT TO CEILING
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
V	VOLTS
VA	VOLT-AMPERE
VAV	VARIABLE AIR VOLUME
V.D.	VOLUME DAMPER
VEL	VELOCITY
VFD	VARIABLE FREQUENCY DRIVE
V.I.F.	VERIFY IN FIELD
VOL	VOLUME
VV	VARIABLE VOLUME
W/	WITH
WB	WET BULB
WC	WATER COLUMN
WG	WATER GAUGE
W/O	WITHOUT

GENERAL NOTES :

- ALL WORK PERFORMED SHALL CONFORM WITH LOCAL CITY & STATE REGULATIONS. ALL WORK SHALL BE CONDUCTED, INSTALLED AND COMPLETED IN A WORKMANLIKE AND APPROVED MANNER SO AS TO SECURE THE RESULTS INTENDED BY THESE DOCUMENTS.
- ALL WORK IS TO BE FULLY COORDINATED WITH ALL OTHER TRADES.
- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND INCLUDING ANY ITEMS NOT INDICATED ON THE DRAWINGS BUT NECESSARY FOR PROPER OPERATION OF MECHANICAL SYSTEM.
- THE SEQUENCE FOR THE INSTALLATION OF ALL WORK SHALL BE COORDINATED BETWEEN ALL CONTRACTORS ON THE PROJECT & IN STRICT ACCORDANCE WITH ARCHITECT/ENGINEER & OWNER'S STIPULATION.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES & SHALL MAKE NECESSARY OFF-SETS & CHANGES IN ELEVATIONS TO ACCOMMODATE OTHER TRADES & THE EXISTING CONDITIONS.
- WHERE THERE IS EVIDENCE THAT WORK OF ONE TRADE WILL INTERFERE WITH WORK OF OTHER TRADES, ALL TRADES SHALL MEET ON JOB SITE TO WORK OUT SPACE CONDITIONS & MAKE SATISFACTORY ADJUSTMENTS TO INSTALLATION OF THE NEW WORK. CONTRACTORS SHALL VERIFY EXACT LOCATIONS OF ALL DEVICES & EQUIPMENT WITH FIELD CONDITIONS, SHOP DRAWINGS, & WORK OF OTHER TRADES PRIOR TO ROUGH IN. EACH CONTRACTOR SHALL BE RESPONSIBLE, AT THEIR OWN EXPENSE, FOR THE REMOVAL & REINSTALLATION OF ANY PART OF THEIR WORK IF SAME WAS INSTALLED WITHOUT CONSULTING WITH OTHER TRADES BEFORE INSTALLING THEIR WORK.
- ALL EQUIPMENT AND MATERIALS SHALL BE U.L. LISTED OR ETL.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND FEES REQUIRED FOR THEIR WORK.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL & STRUCTURAL CONTRACT DRAWINGS (BEFORE SUBMITTING THEIR BIDS) TO FAMILIARIZE THEMSELVES WITH THE EXTENT OF THE GENERAL CONTRACTORS WORK, CEILING HEIGHTS AND CLEARANCE FOR INSTALLING THEIR WORK.
- INCLUDE ALL OVERTIME NECESSARY TO MAINTAIN JOB SCHEDULE UNDER NORMAL CONDITIONS OR DUE TO THIS CONTRACTOR'S NEGLIGENCE OR INABILITY TO PROPERLY STAFF THE PROJECT.
- ALL MAJOR PIECES OF MECHANICAL EQUIPMENT SHALL BE STARTED AND ADJUSTED AND PUT INTO OPERATION BY A FACTORY REPRESENTATIVE OR A FACTORY TRAINED AND AUTHORIZED PERSONNEL. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS.
- PRIOR TO BID, IF THE CONTRACTOR FINDS ANY DISCREPANCIES OR OMISSIONS IN THE PROJECT DOCUMENTS, THE CONTRACTOR IS TO NOTIFY THE ENGINEER IN WRITING & OBTAIN CLARIFICATION. ADDITIONAL COMPENSATION WILL NOT BE GRANTED AFTER AWARD OF CONTRACT FOR ANY ADDITIONAL WORK REQUIRED TO COMPLY WITH THESE DOCUMENTS.
- ALL CHANGE PROPOSAL REQUESTS FOR WORK ADDITIONAL TO THE BASE BID CONTRACT SHALL BE BASED ON MATERIAL, LABOR, OVERHEAD AND PROFIT AS PUBLISHED IN THE LATEST EDITION OF "MEANS MECHANICAL, ELECTRICAL, PLUMBING AND BUILDING CONSTRUCTION COST DATA. "ALL CHANGE REQUESTS MUST BE BROKEN DOWN IN THE FOLLOWING MANNER.

  MATERIAL COST: (I.E. EQUIPMENT, SHEET METAL PER POUND AND PIPING PER LINEAL FOOT/FITTING)

  LABOR COST: (NUMBER OF HOURS AT CURRENT LABOR RATE PER HOUR)
  OVERHEAD & PROFIT: (INDICATING PERCENTAGES)

  TOTAL CHANGE ORDER PRICE: (MATERIAL + LABOR + O&P)

  PRICING FOR ALL ITEMS OF WORK WHICH ARE TO BE CREDITED TO THE PROJECT SHALL BE BROKEN DOWN IN A SIMILAR MANNER TO THE ADDED COSTS.
- THE ASSOCIATED COST FOR DRAFTING CHANGES (INCLUDING THREE DIMENSIONAL MODELING) SHALL NOT EXCEED 2% OF THE COST OF MATERIAL AND LABOR FOR THE CHANGE.
- ALL CUTTING AND PATCHING THAT IS REQUIRED TO COMPLETE THE WORK SHALL BE THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR.
- THE CONTRACTOR IS TO PROVIDE ALL LINTELS, SUPPORT STEEL AND FRAMING THAT IS REQUIRED TO COMPLETE THE WORK.
- CONTRACTOR SHALL PROVIDE SLEEVES IN BEAMS, FLOORS, AND COLUMNS AND WALLS AS SHOWN ON DRAWINGS, AS REQUIRED BY JOB SITE CONDITIONS, AND/OR SPECIFIED, WHEN INSTALLING THEIR WORK. ALL BEAMS AND COLUMNS WHICH ARE REQUIRED TO BE SLEEVED SHALL BE CUT AND REINFORCED AS REQUIRED BY FIELD CONDITIONS AND LOCATIONS AND SIZES SHALL BE CHECKED AND APPROVED BY ARCHITECTS BEFORE CONTRACTOR CUTS ANY STRUCTURAL BUILDING MEMBER.
- PROVIDE ALL COORDINATION AND MISCELLANEOUS STEEL NECESSARY FOR SUITABLE ANCHORAGE OF HVAC ITEMS AND EQUIPMENT.
- CONTRACTOR IS TO INCLUDE ALL REQUIRED PREMIUM TIME IN BASE BID INCLUDE ALL TIME ESCALATION COSTS REQUIRED TO COMPLETE THE WORK.
- PROVIDE FOR SAFETY AND PROTECTION OF CONTRACTOR'S OWN WORK, INCLUDING THE COVERING OF ANY HOLES, SHAFT OPENINGS, ETC., SO AS TO AVOID ANY UNNECESSARY SAFETY HAZARDS AS REQUIRED AND OUTLINED BY OSHA AND ALL APPLICABLE REGULATIONS.
- PROVIDE DUST AND NOISE PROTECTION OF ADJOINING NON-CONSTRUCTION AREAS. PROPERLY PROTECT ALL FLOORS, ROOFS AND THE LIKE.
- MECHANICAL EQUIPMENT & APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR THE LABELED EQUIPMENT. CONNECTIONS TO THE MECHANICAL EQUIPMENT AND APPLIANCES, SUCH AS FUEL SUPPLY, CHIMNEY & DUCTS, SHALL CONFORM TO THE REQUIREMENTS OF THESE DOCUMENTS. MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOBSITE AT ALL TIMES FOR INSPECTION.
- THE DRAWINGS, SCHEDULES, & SPECIFICATIONS HAVE BEEN PREPARED USING ONE MANUFACTURER FOR EACH TYPES OF EQUIPMENT AS THE BASIS FOR DIMENSIONAL & MECHANICAL DESIGN. SUBSTITUTIONS FOR PRODUCTS WILL ONLY BE CONSIDERED IF SUBMITTED ONLY FOR PRODUCTS EQUAL OR BETTER THAN THAT SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL THE DIMENSIONS OF THE EQUIPMENT TO VERIFY THAT IT WILL FIT IN THE SPACE SHOWN ON THE DRAWINGS. MINOR DEVIATIONS IN DIMENSIONS WILL BE PERMITTED. PROVIDED THE RATINGS MEET THOSE SHOWN ON THE DRAWINGS AND EQUIPMENT WILL PHYSICALLY FIT INTO THE SPACE ALLOCATED WITH SUITABLE ACCESS AROUND EQUIPMENT FOR OPERATION & MAINTENANCE ON THE EQUIPMENT.
- THE MECHANICAL EQUIPMENT HAS BEEN COORDINATED WITH THE ELECTRICAL DESIGN DRAWINGS BASED ON THE ELECTRICAL CHARACTERISTICS OF THE EQUIPMENT SPECIFIED. ALL CHANGES AND/OR MODIFICATIONS TO THE ELECTRICAL DESIGN AND INSTALLATION EXPENSE, DUE TO SUBSTITUTIONS OF EQUIPMENT (I.E. AMPERAGE INCREASE) WILL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR.
- CONTRACTOR AND/OR MANUFACTURER SHALL VERIFY THAT THE CHARACTERISTICS OF THE EQUIPMENT THEY SUBMIT FOR REVIEW MEETS THE CAPACITY AND DUTY SPECIFIED.
- WHEN EQUIPMENT IS SUBMITTED FOR REVIEW AND DOES NOT MEET THE PHYSICAL SIZE OR ARRANGEMENT OF THAT SCHEDULED & SPECIFIED, CONTRACTOR SHALL PAY FOR ALL ALTERATIONS REQUIRED TO ACCOMMODATE SUCH EQUIPMENT AT NO ADDITIONAL COST TO OWNER. CONTRACTOR WILL ALSO PAY ALL COSTS FOR ADDITIONAL WORK REQUIRED BY OTHER CONTRACTORS, OWNER, ARCHITECT, OR ENGINEER TO MAKE CHANGE WHICH WOULD ALLOW THE EQUIPMENT TO FIT IN THE SPACE & FUNCTION AS INTENDED.
- COORDINATED SHOP DRAWINGS SHALL BE PROVIDED BY EACH SUBCONTRACTOR AND SHALL CONTAIN A LAYOUT OF ALL DUCTWORK, CONDUIT, PIPING, EQUIPMENT, STRUCTURE, WALLS, CEILING, ETC. AS REQUIRED TO REFLECT FULL COORDINATION ACROSS ALL TRADES AND SHALL BE SUBMITTED FOR REVIEW.
- COORDINATED DRAWINGS SHALL BE SIGNED OFF BY ALL OTHER TRADES PRIOR TO BEING SUBMITTED FOR REVIEW. PLANS SHALL BE PREPARED AT A MINIMUM OF 1/8" SCALE OR THE SCALE OF THE DESIGN DRAWINGS, WHICHEVER IS LARGER. NO EQUIPMENT SHALL BE INSTALLED WITHOUT APPROVED SHOP DRAWINGS.

HVAC NOTES :

- FIBERGLASS DUCT IS NOT PERMISSIBLE.
- ALL DUCT DIMENSIONS ARE INSIDE CLEAR DIMENSIONS AND DO NOT INCLUDE ALLOWANCES FOR DUCT LINER THICKNESS.
- PROVIDE DUCT OFFSETS OVER OR UNDER PIPING OR OBSTRUCTIONS AS REQUIRED. WHERE DUCT OFFSETS ARE REQUIRED, USE 45° SMOOTH RADIUS ELBOWS OR MITERED ELBOWS WITH TURNING VANES WHERE SPACE IS RESTRICTED.
- ALL SUPPLY DUCTS LARGER THAN 10" ON EITHER SIDE WITH RECTANGULAR ELBOWS SHALL HAVE TURNING VANES.
- MAINTAIN DUCTWORK LEVEL AS HIGH AS POSSIBLE UNLESS NOTED OTHERWISE.
- ALL DUCT TRANSITIONS FROM SQUARE TO ROUND SHALL BE SMOOTH AND GRADUAL SQUARE TO ROUND TRANSITIONS. SPIN-IN FITTINGS AT THE END OF CAPPED DUCTS ARE NOT ACCEPTABLE.
- PROVIDE FLEX DUCT CONNECTORS AT DUCT CONNECTIONS TO UNITS HOUSING ROTATING EQUIPMENT.
- FOR RECTANGULAR DUCT, ALL TAKEOFFS FROM THE MAIN SHALL BE 45 TAP COLLARS (OR BOOT).
- DUCT RUNOUTS TO DIFFUSERS OR GRILLES ARE THE SAME SIZE AS NECK UNLESS NOTED OTHERWISE (UON).
- SEE THE REFLECTED CEILING PLAN FOR THE EXACT LOCATION OF DIFFUSERS AND GRILLES WITH RESPECT TO THE LIGHTING LAYOUT.
- FLEXIBLE DUCT RUNOUTS TO ALL DIFFUSERS SHALL BE INSTALLED FREE OF KINKS AND SAGS. THE LENGTH OF FLEXIBLE RUNOUTS TO AIR REGISTERS SHALL NOT EXCEED 5 FEET. SUPPORT FLEXIBLE DUCTS IN ACCORDANCE WITH THE SMACNA STANDARD. (FIG 3-10 AND 3-11).
- PROVIDE ACCESS DOORS IN ALL PLENUMS AND DUCTS AT EACH AIR HANDLING UNIT.
- PROVIDE ACCESS PANELS TO ANY EQUIPMENT REQUIRING ADJUSTMENT OR MAINTENANCE THAT IS LOCATED ABOVE NON-ACCESSIBLE CEILINGS.
- PROVIDE A ACCESS DOOR IN DUCTWORK AT EACH A FIRE DAMPER TO ENSURE EASY ACCESS, BY FACILITIES MAINTENANCE AND LOCAL AUTHORITY APPROVAL, FOR MAINTENANCE INSPECTION AND RESETTING. IN DUCT 10" x 10" (100 SQ. INS.) AND SMALLER PROVIDE A 12" LONG FLANGED AND GASKETED SECTION OF DUCT ADJACENT TO THE FIRE DAMPER.
- PROVIDE A DESCRIPTION OF EVERY ACCESS PANEL TO INDICATE ITS FUNCTION. DESCRIPTION SHALL BE STENCILED WITH MIN. 1/2" HIGH LETTERS.
- REFER TO ARCHITECTURAL FLOOR PLANS AND ELEVATIONS FOR EXACT LOUVER LOCATIONS. REFER TO THE MECHANICAL SCHEDULE FOR SIZES.
- THE METHOD OF FIXING THE UPPER ATTACHMENTS FOR PIPE AND DUCT SUPPORTS SHALL BE TO THE APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD.
- SEAL ALL DUCTWORK WITH NON-HARDENING, WATER RESISTANT, FIRE RESISTIVE DUCT SEALER, COMPATIBLE WITH MATING MATERIALS; UL 181A or 181B TAPES AND MASTICS.
- ALL NEW GALVANIZED DUCTWORK INSTALLED BY THIS CONTRACTOR SHALL BE OF SHEET METAL CONSTRUCTION AND BE FABRICATED IN ACCORDANCE WITH THE MOST RECENT REQUIREMENTS OF SMACNA.
- DUE TO EXTREMELY LIMITED CLEARANCES BETWEEN CEILINGS AND STRUCTURE, FIELD COORDINATION BETWEEN TRADES IS CRITICAL. MECHANICAL CONTRACTOR MAY NEED TO ADJUST DUCT ELEVATIONS AND SIZES TO SUITE CONDITIONS. CHANGES TO DUCT SIZES ARE ALLOWED BASED ON THE FOLLOWING: AREA OF DUCT MUST BE MAINTAINED TO SIZE SHOWN; MINIMUM DUCT SIZE IS 6" INSIDE. CONTRACTOR SHALL KEEP ACCURATE DOCUMENTATION OF ADJUSTMENTS AND PROVIDE AS BUILT DRAWINGS.
- ALL OUTDOOR AIR, RETURN AIR AND EXHAUST AIR MOTORIZED DAMPERS SHALL HAVE AND A MANUALLY OPERATED OPPOSED BLADE TYPE BALANCING DAMPER INSTALLED ADJACENT TO EACH.
- PROVIDE SPRING OR NEOPRENE TYPE VIBRATION ISOLATOR HANGERS FOR ALL SUSPENDED AIR MOVING EQUIPMENT. ISOLATORS SHALL BE SELECTED AND SIZED FOR THE DUTY BY THE INSTALLATION CONTRACTOR.

MECHANICAL SHEET INDEX

SR NO.	SHEET NO.	SHEET NAME	SCALE
1	M0.1	MECHANICAL LEGEND ABBREVIATIONS AND NOTES	N.T.S.
2	M0.2	MECHANICAL SPECIFICATIONS	N.T.S.
3	M1.0	MECHANICAL FLOOR PLAN	1/4" = 1'-0"
4	M1.1	MECHANICAL ROOF PLAN	1/4" = 1'-0"
5	M2.0	MECHANICAL DETAILS	N.T.S.
6	M3.0	MECHANICAL SCHEDULES	N.T.S.

APPLICABLE CODES

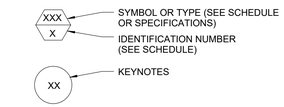
1. 2020 NFPA NATIONAL ELECTRICAL CODE (NEC)
2. 2021 INTERNATIONAL BUILDING CODE(IBC)
3. 2014 ILLINOIS PLUMBING CODE
4. 2018 INTERNATIONAL ENERGY CONSERVATION CODE(IECC)
5. 2021 INTERNATIONAL MECHANICAL CODE(IMC)
6. 2021 INTERNATIONAL FUEL GAS CODE (IFGC)

DUCTWORK / EQUIPMENT / PIPING LEGEND

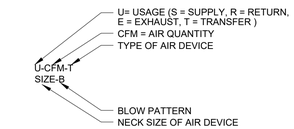
	DEMOLISH LINE (EXISTING DUCTWORK, EQUIPMENT, AND PIPING TO BE REMOVED)
	EXISTING LINE (EXISTING DUCTWORK, EQUIPMENT, AND PIPING TO BE REMAIN)
	NEW LINE (NEW DUCTWORK, EQUIPMENT, AND PIPING TO BE INSTALLED)

NOTES:
ETR- EXISTING TO REMAIN.

EQUIPMENT IDENTIFICATION



AIR DEVICE IDENTIFICATION



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PROJECT NO.	23-007
DRAWN BY	
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SHEET	

MECHANICAL LEGEND ABBREVIATIONS AND NOTES

M0.1

MECHANICAL SPECIFICATION

HVAC NOTES :

- NO HANGERS OR SUPPORT OF ANY TRADE SHALL PENETRATE THRU ANY NEW OR EXISTING DUCTWORK EITHER FOR TEMPORARY OR PERMANENT PURPOSES.
- REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR COORDINATION OF ALL SUPPLY AND RETURN AIR DEVICE LOCATIONS. ALL MEDIUM PRESSURE ROUND DUCT TAKE-OFFS SHALL BE BELLMOUTH, GASKETED FITTINGS, BUCKLEY "AIR-TITE" OR EQUAL.
- DUCTS AND PLENUMS OPERATING AT STATIC PRESSURES IN EXCESS OF 3 INCHES OF WATER GAUGE (W.G.) SHALL BE LEAK TESTED IN ACCORDANCE WITH SMACNA.
- PROVIDE BALANCING DAMPERS (VOLUME DAMPERS) AT POINTS ON RETURN & EXHAUST SYSTEMS WHERE BRANCHES ARE TAKEN FROM LARGER DUCTS AS REQUIRED FOR AIR BALANCING. ALL LOW PRESSURE SUPPLY BRANCH DUCTS SHALL BE PROVIDED WITH "EXTRACTOR" DAMPERS WITH LOCKING RODS. ALL INACCESSIBLE VOLUME DAMPERS INSTALLED ABOVE NON-ACCESSIBLE CEILINGS (I.E. FINISHED GYP BOARD) SHALL BE INSTALLED WITH REMOTE ADJUSTABLE OPERATORS COMPLETE WITH ALL PERTINENT LINKAGES, ETC. TO LOCATIONS AS APPROVED BY THE ARCHITECT.
- CONSTRUCT BENDS AND ELBOWS WITH RADIUS OF NOT LESS THAN 1-1/2 TIMES WIDTH OF DUCT ON CENTERLINE, OR USE SQUARE THROAT ELBOWS WITH TURNING VANES.
- INCREASE DUCT SIZES GRADUALLY NOT EXCEEDING 15 DEGREES DIVERGENCE WHEREVER POSSIBLE. DIVERGENCE UPSTREAM OF EQUIPMENT SHALL NOT EXCEED 30 DEGREES. CONVERGENCE DOWNSTREAM SHALL NOT EXCEED 45 DEGREES.
- ADEQUATE ACCESS IS TO BE PROVIDED TO EASILY CHANGE FILTERS. PROVIDE ONE SPARE SET OF ALL FILTERS.
- ALL KITCHEN EXHAUST HOODS SUPPLIED TO THE PROJECT ARE TO BE RECEIVED & HUNG BY THE CONTRACTOR.
- WHENEVER POSSIBLE, ALL DUCT ELBOWS ON KITCHEN EXHAUST SYSTEMS SHALL BE CONSTRUCTED WITH LONG RADIUS FITTINGS.

INSTALLATION NOTES :

- ALL EQUIPMENT, DUCTWORK, PIPEWORK, ETC SHALL BE SUPPORTED.
- ALL DUCTWORK AND PIPING IS SHOWN SCHEMATICALLY. PROVIDE ALL TRANSITIONS, TURNING VANES, ELBOWS, FITTINGS, ETC. TO ALLOW SMOOTH FLOWS. ALL SPLIT DUCT FITTINGS SHALL TRANSITION TO FULL SIZE OF THE SUM OF BOTH BRANCHES UPSTREAM OF SPLIT.
- MAINTAIN A MINIMUM 6" CLEARANCE BETWEEN DUCTWORK, PIPING, EQUIPMENT, ETC. AND ALL FIRE RATED AND FIRE/SMOKE RATED PARTITIONS, TO ALLOW FOR INSPECTION OF RATED WALLS.
- ALL EQUIPMENT SHALL BE CAPABLE OF FITTING INTO THE SPACES ALLOCATED WHILE MEETING THE MANUFACTURER'S RECOMMENDED ACCESS REQUIREMENTS. REVIEW ALL SPACES WHERE EQUIPMENT IS TO BE INSTALLED PRIOR TO ORDERING OF EQUIPMENT AND NOTIFY THE ENGINEER OF ANY INADEQUATE CLEARANCES OR CONDITIONS THAT WILL PREVENT THE PROPER INSTALLATION, MAINTENANCE, AND OPERATION OF THE EQUIPMENT.
- SLEEVE AND SEAL ALL PIPING PENETRATIONS THROUGH BUILDING PARTITIONS.
- VERIFY AND COORDINATE ALL ROOF, WALL, AND FLOOR PENETRATIONS WITH THE STRUCTURAL AND ARCHITECTURAL DRAWINGS PRIOR TO THE START OF CONSTRUCTION.
- PROVIDE ACCESS PANELS TO ALL CONCEALED VALVES, DAMPERS, AND EQUIPMENT. PANELS SHALL BE MILCOR, ELMDOR, OR EQUAL. COORDINATE THE LOCATION OF ACCESS PANELS TO ENSURE THAT THE EQUIPMENT CAN BE MAINTAINED ADEQUATELY.
- INSTALL CONDENSATE DRAINS AT A MINIMUM SLOPE OF 1/4" PER FOOT. INDIVIDUAL UNIT CONDENSATE DRAINS SHALL BE 3/4" DIAMETER LINES AND 1" FOR COMBINED LINES UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL PROVIDE ALL CONTROL COMPONENTS AND ACCESSORIES INCLUDING EQUIPMENT MOTOR STARTERS, THERMOSTATS, SENSORS, WIRING, BOXES, ETC.
- INSULATE ALL SEWER PIPING RECEIVING AIR CONDITIONING CONDENSATE DRAINS, OR ANY OTHER COLD LIQUID WHICH MAY CREATE CONDENSATION, FROM POINT OF CONNECTION TO TOP OF CONCRETE SLAB-ON-GRADE.
- MOUNT ALL ROOM THERMOSTATS AT 4'-0" ABOVE FINISHED FLOOR UNLESS OTHERWISE INDICATED.
- ALL HVAC SYSTEM THERMOSTATS IN UNITS SHALL BE EQUIPPED WITH ENERGY STAR SEVEN DAY PROGRAMMABLE THERMOSTATS WITH NIGHT SETBACK.
- PRIOR TO PERMIT BEING FINALED, A COMPLETE REPORT OF THE TESTING AND ADJUSTING SHALL BE PROVIDE TO THE OWNER/OWNER'S REPRESENTATIVE AND TO THE INSPECTOR.
- INSTALLING CONTRACTOR SHALL INSTALL HILTI FIRE CAULK ON ALL DUCT AND PIPE PENETRATION GOING THROUGH FIRE RATED ASSEMBLIES. INSTALLATION SHALL BE PER HILTI DETAIL.
- PENETRATION IN FIRE-RESISTANCE-RATED WALLS/PARTITIONS OR HORIZONTAL ASSEMBLIES: PENETRATION FIRESTOPPING SYSTEMS WITH RATINGS DETERMINED PER ASTM E 814 OR UL 1479, BASED ON TESTING AT A POSITIVE PRESSURE DIFFERENTIAL OF 0.01-INCH WG (2.49 PA). FIRE RATING: NOT LESS THAN THE FIRE-RESISTANCE RATING OF CONSTRUCTIONS PENETRATED.
- PENETRATIONS IN SMOKE BARRIERS: PENETRATION FIRESTOPPING SYSTEMS WITH RATINGS DETERMINED PER UL 1479, BASED ON TESTING AT A POSITIVE PRESSURE DIFFERENTIAL OF 0.30-INCH WG (74.7 PA).
- ACCESSORIES: PROVIDE COMPONENTS FOR EACH PENETRATION FIRESTOPPING SYSTEM THAT ARE NEEDED TO INSTALL FILL MATERIALS AND TO MAINTAIN RATINGS REQUIRED. USE ONLY THOSE COMPONENTS SPECIFIED BY PENETRATION FIRESTOPPING SYSTEM MANUFACTURER AND APPROVED BY QUALIFIED TESTING AND INSPECTING AGENCY FOR CONDITIONS INDICATED.

TESTING AND BALANCING :

- TEST AND BALANCE OF AIR AND HYDRONIC SYSTEM SHALL BE PERFORMED BY A THIRD-PARTY INDEPENDENT CONTRACTOR CERTIFIED BY EITHER AABC (THE ASSOCIATED AIR BALANCE COUNCIL) OR NEBB (NATIONAL ENVIRONMENTAL BALANCING BUREAU). BALANCING AND TESTING SHALL BE PERFORMED BY AABC OR NEBB CERTIFIED TECHNICIANS.
- PERFORM TESTING AND BALANCING PROCEDURES ON EACH SYSTEM ACCORDING TO THE PROCEDURES CONTAINED IN AABC'S OR NEBB'S STANDARDS FOR TOTAL SYSTEM BALANCE. SUBMIT REPORT IN THE FORMAT PUBLISHED BY AABC OR NEBB.
- MARK EQUIPMENT AND BALANCING DEVICES, INCLUDING DAMPER-CONTROL POSITIONS, VALVE POSITION INDICATORS, FAN-SPEED-CONTROL LEVERS, AND SIMILAR CONTROLS AND DEVICES, WITH PAINT OR OTHER SUITABLE, PERMANENT IDENTIFICATION MATERIAL TO SHOW FINAL SETTINGS.
- TAKE AND REPORT TESTING AND BALANCING MEASUREMENTS IN INCH-POUND (IP) UNITS.

DUCTWORK INSULATION :

A. CONCEALED, SUPPLY-AIR, RETURN-AIR, EXHAUST-AIR, DUCT AND PLENUM INSULATION: MINERAL-FIBER BLANKET 1-1/2 INCHES (R-6) THICK WITH FSK JACKET.

B. CONCEALED, TYPE I, COMMERCIAL, KITCHEN HOOD EXHAUST DUCT AND PLENUM INSULATION: FIRE-RATED BLANKET; THICKNESS AS REQUIRED TO ACHIEVE 2-HOUR FIRE RATING.

C. EXPOSED, SUPPLY-AIR, RETURN-AIR, EXHAUST-AIR, DUCT AND PLENUM INSULATION: MINERAL-FIBER BOARD 3 INCHES (R-12) THICK WITH FSK JACKET.

D. EXPOSED SUPPLY-AIR DUCT IN CONDITIONED SPACE SHALL NOT BE INSULATED.

E. EXPOSED, TYPE I, COMMERCIAL, KITCHEN HOOD EXHAUST DUCT AND PLENUM INSULATION: FIRE-RATED BOARD; THICKNESS AS REQUIRED TO ACHIEVE 2-HOUR FIRE RATING.

F. EXPOSED, OUTDOOR-AIR, DUCT AND PLENUM INSULATION: MINERAL-FIBER BOARD 3 INCHES (R-12) THICK WITH WEATHERPROOF ALUMINUM JACKET W/ VAPOR BARRIER (3M VENTURE CLAD 1577 CW OR EQUAL).

G. SURFACE-BURNING CHARACTERISTICS: FOR INSULATION AND RELATED MATERIALS, AS DETERMINED BY TESTING IDENTICAL PRODUCTS ACCORDING TO ASTM E 84, BY A TESTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. FACTORY LABEL INSULATION AND JACKET MATERIALS AND ADHESIVE, MASTIC, TAPES, AND CEMENT MATERIAL CONTAINERS, WITH APPROPRIATE MARKINGS OF APPLICABLE TESTING AGENCY.

1. INSULATION INSTALLED INDOORS: FLAME-SPREAD INDEX OF 25 OR LESS, AND SMOKE-DEVELOPED INDEX OF 50 OR LESS.
2. INSULATION INSTALLED OUTDOORS: FLAME-SPREAD INDEX OF 75 OR LESS, AND SMOKE-DEVELOPED INDEX OF 150 OR LESS.
3. NFPA 90A AND 90B •CALIFORNIA INSULATION QUALITY STANDARDS CA-T052.

H. FLEXIBLE DUCT: PROVIDE FACTORY ASSEMBLED CLASS 1 AIR DUCT (UL 181) WITH 1" THICK 1 PCF FIBERGLASS INSULATION AND REINFORCED OUTER PROTECTIVE COVER/VAPOR BARRIER. FLEXIBLE DUCT SHALL MEET NFPA 90A WITH FLAME SPREAD UNDER 25, SMOKE DEVELOPED UNDER 50, AND SHALL BE RATED FOR MINIMUM 2" W.G. PRESSURE AND 0 TO 250ºF TEMPERATURE. PROVIDE SCREW-OPERATED METAL ADJUSTABLE CLAMPING DEVICES. USE TWIST-LOCK TAP COLLARS AT CONNECTIONS INTO SHEET METAL DUCTWORK. MAXIMUM EXTENDED LENGTH OF FLEXIBLE DUCT SHALL CONFORM TO THE APPLICABLE CODE."

I. ITEMS NOT INSULATED:

1. METAL DUCTS WITH DUCT LINER OF SUFFICIENT THICKNESS TO COMPLY WITH ENERGY CODE AND ASHRAE/IESNA 90.1.
2. FACTORY-INSULATED FLEXIBLE DUCTS.
3. FACTORY-INSULATED PLENUMS AND CASINGS.
4. FLEXIBLE CONNECTORS.
5. VIBRATION-CONTROL DEVICES.
6. FACTORY-INSULATED ACCESS PANELS AND DOORS.

REFRIGERATION PIPING :

A. REFRIGERANT PIPING SHALL BE COPPER TUBE ASTM B819, TYPE K OR ASTM B 280, TYPE ACR. PIPING SHALL BE RATED FOR LINE TEST PRESSURE FOR THE REFRIGERANT USED ON THE PROJECT. ALL COPPER PIPING SHALL BE BRAZED USING AWS A5.8 FILLER MATERIAL.

IECC GENERAL NOTES :

1. 2018 IECC, ALL EQUIPMENT AND SYSTEMS MUST BE SIZED TO BE NO GREATER THAN NEEDED TO MEET CALCULATED LOADS.
2. 2018 IECC CLIMATE ZONE-5A FOR THE PROJECT LOCATION: ILLINOIS.
3. EACH HEATING OR COOLING SYSTEM SERVING A SINGLE ZONE MUST HAVE ITS OWN TEMPERATURE CONTROL DEVICE.
4. DESIGN HEATING AND COOING LOADS FOR THE BUILDING MUST BE DETERMINED USING PROCEDURES IN THE ASHRAE HANDBOOK OF FUNDAMENTALS OR AN APPROVED EQUIVALENT CALCULATION PROCEDURE.
5. THE SYSTEM OR ZONE CONTROL MUST BE A PROGRAMMABLE THERMOSTAT OR OTHER AUTOMATIC CONTROL MEETING THE FOLLOWING CRITERIA:
   - CAPABLE OF SETTING BACK TEMPERATURE TO 55°F DURING HEATING AND SETTING UP TO 85°F DURING COOLING.
   - CAPABLE OF AUTOMATICALLY SETTING BACK OR SHUTTING DOWN SYSTEMS DURING UNOCCUPIED HOURS USING 7 DIFFERENT DAY SCHEDULES.
   - HAVE AN ACCESSIBLE 2-HOUR OCCUPANT OVERRIDE.
   - HAVE A BATTERY BACKUP CAPABLE OF MAINTAINING PROGRAMMED SETTINGS FOR AT LEAST 10 HOURS WITHOUT POWER.
6. THE SYSTEM MUST SUPPLY OUTSIDE VENTILATION AR AS REQUIRED BY THE BUILDING CODE. IF THE VENTILATION SYSTEM IS DESIGNED TO SUPPLY OUTDOOR-AIR QUANTITIES EXCEEDING THE MINIMUM REQUIRED LEVELS. THE SYSTEM MUST BE CAPABLE OF REDUCING OUTDOOR-AIR FLOW TO THE MINIMUM REQUIRED LEVELS.
7. AIR DUCTS MUST BE INSULATED TO THE FOLLOWING LEVELS:
   - SUPPLY AND RETURN AIR DUCTS FOR CONDITIONED AIR LOCATED IN UNCONDITIONED SPACES (SPACES NEITHER HEATED NOR COOLED) MUST BE INSULATED WITH A MINIMUM OF R-5 OR R-6. UNCONDITIONED SPACES INCLUDE ATTICS, CRAWL SPACES. UNHEATED BASEMENTS, AND UNHEATED GARAGES.
   - SUPPLY AND RETURN MR DUCTS AND PLENUMS MUST BE INSULATED TO A MINIMUM OF R-8 WHEN LOCATED OUTSIDE THE BUILDING.
   - WHEN DUCTS ARE LOCATED WITHIN EXTERIOR COMPONENTS (E.G., FLOORS OR ROOFS), MINIMUM R-8 INSULATION IS REQUIRED ONLY BETWEEN THE DUCT AND THE BUILDING EXTERIOR.

   EXCEPTION(S):
   - DUCT INSULATION IS NOT REQUIRED ON DUCTS LOCATED WITHIN THE EQUIPMENT.
   - DUCT INSULATION IS NOT REQUIRED WHEN THE DESIGN TEMPERATURE DIFFERENCE BETWEEN THE INTERIOR AND EXTERIOR OF THE DUCT OR PLENUM DOES NOT EXCEED 15°F.
8. MECHANICAL FASTENERS AND SEALS, MASTICS, OR GASKETS MUST BE USED WHEN CONNECTING DUCTS TO FANS AND OTHER AIR DISTRIBUTION EQUIPMENT. INCLUDING MULTIPLE-ZONE TERMINAL UNITS.
9. ALL JOINTS, LONGITUDINAL AND TRANSVERSE SEAMS, AND CONNECTIONS IN DUCTWORK MUST BE SECURELY SEALED USING WELDMENTS; MECHANICAL FASTENERS WITH SEALS, GASKETS, OR MASTICS: MESH AND MASTIC SEALING SYSTEMS; OR TAPES. TAPES AND MASTICS MUST BE LISTED AND LABELED IN ACCORDANCE WITH UL 181A AND SHALL BE MARKED '181A-P' FOR PRESSURE SENSITIVE TAPE, '181A-M' FOR MASTIC OR '181A-H' FOR HEAT-SENSITIVE TAPE. TAPES AND MASTICS USED TO SEAL FLEXIBLE AIR DUCTS AND FLEXIBLE AIR CONNECTORS SHALL COMPLY WITH UL 181B AND SHALL BE MARKED '1810-FX' FOR PRESSURE-SENSITIVE TAPE OR '1818-M' FOR MASTIC. UNLISTED DUCT TAPE IS NOT PERMITTED AS A SEALANT ON ANY METAL DUCTS.

   EXCEPTION(S):
   - CONTINUOUSLY WELDED AND LOCKING-TYPE LONGITUDINAL JOINTS AND SEAMS ON DUCTS OPERATING AT STATIC PRESSURES LESS THAN 2 INCHES W.G. PRESSURE CLASSIFICATION.
10. OPERATION AND MAINTENANCE DOCUMENTATION MUST BE PROVIDED TO THE OWNER THAT INCLUDES AT LEAST THE FOLLOWING INFORMATION:
    - EQUIPMENT CAPACITY (INPUT AND OUTPUT) AND REQUIRED MAINTENANCE ACTIONS.
    - EQUIPMENT OPERATION AND MAINTENANCE MANUALS.
    - HVAC SYSTEM CONTROL MAINTENANCE AND CALIBRATION INFORMATION, INCLUDING WIRING DIAGRAMS, SCHEMATICS, AND CONTROL SEQUENCE.
    - DESCRIPTIONS; DESIRED OR FIELD-DETERMINED SET POINTS MUST BE PERMANENTLY RECORDED ON CONTROL DRAYANGS, AT CONTROL DEVICES, OR, FOR DIGITAL.
    - CONTROL SYSTEMS, IN PROGRAMMING COMMENTS.
    - COMPLETE NARRATIVE OF HOW EACH SYSTEM IS INTENDED TO OPERATE.
11. THERMOSTATS CONTROLLING BOTH HEATING AND COOLING MUST BE CAPABLE OF MAINTAINING A 5°F DEADBAND (A RANGE OF TEMPERATURES WHERE NO HEATING OR COOLING IS PROVIDED).

    EXCEPTION(S):
    - DEADBAND CAPACITY IS NOT REQUIRED IF THE THERMOSTAT DOES NOT HAVE AUTOMATIC CHANGEOVER CAPABILITY BETWEEN HEATING AND COOLING.
    - SPECIAL OCCUPANCY OR SPECIAL APPLICATIONS WHERE WIDE TEMPERATURE RANGES ARE NOT ACCEPTABLE AND ARE APPROVED BY THE AUTHORITY HAVING JURISDICTION.
12. BALANCING DEVICES PROVIDED IN ACCORDANCE WITH BUILDING CODE. ALL AIR BALANCING & TESTING SHALL BE DONE BY AN INDEPENDENT CONTRACTOR.

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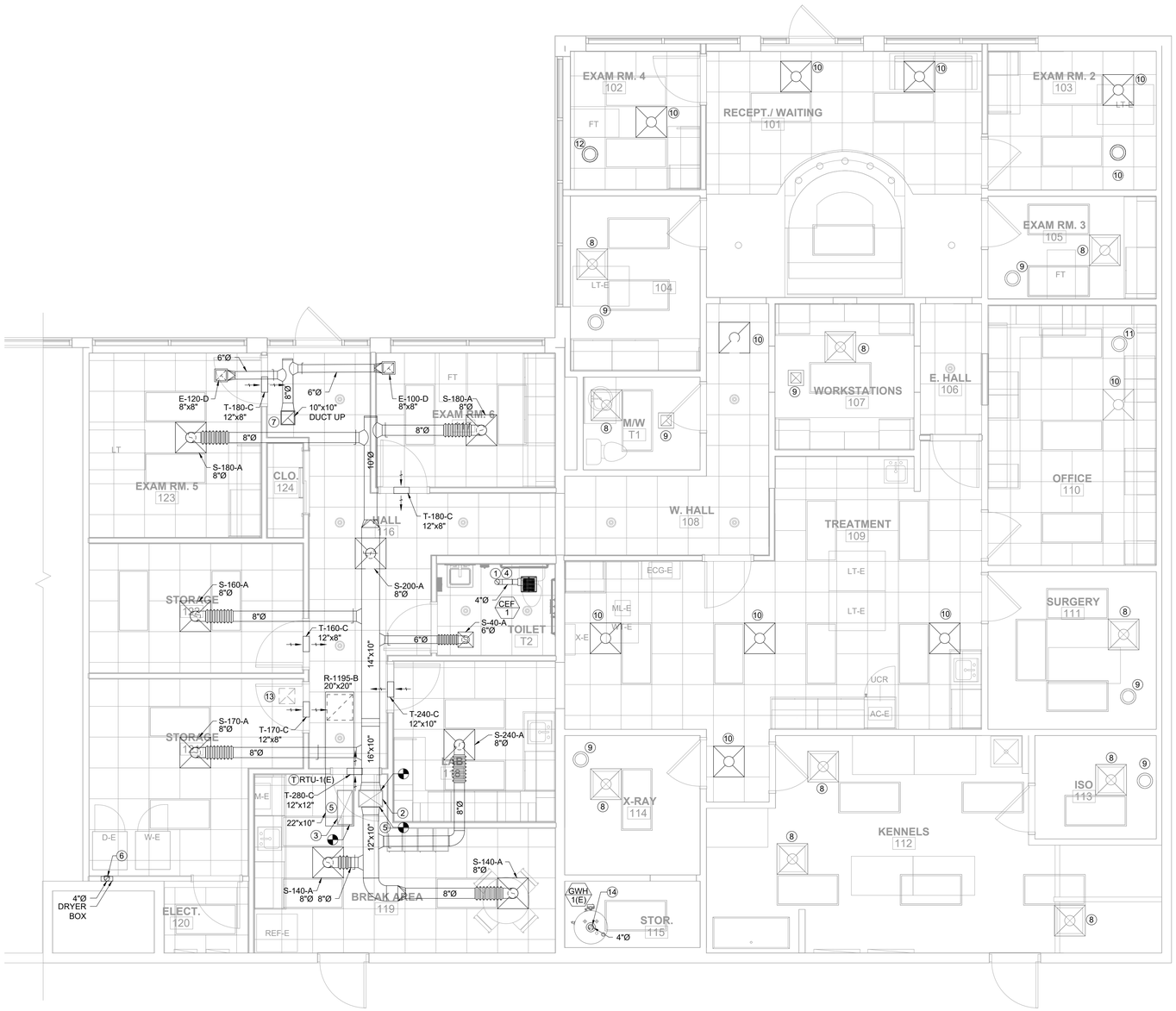
MECHANICAL SPECIFICATIONS

M0.2



1 M1.0 MECHANICAL FLOOR PLAN

SCALE: 1/4" = 1'-0"

NORTH

HVAC GENERAL NOTES

1. ALL DUCTWORK SHALL CONFORM TO SMACNA STANDARDS.ALL DUCTWORK SIZES ARE NET INSIDE DIMENSIONS.
2. MECHANICAL CONTRACTOR TO COORDINATE DUCT LAYOUT AND DIMENSIONS WITH FIELD VERIFIED.
3. ADJUST CEILING DIFFUSER TO FIT AS PER FIELD VERIFIED.
4. DIFFUSER TO BE INSTALLED WITH SYMMETRY IN ACCORDANCE WITH LIGHTING LAYOUT DESIGN. DIFFUSER SHALL NOT BE OFF-CENTERED OR MISALIGNED.
5. COORDINATE WITH GENERAL CONTRACTOR FOR ALL CONDENSATE DRAIN LINE LOCATION.
6. CONCEALED DUCT WORK SHALL BE INSULATED WITH R-6 FIBERGLASS DUCT WRAP WITH FSK JACKET.
7. ALL DUCTWORK SHOULD BE HARD DUCT; NO FLEX DUCT SHOULD BE EXTENDED MORE THAN 5'-0" IN LENGTH.

HVAC FLOOR PLAN NOTES

1. 4"Ø EXHAUST DUCT THROUGH ROOF WITH MESH SCREEN (MANUFACTURER #BROAN, MODEL NO:636 OR EQUIVALENT).
2. EXISTING SUPPLY AIR DUCT UP TO RTU-1(E) SHALL REMAIN AS IS.
3. EXISTING RETURN AIR DUCT UP TO RTU-1(E) SHALL REMAIN AS IS.
4. FIELD COORDINATE THE EXACT LOCATION OF HVAC EQUIPMENT. MAINTAIN CODE REQUIRED, MANUFACTURER RECOMMENDED CLEARANCES AT HVAC EQUIPMENT.
5. EXISTING DUCTWORK TO ROOF TOP UNIT. CONNECT NEW DISTRIBUTION DUCTWORK TO EXISTING.
6. 4"Ø DRYER EXHAUST UP TO ROOF HOOD.
7. 10"x10" EXHAUST DUCT UP TO ROOF EXHAUST FAN.
8. EXISTING SUPPLY AIR TERMINAL REMAIN AS IS.
9. EXISTING EXHAUST AIR TERMINAL REMAIN AS IS.
10. REMOVE AND CLEAN THE EXISTING DIFFUSER/GRILLE AND RELOCATE. CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION.
11. REMOVE EXISTING EXHAUST GRILLE AND BRANCH EXHAUST DUCT AND CAP AT MAIN.CONTRACTOR FIELD VERIFY.
12. PROVIDE NEW EXHAUST GRILLE AND NEW DUCT. CONNECT NEW DUCT TO EXISTING EXHAUST MAIN.CONTRACTOR FIELD VERIFY THE EXACT LOCATION.
13. CAP THE EXISTING EXHAUST DUCT PENETRATING THE ROOF.CONTRACTOR FIELD VERIFY EXACT LOCATION OF DUCT PENETRATION.
14. 4"Ø TYPE B DOUBLE WALL THROUGH VENT PIPE UPTO ROOF HOOD. FOR MORE DETAIL,REFER TO SHEET M2.0 DETAIL-8.

FIELD COORDINATE WITH THE STRUCTURE ABOVE, THE ELEVATION, ROUTING (WHERE APPLICABLE) AND POSITIONING OF DUCTWORK, DIFFUSER AND ALL HVAC EQUIPMENT.

COORDINATE WITH GENERAL CONTRACTOR TO PROVIDE CEILING ACCESS PANELS TO ALL HVAC EQUIPMENT INSTALLED ABOVE INACCESSIBLE CEILINGS.

EXHAUST AND INTAKE VENTING MATERIAL, SIZING & TERMINATION TO BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION BASED ON EXISTING CONDITIONS.

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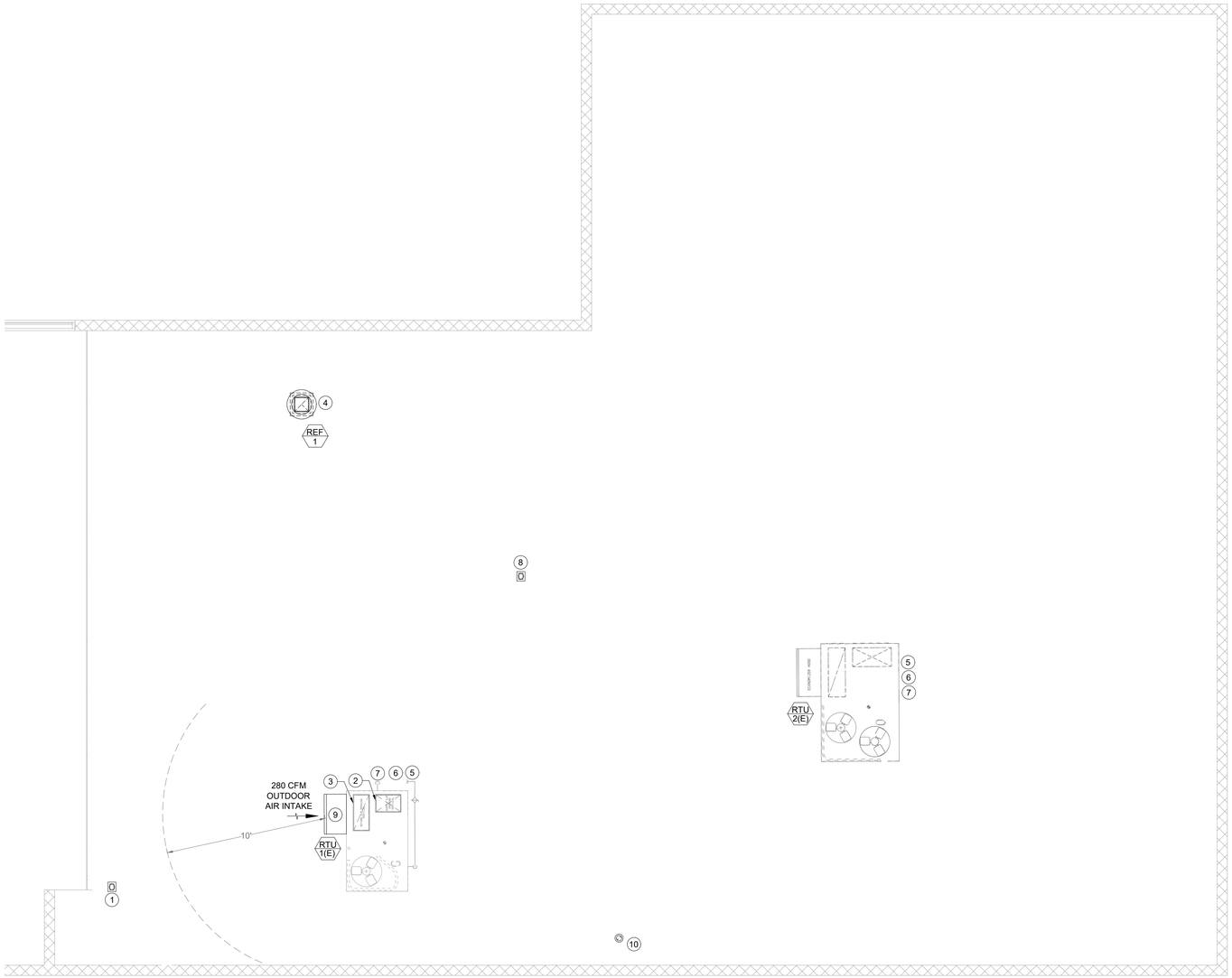
MECHANICAL FLOOR PLAN

M1.0

HVAC FLOOR PLAN NOTES

1. 4"Ø DRYER EXHAUST ROOF CAP. (MANUFACTURER #DRYER JACK MODEL NO:DJK486 OR EQUIVALENT).
2. EXISTING SUPPLY AIR DUCT DN. SHALL REMAIN AS IS.
3. EXISTING RETURN AIR DUCT DN. SHALL REMAIN AS IS.
4. FIELD COORDINATE THE EXACT LOCATION OF EQUIPMENT. MAINTAIN CODE REQUIRED, MANUFACTURER RECOMMENDED CLEARANCES.
5. EXISTING GAS LINE TO RTU SHALL REMAIN AS IS.
6. EXISTING RTU.
7. CONDENSATE DRAIN PIPE CONNECTED TO RTU REMAIN AS IS.
8. 4"Ø EXHAUST DUCT ROOF CAP WITH MESH SCREEN (MANUFACTURER #BROAN, MODEL NO:636 OR EQUIVALENT).
9. PROVIDE NEW VENTILATION AIR HOOD ON EXISTING CARRIER RTU-1(E). INSTALL AND BALANCE TO VENTILATION AIRFLOW SHOW ON SCHEDULE.
10. EXISTING WATER HEATER ROOF HOOD.FOR MORE DETAIL,REFER TO SHEET M2.0 DETAIL-8.



1 M1.1 MECHANICAL ROOF PLAN
SCALE: 1/4" = 1'-0"

NORTH

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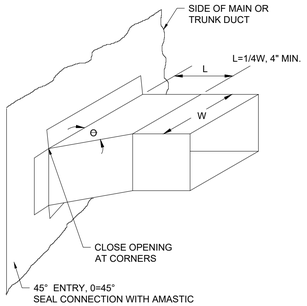
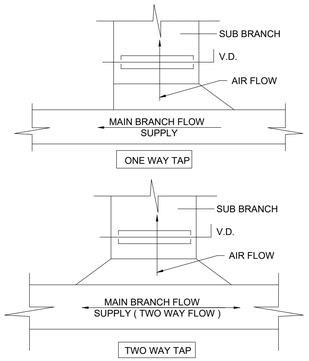
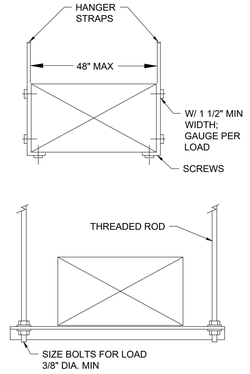
MECHANICAL ROOF PLAN

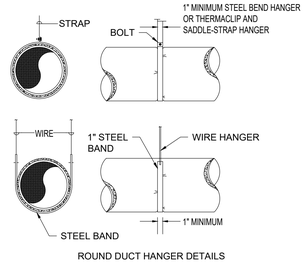
M1.1





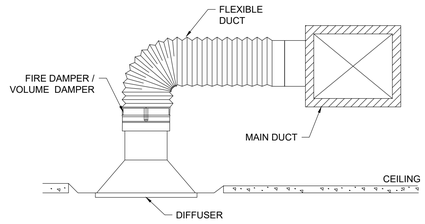
1 TYPICAL BRANCH CONNECTION DETAILS
SCALE: N.T.S



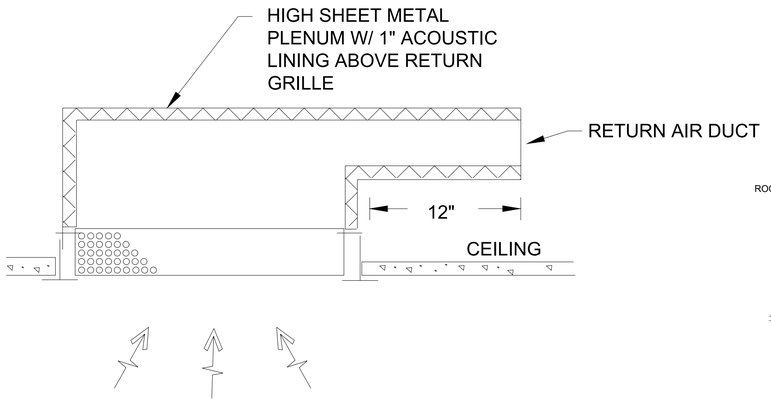


ROUND DUCT HANGER DETAILS

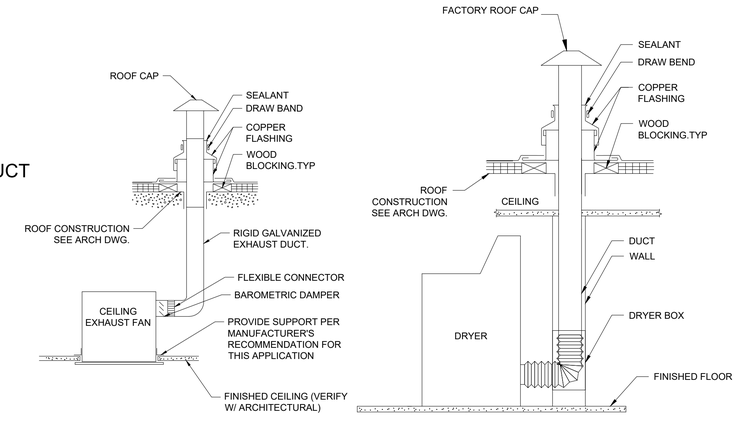
2 HANGER SUPPORT DETAIL
SCALE: N.T.S



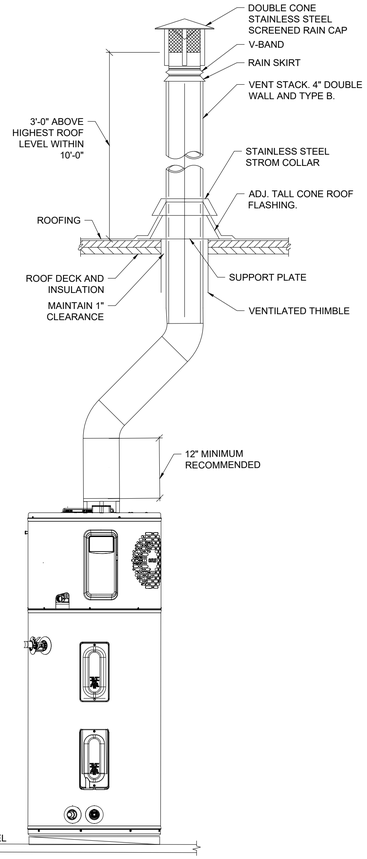
3 CEILING DIFFUSER BRANCH DUCT DETAIL
SCALE: N.T.S.



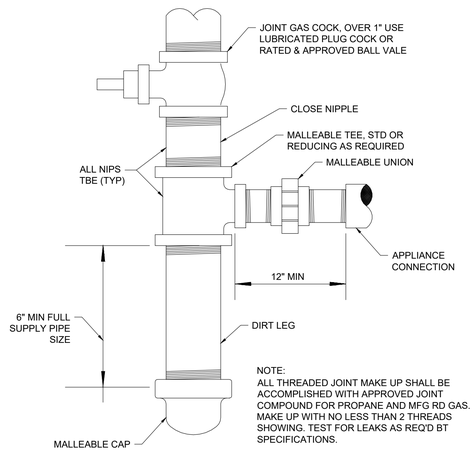
4 RETURN AIR GRILLE DETAIL
SCALE: N.T.S



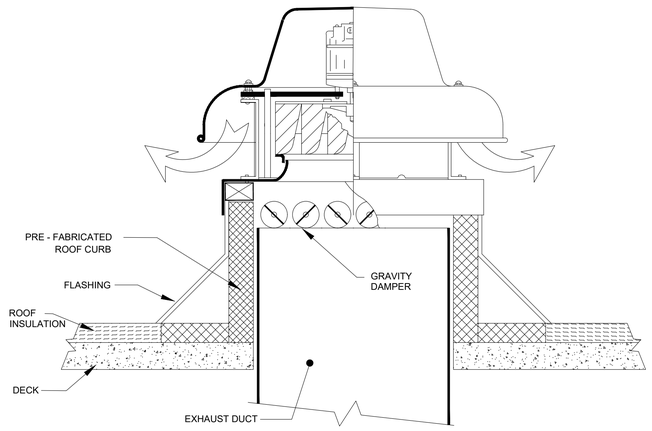
5 TOILET AND DRYER ROOF EXHAUST DETAIL
SCALE: N.T.S



8 FLUE STACK THRU ROOF DETAIL
SCALE: N.T.S



6 GAS CONNECTION DETAIL
SCALE: N.T.S



7 ROOF EXHAUST FAN DETAIL
SCALE: N.T.S.

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STATE OF ILLINOIS

EXP: 12/21/2023

FOX ANIMAL HOSPITAL
2107 CRAWFORD AVE, EVANSTON, IL 60201

Schematic Design:	
Design Development	
Bidding:	
Permit:	
ISSUE DATE:	**07/25/2023**

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No.	Date	Description
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PROJECT NO.	23-007
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MECHANICAL DETAILS

M2.0

EXISTING ROOFTOP UNIT SCHEDULE

TAG	SERVES	LOCATION	NOM. TONS	TOTAL CFM	MIN O.A. CFM	FAN MOTOR		COOLING					HEATING INPUT FIRST STAGE (MBH)	HEATING INPUT SECOND STAGE (MBH)	NO. STAGES	ELECTRIC					DISCONNECT IN BUILT	EFFICIENCY			POWER EXHAUST	OPER. WEIGHT (LBS)	MANUFACTURER & MODEL NO.
						BHP	E.S.P. IN. W.C.	TOTAL MBH	SENSIBLE MBH	NO. STAGES	EAT	LAT				MCA	MOCP	VOLT	PH	HZ		IEER/SEER @ARI	EER @ARI	AFUE			
RTU-1(E)	SEE PLAN	ROOF	4	1,450	205	-	-	-	-	-	-	-	82	115	2	22.5	30	208/230	3	60	-	13.0	11.05	0.81	-	540	CARRIER-48HJE005---551--

TOILET EXHAUST FAN SCHEDULE

TAG	QTY.	LOCATION	FAN DATA				MOTOR TYPE	ACCESSORIES			ELECTRICAL DATA				DIMENSION (IN.)			WEIGHT (LBS)	SOUND (SONES)	MODEL	BASIS OF DESIGN
			TYPE	AIR FLOW (CFM)	E.S.P. (IN W.C.)	DRIVE TYPE		FAN HOUSING	GRILLE	ROOF CAP	FLA (A)	V	PH.	Hz.	WIDTH	DEPTH	HEIGHT				
CEF-1	1	REFER TO PLAN	CEILING MOUNTED	50	0.1	DIRECT DRIVE	PERMANENTLY LUBRICATED BRUSHLESS DC MOTOR	RUGGED 26 G GSS CONSTRUCTION	12" x 12" POLYMERIC CONSTRUCTION	BROAN MODEL NO. 636	0.3	115	1	60	11 1/2"	12"	5 3/4"	9	0.5	AE50110DC	BROAN

NOTES:
1. TO AVOID MOTOR BEARING DAMAGE AND NOISY OR UNBALANCED IMPELLERS KEEP DRYWALL SPRAY, CONSTRUCTION DUST, ETC. OFF POWER SOURCE OF THE UNIT.
2. BLOWER ASSEMBLY SHALL HAVE A REMOVABLE, DYNAMICALLY BALANCED CENTRIFUGAL BLOWER WHEEL FOR QUIET AND EFFICIENT PERFORMANCE.
3. FAN SHALL HAVE A PERMANENTLY LUBRICATED MOTOR DESIGNED FOR CONTINUOUS OPERATION.
4. FAN HOUSING SHALL BE MADE OF CORROSION-RESISTANT GALVANIZED STEEL WITH FOUR-POINT MOUNTING CAPACITY.
5. FAN SHALL INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION.
6. FAN SHALL BE SUPPLIED WITH A NON-METALLIC DUCT CONNECTOR AND BACK DRAFT DAMPER.

VENTILATION SCHEDULE - 2021 INTERNATIONAL MECHANICAL CODE

SR.NO	NAME	OCCUPANCY CLASSIFICATION	FLOOR AREA (S.F.)	OCCUPANTS PER 1000 SQ.FT.	OCCUPANTS (ACTUAL) P_z	REQUIRED OUTSIDE AIR EXHAUST						ACTUAL ROOM VENTILATION				EQUIPMENT
						CFM/ PERSON R_p	CFM/SQ.FT. R_a	TOTAL O.A. V_{bz}	ZONE AIR DISTRIBUTION EFFECTIVENESS E_z	ZONE OUTDOOR AIRFLOW V_{oz}	EXHAUST CFM	TOTAL	% O.A.	TOTAL O.A.	EXHAUST CFM	
	ZONE - 1															
1	BREAK ROOM	DINNING ROOM	205	5	5	5.0	0.06	37	0.8	47	-	280	20	56		RTU-1(E)
2	HALL	CORRIDORS	240	0	0	0.0	0.06	14	0.8	18	-	200	20	40		
3	EXAM RM. - 6	PET SHOPS (ANIMAL AREAS)	105	10	1	7.5	0.18	26	0.8	33	95	180	20	36	100	RTU-1(E),REF-1
4	EXAM RM. - 5	PET SHOPS (ANIMAL AREAS)	120	10	1	7.5	0.18	29	0.8	36	108	180	20	36	120	
5	STORAGE-1	STORAGE ROOM	165	0	0	0.0	0.12	20	0.8	25	-	170	20	34		RTU-1(E)
6	STORAGE-2	STORAGE ROOM	140	0	0	0.0	0.12	17	0.8	21	-	160	20	30		
7	LAB	PHARMACY (PREP AREA)	120	10	1	5.0	0.18	27	0.8	33	-	240	20	48		
8	TOILET	TOILET	50	0	0	0.0	0	0	0.8	0	50	40	0	0	50	RTU-1(E),CEF-1
	TOTAL		1145	35	8			170		213	253	1450		280	270	

NOTES:
1.) COORDINATED WITH TABLE 403.3.1.1

ROOF EXHAUST FAN SCHEDULE

SYMBOL	TYPE	LOCATION	QTY.	FAN DATA						WEIGHT (LBS)	MODEL	BASIS OF DESIGN
				AIR FLOW	E.S.P.	ELECTRICAL						
				CFM	IN H2O	MCA	MOCP	BHP	V./PH/HZ			
REF-1	DIRECT DRIVEN	SEE PLAN	1	220	0.1	1.9	15	1/10	120/1/60	29	G-090-VG	GREENHECK

NOTES:
1. INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION.
2. USE INSULATED DUCT IN UNCONDITIONED SPACES.

AIR DEVICE SCHEDULE

				NOMENCLATURE	U = USAGE (S = SUPPLY, R = RETURN, E = EXHAUST, T = TRANSFER			EXAMPLE
				U-CFM-T	CFM = AIR QUANITY		T = TYPE OF AIR DEVICE	S-150-A
				SIZE	SIZE = NECK SIZE OF AIR DEVICE			8"Ø
TYPE	USAGE	SERVING	FACE SIZE	NECK SIZE	MATERIAL	DESCRIPTION	MANUFACTURER	MODEL NO.	REMARKS
A	SUPPLY	REFER TO FLOOR PLAN	12" X 12" 12" X 12" 12" X 12"	6"ø 8"ø 10"ø	STEEL	3-CONE DESIGN, 360° AIR PATTERN	TITUS	OMNI	1,2,3,4,6
B	RETURN	REFER TO FLOOR PLAN	20" X 20"	-	STEEL	35º DEFLECTION GRILLE	TITUS	350 RL	1,2,3,4,5
C	TRANSFER	REFER TO FLOOR PLAN	SEE PLAN	-	STEEL	DOOR RETURN GRILLES WITH SIGHT PROOF BLADES	TITUS	23 RL	1,2,3,4
D	EXHAUST	REFER TO FLOOR PLAN	8"x8"	-	ALUMINIUM	FILTER GRILLE, 35º DEFLECTION GRILLE,3/4" BLADE SPACING	TITUS	350 FLF1	1,2,3,4

NOTES:
1. CUSTOM FINISH & COLOR AS SELECTED BY ARCHITECT/OWNER.
2. PROVIDE AN OPPOSED BLADE DAMPER/MULTI-SHUTTER DAMPER.
3. PROVIDE FOAM GASKET SEAL.
4. COORDINATE FRAME TYPE WITH REFLECTED CEILING PLAN & ARCHITECT.
5. INSULATED PLENUM/BACK PAN.
6. ARCHITECT/OWNER SHALL SELECT A SUPPLY DIFFUSER BASED ON THE DRYWALL CEILING.

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MECHANICAL SCHEDULES

M3.0

PLUMBING LEGEND

SYMBOL	DESCRIPTION
	DOMESTIC COLD WATER PIPING (CW)
	DOMESTIC HOT WATER PIPING (HW)
	DOMESTIC HOT WATER RECIRCULATION (HWC)
	DOMESTIC COLD WATER UNDERGROUND PIPING (CW)
	SANITARY PIPING (SAN)
	VENT PIPING (V)
	SANITARY PIPING(UNDER GROUND)
	GREASE WASTE
GW	GREASE WASTE (UNDER GROUND)
	GREASE VENT
ST	STORM DRAIN
OST	OVERFLOW STORM DRAIN
G	GAS PIPING
DT	DRAIN TILE
	GAS PRESSURE REDUCING VALVE (GPR) WITH VENT
	ISOLATION VALVE
S	SOLENOID VALVE
	BALL VALVE (2-1/2" AND SMALLER)
	GLOBE VALVE
CLOSED OPEN	NORMALLY OPEN VALVE NORMALLY CLOSED VALVE
	CHECK VALVE
	BUTTERFLY VALVE (3" AND LARGER)
	BALANCING VALVE (BV) / CIRCUIT SETTER
	TWO WAY CONTROL VALVE
	THREE WAY CONTROL VALVE
	RELIEF(R), OR SAFETY(S) VALVE
	PRESSURE REDUCING VALVE
T	THERMOSTAT MIXING VALVE
	STRAINER
	BACKFLOW PREVENTER ASSEMBLY (BFP)
	BALANCING VALVE ASSEMBLY / CIRCUIT SETTER ASSEMBLY
P	PRESSURE GAUGE - CLOSED (FURNISHED WITH VALVE)
	HOSE BIBB
	PUMP, IN SCHEMATIC PRESENTATION
M	WATER METER
	FLOOR DRAIN (FD)
	FLOOR CLEANOUT (FCO)
	HALF-GRATE FLOOR SINK (FS)
	FULL-GRATE FLOOR SINK (FS)
	REDUCER
	UNION
	PIPE DOWN
	PIPE UP
	WALL CLEANOUT (WCO) / CLEANOUT (CO)
	DIRECTION OF FLOW
	PIPE PITCH ARROW (DOWN IN ARROW DIRECTION)
	TOP CONNECTION, 45 OR 90 DEGREES
	BOTTOM CONNECTION, 45 OR 90 DEGREES
	SIDE CONNECTION
	CAPPED OUTLET
	VALVE IN RISER
	POINT OF CONNECTION NEW TO EXISTING
	LIMIT OF DEMOLITION
P.X.X	SECTION TAKEN AT

PLUMBING ABBREVIATIONS

AC	ACCESS DOOR
AD	AREA DRAIN
AAV	AIR ADMITTANCE VALVE
ABV	ABOVE
AFF	ABOVE FINISHED FLOOR
A/E	ARCHITECT/ENGINEER
AHJ	AUTHORITY HAVING JURISDICTON
ADA	AMERICANS WITH DISABILITIES ACT
ASME	AMERICAN SOCIETY OF MECHANICAL ENGINEERS
ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS
BHP	BRAKE HORSEPOWER
BT	BATH TUB
BTU	BRITISH THERMAL UNIT
BFP	BACK FLOW PREVENTER
C/I	CONTRACTOR INSTALLED
CD	CONDENSATE
CO	CLEAN OUT
CONN	CONNECTION
CONT	CONTINUOUS
CP	CIRCULATION PUMP
CV	CHECK VALVE
CW	COLD WATER
DF	DRINKING FOUNTAIN
DFU	DRAINAGE FIXTURE UNIT
DIA	DIAMETER
DN	DOWN
DW	DISH WASHER
DWG	DRAWING
ECO	EXTERIOR CLEAN OUT
(E)	EXISTING
ET	EXPANSION TANK
EWC	ELECTRIC WATER COOLER
°F	DEGREE FAHRENHEIT
FCO	FLOOR CLEAN OUT
FD	FLOOR DRAIN
FFL	FINISH FLOOR LEVEL
FS	FLOOR SINK
GAL	GALLONS
GD	GARBAGE DISPOSER
GPM	GALLONS PER MINUTE
GPR	GAS PRESSURE REGULATOR
GW	GREASE WASTE
GWH	GAS WATER HEATER
GI	GREASE INTERCEPTOR
HW	HOT WATER
HWR	HOT WATER RETURN
HB	HOSE BIB
I.E.	INVERT ELEVATION
IWH	INSTANTANEOUS WATER HEATER
KS	KITCHEN SINK
L	LAVATORY
M	METER
MB	MOP SINK
MX	MIXING VALVE
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
N.T.S	NOT TO SCALE
OW	OIL WASTE
PD	PUMP DISCHARGE
PDI	PLUMBING DRAINAGE INSTITUTE
PSIG	POUNDS PER SQUARE INCH GAUGE
RD	ROOF DRAIN
OD	OVERFLOW ROOF DRAIN
RC	ROOF CONDUCTOR
RM	ROOM
S	SINK
SAN	SANITARY
SH	SHOWER
TD	TRENCH DRAIN
TPV	TEMPERATURE/PRESSURE RELIEF VALVE
TP	TRAP PRIMER
TYP	TYPICAL
TW	TEMPERED WATER
UB	UTILITY BOX
U/G	UNDERGROUND
UR	URINAL
V	VENT
VTR	VENT THROUGH ROOF
W	WASTE
WC	WATER CLOSET
WCO	WALL CLEAN OUT
WH	WATER HEATER
WHA	WATER HAMMER ARRESTOR
WM	WASHING MACHINE

PLUMBING SHEET INDEX

SHEET NO.	SHEET NAME.	SCALE
P0.1	PLUMBING LEGEND ABBREVIATIONS AND NOTES	N.T.S.
P0.2	PLUMBING SPECIFICATIONS	N.T.S.
P1.0	SANITARY DRAINAGE FLOOR PLAN	1/4" = 1'-0"
P2.0	DOMESTIC WATER FLOOR PLAN	1/4" = 1'-0"
P3.0	SANITARY DRAINAGE RISER DIAGRAM	N.T.S.
P4.0	PLUMBING - DETAILS	N.T.S.
P5.0	PLUMBING - SCHEDULES	N.T.S.

APPLICABLE CODES

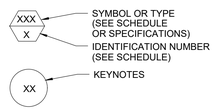
1. 2020 NFPA NATIONAL ELECTRICAL CODE (NEC)
2. 2021 INTERNATIONAL BUILDING CODE(IBC)
3. 2014 ILLINOIS PLUMBING CODE
4. 2018 INTERNATIONAL ENERGY CONSERVATION CODE(IECC)
5. 2021 INTERNATIONAL MECHANICAL CODE(IMC)
6. 2021INTERNATIONAL FUEL GAS CODE (IFGC)

PIPING LEGEND

	DEMOLISH LINE (EXISTING DUCTWORK, EQUIPMENT, AND PIPING TO BE REMOVED)
	EXISTING LINE (EXISTING DUCTWORK, EQUIPMENT, AND PIPING TO BE REMAIN)
	NEW LINE (NEW DUCTWORK, EQUIPMENT, AND PIPING TO BE INSTALLED)

NOTES:
ETR- EXISTING TO REMAIN.

EQUIPMENT IDENTIFICATION



ROOF DRAIN IDENTIFICATION

RD-1 → SYMBOL
X" (1000) → SIZE (GPM)

PLUMBING GENERAL NOTES

1. PLUMBING GENERAL NOTES ON THESE DRAWINGS ARE A PART OF THE PLUMBING SPECIFICATIONS TO THE SAME EXTENT AS IF WRITTEN HEREIN FULL.
2. ALL WORK AND MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF LOCAL AND STATE GOVERNING CODES, ORDINANCES AND HEALTH DEPARTMENT REGULATIONS.
3. THE INTENT OF THESE DRAWINGS IS TO FURNISH THE OWNER WITH A PLUMBING INSTALLATION READY FOR USE AND COMPLETE IN EVERY ASPECT.
4. FURNISH AND INSTALL A COMPLETE AND OPERABLE SOIL, WASTE AND VENT SYSTEM WITH FINAL CONNECTIONS TO ALL FIXTURES, APPLIANCES, DRAINS, EQUIPMENT, STRUCTURES, ETC., REQUIRING DRAINAGE CONNECTIONS THERETO TO CONVEYANCE TO THE PUBLIC SEWER SYSTEM.
   - 4.1. HORIZONTAL DRAINAGE PIPING SHALL BE INSTALLED AT UNIFORM SLOPES NOT LESS THAN THE FOLLOWING:
     - 4.1.1. PIPING THREE (3) INCHES OR LESS: 1/4 INCH PER LINEAL FOOT.
     - 4.1.2. PIPING LARGER THAN THREE (3) INCHES: 1/8 INCH PER LINEAL FOOT.
     - 4.1.3. UNLESS OTHERWISE INDICATED ON DRAWINGS, UNDERGROUND DRAINAGE VENT PIPING SHALL BE MINIMALLY SLOPED BACK TO DRAINAGE PIPING.
5. FURNISH AND INSTALL A COMPLETE AND OPERABLE DOMESTIC WATER DISTRIBUTION SYSTEM WITH FINAL CONNECTIONS TO ALL PLUMBING FIXTURES, APPLIANCES, EQUIPMENT, WALL HYDRANTS, ETC., REQUIRING DOMESTIC WATER CONNECTIONS THERE TO FROM THE DOMESTIC WATER SERVICE.
6. FURNISH AND INSTALL ALL PLUMBING FIXTURES, EQUIPMENT, APPLIANCES, COMPLETE WITH ALL NECESSARY AND REQUIRED TRIMMINGS, ACCESSORIES, COMPONENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO P-TRAPS, BACK FLOW DEVICES, AIR CHAMBERS, STOPS AND SUPPLIES, HANGERS, SUPPORTS, ANCHORS, CARRIERS, TAILPIPES, TEMPERING VALVES, ETC.
7. ALL PIPING SHALL BE SUPPORTED FROM STRUCTURAL MEMBERS OF THE BUILDING, OR AS APPROVED BY THE ARCHITECT OR OWNER'S REPRESENTATIVE. PLACE ALL HANGERS ON EIGHT (8) FOOT CENTERS.
   - 7.1. PIPES ONE (1) INCH IN DIAMETER OR LESS: SOLID OR SPLIT RING TYPE
   - 7.2. PIPES LARGER THAN ONE (1) INCH: STANDARD WEIGHT CLEVIS HANGERS
   - 7.3. INSULATED PIPING: SEMI-CIRCULAR SHIELD.
8. CONTRACTOR SHALL PROVIDE ACCESS PANELS TO ACCESS ANY VALVES OR ANY PLUMBING ITEMS REQUIRING ACCESS FOR MAINTENANCE. CONTRACTOR SHALL PROVIDE TO THE GENERAL CONTRACTOR ALL LOCATION AND SIZES OF ACCESS PANELS FOR APPROVAL BY THE ARCHITECT. CONTRACTOR SHALL PROVIDE ACCESS PANELS TO THE GENERAL CONTRACTOR FOR INSTALLATION.
9. DRAWINGS SHOWING LOCATIONS OF EQUIPMENT, PIPING, ETC ARE DIAGRAMMATIC AND MAY NOT ALWAYS REFLECT ACTUAL INSTALLATION CONDITIONS. DRAWINGS SHOW THE GENERAL ARRANGEMENT OF ALL PIPING, EQUIPMENT, ETC., AND MAY NOT INCLUDE ALL OFFSETS AND FITTINGS REQUIRED FOR COMPLETE INSTALLATION. THE DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS ACTUAL BUILDING CONSTRUCTION AND THE WORK OF OTHERS WILL PERMIT.
10. LAYOUT AND COORDINATE ALL WORK WITH ALL OTHER TRADES PRIOR TO INSTALLATION TO PROVIDE CLEARANCES REQUIRED FOR OPERATION, MAINTENANCE, CODE COMPLIANCE, AND TO VERIFY NON-INTERFERENCE WITH OTHER WORK. DO NOT FABRICATE PRIOR TO VERIFICATION OF NECESSARY CLEARANCES FOR ALL TRADES. BRING ANY INTERFERENCES OR CONFLICTS TO THE ATTENTION OF THE ARCHITECT/ ENGINEER BEFORE PROCEEDING WITH ANY FABRICATION OR EQUIPMENT ORDERS.
11. CAULK ALL PIPE PENETRATIONS OF FULL HEIGHT NON FIRE RATED WALLS, PARTITIONS, FLOORS AND ROOF ASSEMBLIES. THIS IS ESSENTIAL TO PREVENT NOISE TRANSMISSION FROM ONE ROOM TO ANOTHER AND TO PROVIDE THE DESIRED NC LEVELS WITHIN THE ROOMS.
12. CLEANOUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE. THE CONTRACTOR SHALL COORDINATE ALL CLEANOUT LOCATIONS WITH EQUIPMENTS, CABINET, ETC., AND THE ARCHITECT PRIOR TO ANY INSTALLATION.
13. VALVES,UNIONS, ETC. TO BE SAME SIZE AS PIPE UNLESS OTHER WISE INDICATED ON DRAWINGS.

PLUMBING SPECIFICATIONS

GENERAL

RELATED DOCUMENTS:

1. THE GENERAL REQUIREMENTS OF THE ARCHITECTURAL SPECIFICATIONS ARE PART OF THESE SPECIFICATIONS. WHERE AN INCONSISTENCY EXISTS BETWEEN THE WORDING OR INTENT, THIS SECTION SHALL TAKE PRECEDENCE. THE STANDARD FORM OF "GENERAL CONDITIONS" ISSUED BY THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201, LATEST EDITION, SHALL FORM PART OF THIS CONTRACT.
2. CONTRACT DOCUMENTS MAY INCLUDE, BUT NOT LIMITED TO THE FOLLOWING: ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL, FIRE PROTECTION, AND CIVIL.

DEFINITIONS:

1. WATER DISTRIBUTION PIPING: INTERIOR DOMESTIC WATER PIPING.
2. WATER SERVICE: EXTERIOR DOMESTIC WATER PIPING.
3. ACCESSIBLE FIXTURE: PLUMBING FIXTURE THAT CAN BE APPROACHED, ENTERED, AND USED BY PEOPLE WITH DISABILITIES.

PERFORMANCE REQUIREMENTS:

1. DESIGN SUPPORTS FOR MULTIPLE PIPES CAPABLE OF SUPPORTING COMBINED WEIGHT OF SUPPORTED SYSTEMS, SYSTEM CONTENTS, AND COMPONENTS.
2. DESIGN EQUIPMENT SUPPORTS CAPABLE OF SUPPORTING COMBINED OPERATING WEIGHT OF SUPPORTED EQUIPMENT, CONNECTED SYSTEMS AND COMPONENTS.
3. DESIGN SEISMIC-RESTRAINT (IF APPLICABLE) HANGERS AND SUPPORTS FOR PIPING AND EQUIPMENT, AND OBTAIN APPROVAL FROM AUTHORITIES HAVING JURISDICTION.
4. COMPONENTS AND INSTALLATION SHALL BE CAPABLE OF WITHSTANDING THE FOLLOWING WORKING PRESSURE, UNLESS OTHERWISE INDICATED:
   - 4.1. DOMESTIC WATER PIPING: 125 PSIG.
   - 4.2. SANITARY WASTE AND VENT PIPING: 10' HEAD OF WATER.
   - 4.3. STORM DRAINAGE PIPING: 10' HEAD OF WATER.
   - 4.4. FORCE-MAIN: 100 PSIG.
   - 4.5. GAS PIPING: 60 PSIG.
5. SYSTEMS SHALL BE DESIGNED, MANUFACTURED, TESTED AND INSTALLED IN ACCORDANCE WITH FOLLOWING STANDARDS:

ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE.
ARI	AIR CONDITIONING AND REFRIGERATION INSTITUTE.
ASHRAE	AMERICAN SOCIETY OF HEATING REFRIGERATION AND AIR CONDITIONING ENGINEERS.
ASME	AMERICAN SOCIETY OF MECHANICAL ENGINEERS.
ASPE	AMERICAN SOCIETY OF PLUMBING ENGINEERS.
ASSE	AMERICAN SOCIETY OF SANITARY ENGINEERS.
ASTM	AMERICAN SOCIETY OF TESTING AND MATERIALS.
CISPI	CAST IRON SOIL AND PIPE INSTITUTE.
IAPMO	INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS.
ICC	INTERNATIONAL CODE COUNCIL.
FM	FACTORY MUTUAL STANDARD.
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION.
OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
PDI	PLUMBING AND DRAINAGE INSTITUTE.
UL	UNDERWRITERS LABORATORIES.

SUBMITTALS:

1. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE ARCHITECT/ENGINEER A COMPLETE LIST OF ITEMS TO BE FURNISHED AND INSTALLED UNDER THIS CONTRACT. INCLUDING, BUT NOT BE LIMITED TO THE FOLLOWING:
   - 1.1. DIMENSIONED SHOP DRAWINGS OF MATERIALS, FIXTURES AND EQUIPMENT.
   - 1.2. DIMENSIONED SHOP DRAWINGS OF EQUIPMENT AND PIPING PLAN LAYOUT(S).
   - 1.3. PRODUCT DATA.
   - 1.4. FIELD-QUALITY CONTROL INSPECTION AND TEST REPORTS
   - 1.5. FIELD TEST CERTIFICATES.
   - 1.6. OPERATION AND MAINTENANCE DATA.
   - 1.7. EQUIPMENT MANUALS.
   - 1.8. VALVE TAGS.
   - 1.9. WELDING CERTIFICATES.
2. ANY DEFERRED CONTRACTOR SUBMITTALS OR CALCULATIONS REQUIRED BY THE LOCAL AHJ, IN ORDER TO OBTAIN OCCUPANCY CERTIFICATE SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR. ALL SUBMITTALS SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER, LICENSED IN THE PROJECT JURISDICTION, AS REQUIRED BY THE LOCAL AHJ. THE CONTRACTOR'S ENGINEER SHALL PREPARE PLANS, CUT SHEETS, CALCULATIONS, ETC. AS REQUIRED. ALL DEFERRED SUBMITTALS SHALL BE SIGNED AND STAMPED BY THE PREPARING ENGINEER. THE ELECTRICAL CONTRACTOR SHALL INCLUDE ANY FEES REQUIRED FOR SUCH SUBMISSION IN HIS BID.

QUALITY ASSURANCE:

1. WELDING: QUALITY PROCEDURES AND PERSONNEL ACCORDING TO ASME BOILER AND PRESSURE VESSEL CODE: SECTION IX.
2. SURFACE-BURNING CHARACTERISTICS: FOR INSULATION AND RELATED MATERIALS, AS DETERMINED BY TESTING IDENTICAL PRODUCTS ACCORDING TO ASTM E 84, BY A TESTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. FACTORY LABEL INSULATION AND JACKET MATERIALS AND ADHESIVE, MASTIC, TAPES, AND CEMENT MATERIAL CONTAINERS, WITH APPROPRIATE MARKINGS OF APPLICABLE TESTING AGENCY.
   - 2.1. INSULATION INSTALLED INDOORS: FLAME-SPREAD INDEX OF 25 OR LESS, AND SMOKE-DEVELOPED INDEX OF 50 OR LESS.
   - 2.2. INSULATION INSTALLED OUTDOORS: FLAME-SPREAD INDEX OF 75 OR LESS, AND SMOKE-DEVELOPED INDEX OF 150 OR LESS.
3. PIPING MATERIALS SHALL BEAR LABEL, STAMP OR OTHER MARKINGS OF SPECIFIED TESTING AGENCY.
4. ASME COMPLIANCE:
   - 4.1. ASME B31.9 FOR BUILDING SERVICES PIPING.
   - 4.2. ASME COMPLIANCE FOR FERROUS VALVES: ASME B16.10 AND ASME B16.34 FOR DIMENSION AND DESIGN CRITERIA.
5. NSF COMPLIANCE:
   - 5.1. NSF 14, "PLASTIC PIPING SYSTEM COMPONENTS AND RELATED MATERIALS."
   - 5.2. NSF 61, "DRINKING WATER SYSTEM COMPONENTS - HEALTH EFFECTS; SECTIONS 1 THROUGH 9."
   - 5.3. NSF 372, "DRINKING WATER SYSTEM COMPONENTS-TECHNICAL REQUIREMENT."
6. ELECTRICAL COMPONENTS, DEVICES AND ACCESSORIES: LISTED AND LABELED AS DEFINED IN NFPA 70, ARTICLE 100, BY A TESTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION AND MARKED FOR INTENDED USE.
7. REGULATORY REQUIREMENTS:
   - 7.1. COMPLY WITH PUBLIC LAW 101-336, "AMERICAN WITH DISABILITIES ACT," AND "UNIFORM FEDERAL ACCESSIBILITY STANDARDS" AND MAAB
   - 7.2. COMPLY WITH PUBLIC LAW 102-486, "ENERGY POLICY ACT."
8. AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE):
   - 8.1. ASSE 1016 - PERFORMANCE REQUIREMENTS FOR AUTOMATIC COMPENSATING VALVES FOR INDIVIDUAL SHOWERS AND TUB/SHOWER COMBINATIONS.
   - 8.2. ASSE 1017 - PERFORMANCE REQUIREMENTS FOR TEMPERATURES ACTUATED MIXING VALVES FOR HOT WATER DISTRIBUTION SYSTEMS.
   - 8.3. ASSE 1070 - PERFORMANCE REQUIREMENTS FOR WATER TEMPERATURE LIMITING DEVICES..
   - 8.4. ASSE 1071 - PERFORMANCE REQUIREMENTS FOR TEMPERATURE ACTUATED MIXING VALVES FOR PLUMBED EMERGENCY EQUIPMENT.
   - 8.5. ASSE 1010 - WATER HAMMER ARRESTORS.
9. ANSI/ISEA Z358.1 – AMERICAN NATIONAL STANDARD FOR EMERGENCY EYEWASH AND SHOWER EQUIPMENT.
10. CONDENSATE DISPOSAL. CONDENSATE FROM ALL COOLING COILS AND EVAPORATORS SHALL BE CONVEYED FROM THE DRAIN PAN OUTLET TO AN APPROVED PLACE OF DISPOSAL. SUCH PIPING SHALL MAINTAIN A HORIZONTAL SLOPE IN THE DIRECTION OF DISCHARGE OF NOT LESS THAN ONE-EIGHTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (1-PERCENT SLOPE). CONDENSATE SHALL NOT DISCHARGE INTO A STREET, ALLEY OR OTHER AREAS SO AS TO CAUSE A NUISANCE.

EQUIPMENT CAPACITY MINIMUM CONDENSATE PIPE DIAMETER (INCH)

- UP TO 20 TONS OF REFRIGERATION 3/4 INCH
- OVER 20 TONS TO 40 TONS OF REFRIGERATION 1 INCH
- OVER 40 TONS TO 90 TONS OF REFRIGERATION 1 1/4 INCH
- OVER 90 TONS TO 125 TONS OF REFRIGERATION 1 1/2 INCH
- OVER 125 TONS TO 250 TONS OF REFRIGERATION 2 INCH

11. ELECTRIC WATER HEATERS LESSER THAN & EQUAL TO12kW, GAS FIRED STORAGE WATER HEATERS LESSER THAN & EQUAL TO 75 Mbh AND GAS FIRED INSTANTANEOUS WATER HEATERS GREATER THAN 50 Mbh BUT LESSER THAN 200Mbh SHOULD COMPLY WITH THE TEST PROCEDURE MENTIONED IN THE DOE 10 CFR PART 430.
12. ELECTRIC WATER HEATERS ≥12kW, GAS FIRED STORAGE WATER HEATERS>75 Mbh AND GAS FIRED INSTANTANEOUS WATER HEATERS ≥200Mbh SHOULD COMPLY WITH THE TEST PROCEDURE MENTIONED IN THE DOE ANSI Z21.10.3.

CONTRACT DOCUMENTS:

1. CONTRACTOR SHALL REVIEW CONTRACT DOCUMENTS AND BECOME FAMILIAR WITH THE SITE AND LOCAL CONDITIONS RELATING TO WORK AS DESCRIBED HEREIN PRIOR TO SUBMITTING BID PROPOSAL. FAILURE TO DO SO SHALL NOT RELIEVE CONTRACTOR OF THE OBLIGATIONS OF THE CONTRACT. IDENTIFY ALL DISCREPANCIES AND NOTIFY ARCHITECT/ENGINEER, IN WRITING.
2. THE DRAWINGS INDICATE THE GENERAL LAYOUT OF THE VARIOUS SYSTEM(S) AND EQUIPMENT. THE LAYOUT OF THE SYSTEM(S) EQUIPMENT, ACCESSORIES AND OTHER COMPONENTS ARE DIAGRAMMATIC UNLESS SPECIFICALLY SHOWN OR DIMENSIONED.
3. CONTRACTOR SHALL BID ALL WORK AS SHOWN, AND MATERIAL AND EQUIPMENT AS SPECIFIED HEREIN. ANY SUBSTITUTION (NOT APPROVED) DURING THE BIDDING PROCESS TO SECURE AWARD OF THE CONTRACT WILL NOT BE ACKNOWLEDGED.
4. CONTRACTOR SHALL BE FINANCIALLY LIABLE FOR ANY REQUIRED ENGINEERING REVIEW DUE TO ANY PROPOSED PRODUCT CHANGE AND/OR VOLUNTARY "VALUE ENGINEERING" DURING THE BIDDING PROCEDURE AND THE SUBMITTAL PROCESS.
5. ANY CONFLICTING INFORMATION DEPICTED OR IMPLIED ON THE DRAWINGS IDENTIFIED DURING THE BIDDING PROCESS SHALL BE SUBMITTED FOR CLARIFICATION OF INTENT. FAILURE TO CLARIFY THE ARCHITECT/ENGINEER INTENT, MAY MAKE THE CONTRACTOR LIABLE FOR ANY ASSOCIATED COSTS RELATIVE TO CHANGES DURING THE CONSTRUCTION PROCESS.

SPECIFICATIONS AND DRAWINGS:

SPECIFICATIONS AND DRAWINGS ARE INTENDED TO BE COOPERATIVE. WHAT IS CALLED FOR BY EITHER SHALL BE AS BINDING AS IF CALLED FOR BY BOTH. ANY WORK OR MATERIALS NOT SPECIFICALLY MENTIONED THOUGH REQUIRED TO MAKE THE JOB COMPLETE, SHALL BE FURNISHED AT THE CONTRACTOR'S EXPENSE.

CONTRACTOR TO PRICE OWNER FOR THE WORST CASE, IF ANY DISCREPANCIES.

VISITING THE SITE:

PRIOR TO SUBMITTING BID PROPOSAL, CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE SITE AND EXISTING CONDITIONS FOR DOING WORK AS SHOWN ON DRAWINGS AND SPECIFIED HEREIN. FAILURE TO COMPLY SHALL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATIONS OF THE CONTRACT. CONTRACTOR SHALL IDENTIFY ALL DISCREPANCIES AND NOTIFY ARCHITECT/ENGINEER, IN WRITING.

PERMITS, FEES & INSPECTIONS:

1. CONTRACTOR SHALL PREPARE AND SUBMIT ALL DATA, DRAWINGS AND DETAILS REQUIRED, SECURE AND PAY FOR ALL PERMITS, GOVERNMENTAL FEES, TAXES, INSPECTIONS AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
2. CONTRACTOR SHALL PAY FOR ALL APPLICABLE FEES FOR TEST AND INSPECTIONS REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION.
3. WHERE REGULATIONS OF UTILITY COMPANIES APPLY, CONFORMANCE WITH THEIR REGULATIONS IS MANDATORY AND ANY COSTS INVOLVED SHALL BE INCLUDED IN THE CONTRACT.

LAWS AND ORDINANCES:

CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES AND REGULATIONS BEARING ON THE CONDUCT OF WORK AS SHOWN ON DRAWINGS AND SPECIFIED HEREIN. IF CONTRACTOR OBSERVES THAT THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, CONTRACTOR SHALL PROMPTLY NOTIFY ARCHITECT/ENGINEER IN WRITING WHEN SUBMITTING BID AND ANY NECESSARY CHANGES SHALL BE ADJUSTED AS PROVIDED IN THE CONTRACT FOR SUCH CHANGES IN WORK. IF CONTRACTOR PERFORMS ANY WORK, CONTRARY TO SUCH LAWS, ORDINANCES, RULES & REGULATIONS, CONTRACTOR SHALL BEAR ALL COSTS FOR CORRECTING THE WORK.

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SUSHIL KUMAR
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PROFESSIONAL ENGINEER
STATE OF ILLINOIS

EXP: 12/21/2023

FOX ANIMAL HOSPITAL
2107 CRAWFORD AVE,
EVANSTON, IL 60201

Schematic Design:	
Design Development	
Bidding:	
Permit:	
ISSUE DATE:	**07/25/2023**

POST BID/PERMIT REVISIONS:

No.	Date	Description
00	07/25/2023	ISSUED FOR PERMIT

PROJECT NO.	23-007
DRAWN BY	
CHECKED BY	
SHEET	

PLUMBING LEGEND ABBREVIATIONS AND NOTES

P0.1

PLUMBING SPECIFICATIONS

TRADE JURISDICTION:

WHEN IT BECOMES NECESSARY FOR THE COMPLETE FULFILLMENT OF THIS WORK FOR THIS CONTRACTOR TO FURNISH LABOR OR MATERIALS OTHER THAN THAT WHICH IS GENERALLY ACCEPTED BY THIS TRADE OR BRANCH OF WORK, THE CONTRACTOR SHALL SUBLET SAME TO A CONTRACTOR ENGAGED IN THE TRADE OR BRANCH OF WORK INVOLVED. THERE SHALL BE NO DELAY TO OR STOPPAGE OF WORK DUE TO THE INFRINGEMENT OR ALLEGED INFRINGEMENT TO TRADE AGREEMENTS AS TO THE JURISDICTION.

REQUESTS FOR INFORMATION (RFI'S):

1. ALL REQUESTS FOR INFORMATION (RFI'S) SHALL BE SUBMITTED IN WRITING TO THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER.
2. IF THERE IS NO CONSTRUCTION MANAGER OR GENERAL CONTRACTOR. SUBMIT RFI'S TO THE ARCHITECT/ENGINEER.
3. THERE WILL BE NO RESPONSE TO RFI'S THAT ARE NOT SUBMITTED IN WRITTEN FORM.
4. ANY FORMAL OR INFORMAL, OR PHONE CONVERSATION DOES NOT CONSTITUTE THE AUTHORIZATION TO PROCEED.
5. STATE THE PERIOD OF ENGINEER/ARCHITECT REVIEW (TYPICALLY AT LEAST 7 DAYS)

WORKMANSHIP:

ALL LABOR SHALL BE EXECUTED IN A NEAT, WORKMANLIKE MANNER AND SHALL BE PERFORMED BY PERSONS SKILLED IN THEIR RESPECTIVE TRADES. THE ARCHITECT/ENGINEER SHALL DECIDE ALL MATTERS PERTAINING TO THE QUALITY OF WORKMANSHIP AND MATERIALS.

COORDINATION OF WORK:

CONTRACTOR SHALL COORDINATE WITH OTHER CONSTRUCTION TO AVOID INTERFERENCE BEFORE STARTING ANY INSTALLATION. ANY NEGLECT BY THE CONTRACTOR TO COORDINATE WITH OTHER CONSTRUCTION SHALL BE MADE AT THE CONTRACTOR'S OWN EXPENSE.

CUTTING AND PATCHING:

CONTRACTOR SHALL INCLUDE ALL CUTTING AND PATCHING, AS REQUIRED. ALL CORES THROUGH SLABS AND FOUNDATION WALLS SHALL BE APPROVED IN WRITING BY THE ARCHITECT/ENGINEER. CONTRACTOR SHALL ASSUME ALL LIABILITIES FOR CORES WHICH HAVE NOT BEEN APPROVED. PATCH ALL DISTURBED WALL, FLOORS, PARTITIONS, CEILINGS, ETC., RESTORE TO ORIGINAL CONDITION.

OPERATING INSTRUCTIONS:

CONTRACTOR SHALL PREPARE A TYPEWRITTEN LIST IN DUPLICATE OF INSTRUCTIONS OF THE OPERATION OF ALL EQUIPMENT AND SHALL INSTRUCT IN ITS OPERATION. ALL VALVES AND EQUIPMENT SHALL BE MARKED WITH A METAL TAG AND A TYPEWRITTEN SCHEDULE SHALL BE GIVEN TO THE OWNER.

GUARANTEE:

CONTRACTOR SHALL GUARANTEE WORK TO BE FREE FROM DEFECTIVE WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL CERTIFICATE. ANY REPAIRS OR REPLACEMENT DURING THIS PERIOD SHALL BE MADE WITHOUT COST TO THE OWNER, UPON OWNER'S REQUEST.

PRODUCTS:

MATERIALS:

1. ALL MATERIALS SHALL BE NEW AND OF FIRST CLASS PRODUCTS OF MANUFACTURERS SPECIFIED HEREIN AND OR AS APPROVED BY THE ARCHITECT/ENGINEER OF RECORD.MENTION ALL PRODUCTS TO BE MASS. STATE APPROVED FOR IT'S INTENDED USE AND SUBMITTALS ARE TO HAVE APPROVAL # CLEARLY INDICATED ON EACH PRODUCT SUBMITTAL. IF NOT PRESENT, SUBMITTAL WILL BE REJECTED.
2. THE DESIGN INTENT, SPACE REQUIREMENTS, PERFORMANCE, ETC., ARE BASED ON PRODUCTS OF THE MANUFACTURER(S) INDICATED IN THESE SPECIFICATIONS. UNLESS NOTED OTHERWISE EQUAL PRODUCTS OF OTHER MANUFACTURER(S) MAY BE SUBMITTED FOR REVIEW TO THE ARCHITECT/ENGINEER OF RECORD. PRODUCTS INSTALLED WITHOUT APPROVAL OF THE ARCHITECT/ENGINEER SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
3. MANUFACTURER(S) IDENTIFICATION OF MATERIAL: EACH LENGTH OF PIPE, PIPE FITTING, EQUIPMENT, DEVICE AND APPURTENANCE IN THE FIRE PROTECTION SYSTEM SHALL HAVE CAST, STAMPED OR INDELIBLY MARKED ON IT THE MARKER'S MARK OR NAME, WEIGHT, CLASS OF PRODUCT AND STANDARD THAT APPLIES.
4. PROVIDE DIELECTRIC FITTINGS TO CONNECT PIPING TO EQUIPMENT OR OTHER PIPING OF DISSIMILAR METALS. USE CLAMPS AND FASTENERS OF SIMILAR METALS OR ISOLATE FROM PIPING. ISOLATE PIPING FROM CONCRETE SLABS AND WALLS TO PREVENT CORROSION.
5. ALL SHOWER AND SHOWER/TUB COLD AND HOT WATER PIPING IN WALL FOR VALVE, SHOWER HEAD AND TUB FILL SHALL BE MOUNTED WITH HOLDRITE "STOUT" BRACKETS AND CLAMPS WITH ACOUSTICAL ISOLATORS.

PLUMBING FIXTURES:

1. PLUMBING FIXTURES AND TRIMMINGS HAVE BEEN SELECTED AS A BASE FOR THIS INSTALLATION, EXCEPT WHERE OTHERWISE SPECIFIED, BUT OTHER MAKES WHICH ARE EQUAL AND APPROVED MAY BE USED. CONTRACTOR SHALL SUBMIT FOR ARCHITECT/ENGINEER'S APPROVAL PORTFOLIO ILLUSTRATING AND DESCRIBING IN DETAIL THE FIXTURES, TRIMMINGS AND VALVES CONTRACTOR CONTEMPLATES USING, GIVING NAMES AND CATALOG NUMBERS OR IDENTIFYING DESCRIPTION.
   1.1. PLUMBING FIXTURES SHALL BE OF THE BEST QUALITY AND SHALL HAVE MANUFACTURER'S GUARANTEE LABEL OR TRADEMARK INDICATING FIRST QUALITY.
2. INSTALL/PROVIDE FLUSH VALVES AND/OR FLUSH TANKS WITH HANDLE ON OPEN SIDE OF FIXTURE.
3. SET ALL FLOOR FIXTURES ON A WHITE TILE SETTERS GROUT TO FORM A SOLID WATER TIGHT BASE.
4. CAULK ALL FIXTURES WATER TIGHT TO WALL AND FLOOR USING CLEAR SILICONE CAULK NEAT AND SMOOTHLY SET IN PLACE AND EXCESS CLEANED FROM WALL OR FIXTURE.
5. ALL PLUMBING FIXTURE SHALL BE WATER-SENSE LABELED.
6. THERMOSTATIC MIXING VALVES, SHALL BE INSTALLED ON ALL SINKS AND LAVATORIES WITHOUT EXCEPTION.
7. METER BOXES. METER BOXES SHALL BE CONSTRUCTED IN SUCH A MANNER THAT RODENTS ARE PREVENTED FROM ENTERING A STRUCTURE BY WAY OF THE WATER SERVICE PIPES CONNECTING THE METER BOX AND THE STRUCTURE.

HANGERS AND SUPPORTS:

1. STEEL PIPE HANGERS AND SUPPORTS: MSS SP-58, TYPES 1 THROUGH 58, FACTORY-FABRICATED COMPONENTS. REFER TO EXECUTION SECTION "HANGER AND SUPPORT APPLICATIONS."
   1.1. GALVANIZED, METALLIC COATINGS: PRE-GALVANIZED OR HOT DIPPED.
   1.2. NON-METALLIC COATINGS: PLASTIC COATING, JACKET, OR LINER.
   1.3. PADDED HANGERS: HANGER WITH FIBERGLASS OR OTHER PIPE INSULATION PAD OR CUSHION FOR SUPPORT OF BEARING SURFACE OF PIPING.
2. COPPER PIPING SHALL BE SUPPORTED AT INTERVALS NOT TO EXCEED 6'-0" AND AT EACH CHANGE IN HORIZONTALS OF VERTICAL. HANGERS SHALL SUPPORT PIPING AT PIPE WITH INSULATION OVER TOP OR WITH METAL SLEEVE TO PROTECT INSULATION FROM BEING CRUSHED.
   2.1. HANGER SHIELD: HANGERS FOR PIPING SHALL BE PLACED AROUND THE OUTSIDE OF THE INSULATION AND PROTECTIVE SHIELDS SHALL BE INSTALLED AT EVERY HANGER LOCATION. SHIELD SHALL NOT BE LESS THAN 2/3 THE CIRCUMFERENCE OF THE INSULATION AND WHERE SPEED CLIPS ARE USED, THE METAL SHIELD SHALL BE CONTINUOUS AROUND THE CIRCUMFERENCE OF THE PIPE INSULATION. SHIELDS SHALL BE FABRICATED OF THE FOLLOWING GAUGES:

NOMINAL PIPE SIZE	METAL GAUGE
0" - 1 1/2"	20
2" - 3"	16
3 1/2"	UP TO 14

3. TRAPEZE PIPE HANGERS: MSS SP-69, TYPE 69, SHOP OR FIELD FABRICATED PIPE-SUPPORT ASSEMBLY MADE FROM STRUCTURAL STEEL SHAPES WITH MSS-SP-58 HANGER RODS, NUTS, SADDLES, AND U-BOLTS.
4. METAL FRAMING SYSTEMS: MFMA-3, SHOP OR FIELD FABRICATED PIPE SUPPORT ASSEMBLY MADE OF STEEL CHANNELS AND OTHER COMPONENTS.
5. THERMAL HANGER SHIELD INSERTS: 100-PSIG MINIMUM, COMPRESSIVE STRENGTH INSULATION INSERT ENCASED IN SHEET METAL SHIELD.
6. FASTENER SYSTEMS:
   6.1. POWDER ACTUATED FASTENERS: THREADED STEEL STUD, FOR USE IN HARDENED PORTLAND CEMENT CONCRETE WITH PULLOUT, TENSION, AND SHEAR CAPACITIES APPROPRIATE FOR SUPPORTED LOADS AND BUILDING MATERIALS WHERE USED.
   6.2. MECHANICAL EXPANSION ANCHORS: INSERT WEDGE TYPE, ZINC COATED OR STAINLESS STEEL, FOR USE IN HARDENED PORTLAND CEMENT CONCRETE WITH PULLOUT, TENSION, AND SHEAR CAPACITIES APPROPRIATE FOR SUPPORTED LOADS AND BUILDING MATERIALS WHERE USED.
7. EQUIPMENT SUPPORTS: WELDED, SHOP OR FIELD FABRICATED EQUIPMENT SUPPORT MADE FROM STRUCTURAL STEEL SHAPES.
8. MISCELLANEOUS MATERIALS:
   8.1. STRUCTURAL STEEL: ASTM A 46/A 36M, STEEL PLATES, AND BARS; BLACK AND GALVANIZED.
   8.2. GROUT: ASTM C 1107, FACTORY-MIXED AND PACKAGED, DRY, HYDRAULIC-CEMENT, NON-SHRINK AND NON-METALLIC GROUT; SUITABLE FOR INTERIOR AND EXTERIOR APPLICATIONS.
   8.3. PROPERTIES: NON-STAINING, NON-CORROSIVE, AND NON-GASEOUS.
   8.4. DESIGN MIX: 5000-PSI, 28-DAY COMPRESSIVE STRENGTH.
9. PROVIDE SEISMIC BRACING OF PIPING BASED ON SEISMIC CATEGORY OF ZONE PROJECT IS BEING CONSTRUCTED.

INSULATION:

1. THERMAL INSULATION MATERIALS SHALL MEET THE PROPERTY REQUIREMENTS OF THE FOLLOWING,
   1.1. ASTM C547, ASTM C585, AND ASTM C1136.
2. INSULATION MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS OF IECC-2018 (LATEST EDITION).
3. INSULATION MATERIALS SHALL HAVE A MAXIMUM FLAME SPREAD INDEX OF 25 AND A MAXIMUM SMOKE DEVELOPED INDEX OF 50 WHEN TESTED IN ACCORDANCE WITH THE FOLLOWING TESTING STANDARDS:
   3.1. ASTM E84, UL 723 AND NFPA 255.
4. INSULATION SHALL BE FIBERGLASS PRE-FORMED PIPE INSULATION, ONE-PIECE, HINGED SECTION, WITH FACTORY APPLIED WHITE POLYMER FACING, TWO-COMPONENT ADHESIVE CLOSURE SYSTEM, AND MATCHING PRESSURE SENSITIVE TAPE. MANUFACTURER'S DATA REGARDING THICKNESS CONSTRAINTS IN RELATION TO OPERATING TEMPERATURE SHALL BE FOLLOWED. STAPLING IS NOT ALLOWED TO COMPLETE THE CLOSURE.
5. INSULATION MATERIAL CAN BE A FLEXIBLE ELASTOMERIC POLYETHYLENE INSULATION. INSTALL IN CONFORMATION WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
6. COVER ALL OF THE FOLLOWING PIPE TYPES LISTED WITH PRE MOLDED PIPE INSULATION OF THICKNESS INDICATED, 4 LB. DENSITY AND ASJ JACKET.

PIPE TYPE	INSULATION THICKNESS (INCHES)
DOMESTIC COLD WATER	
PIPE SMALLER THAN 1-1/2"	1/2
PIPE 1-1/2" INCH AND LARGER	1
PIPE 2-1/2 INCH AND LARGER	1
DOMESTIC HOT WATER	
PIPE SMALLER THAN 1-1/2"	1
PIPE 1-1/2" AND LARGER	1-1/2
DOMESTIC HOT WATER (CIRCULATING)	
PIPE SMALLER THAN 1-1/2"	1
PIPE 1-1/2" AND LARGER	1-1/2

FIRE STOPPING:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR FIRE STOPPING, FIRE CAULKING AND INSTALLING ALL SYSTEMS WHERE PLUMBING PIPING AND EQUIPMENT PENETRATE FIRE RATED SYSTEMS. SEE ARCHITECTURAL PLANS FOR LOCATIONS OF FIRE RATED WALLS, FLOORS AND STRUCTURES. MATERIAL SHALL STOP AND PREVENT FIRE AND SMOKE FROM PASSING/PENETRATING FIRE BARRIER.

EXECUTION

SCOPE OF WORK:

1. PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, FACILITIES, TRANSPORTATION, FEES AND SERVICES NECESSARY FOR A COMPLETE PLUMBING SYSTEM(S) AS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN. WORKMANSHIP SHALL BE COMPLETE IN EVERY ASPECT, TESTED, APPROVED AND SATISFACTORY TO THE ARCHITECT/ENGINEER AND IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL LAWS HAVING JURISDICTION.
2. IT IS THE DECLARED AND ACKNOWLEDGED INTENT OF THESE SPECIFICATIONS TO PROVIDE A COMPLETE PLUMBING SYSTEM(S), INCLUSIVE OF ALL REQUIRED PARTS AND ACCESSORIES COMPLETE AND READY FOR USE AS DESCRIBED, BUT NOT LIMITED TO THE FOLLOWING:
   2.1. DOMESTIC WATER SERVICE AND DISTRIBUTION.
   2.2. DOMESTIC HOT WATER.
   2.3. SANITARY DRAINAGE SYSTEM.
   2.4. PLUMBING FIXTURES.
   2.5. PLUMBING EQUIPMENT.
   2.6. PLUMBING SPECIALTIES.
3. THE DRAWINGS INDICATE DIAGRAMMATICALLY THE EXTENT AND LOCATION OF THE WORK INCLUDED. WORK INDICATED, BUT HAVING MINOR DETAILS OBVIOUSLY OMITTED, SHALL BE PROVIDED, INCLUDING THESE DETAILS, WITHOUT EXTRA COST TO THE OWNER.

SUBMITTALS AND SHOP DRAWINGS:

1. SHOP DRAWING LAYOUT SUBMITTAL(S) SHALL BE A MINIMUM OF 1/8 INCH PER FOOT SCALE, SHOWING ALL PIPING TO BE INSTALLED. DETAILED LAYOUT(S) OF TOILETS, KITCHENS AND EQUIPMENT ROOMS SHALL BE NOT LESS THAN 1/4 INCH PER FOOT SCALE. THE DRAWING SHALL ALSO SHOW THE WORK COORDINATED WITH ALL OTHER TRADES, ALL DRAWINGS SHALL BE SUBMITTED PRIOR TO STARTING ANY WORK, AND IN ACCORDANCE WITH AN APPROVED SCHEDULE, PROVIDED BY THE GENERAL CONTRACTOR, TO AVOID ANY DELAY ON THE PROJECT.
2. EQUIPMENT, FIXTURES AND OTHER RELATED APPURTENANCES SHALL BE SUBMITTED IN BOUNDED BOOKLETS. ALL DATA MUST BE CLEARLY LEGIBLE. SUBMIT SIX(6) COPIES MIN. OF EACH.
3. CONTRACTOR SHALL SUBMIT TO GOVERNMENTAL AGENCIES AND UTILITY COMPANIES, SHOP DRAWINGS WHICH ARE REQUIRED BY THESE AGENCIES FOR THEIR APPROVAL.
4. CONTRACTOR SHALL PREPARE AND FURNISH TO THE OWNER, AN ELECTRONIC SUBMITTAL CONTAINING A COMPLETE LIST OF ALL EQUIPMENT INSTALLED UNDER THIS CONTRACT. EACH PIECE OF EQUIPMENT LISTED SHALL ALSO BE DESCRIBED BY MANUFACTURER(S) MODEL NUMBER, FIGURE NUMBER AND THE COMPONENTS THEREIN WHICH MAKE UP THE PART(S) LIST. ELECTRONIC VERSION OF SHOP DRAWINGS MAY ALSO BE SUBMITTED TO THE ARCHITECT IN PDF FORM VIA EMAIL.
5. SHOP DRAWINGS SHALL INCLUDE CONTRACTOR'S NAME, JOB ADDRESS, MANUFACTURER'S NAME, CATALOG NUMBERS, CUTS, DIAGRAMS AND OTHER SUCH DESCRIPTIVE DATA AS REQUIRED TO IDENTIFY AND REVIEW THE EQUIPMENT.
6. SUBMITTAL REVIEWS ARE A COURTESY REVIEW FOR GENERAL CONFORMANCE AND DO NOT IMPLY A GUARANTEE OF EXISTING CONDITIONS OR BUILDING MEASUREMENTS. A SUBMITTAL REVIEW IN NO WAY ALLEVIATES THE CONTRACTOR OF ENSURING COMPATIBILITY AND FUNCTIONALITY SYSTEMS, COMPONENTS, OR OTHER RESPONSIBILITIES UNDER THE CONTRACT.
7. SHOP DRAWINGS WILL REQUIRE A MINIMUM OF 5 BUSINESS DAYS FOR REVIEW. THE CONTRACTOR SHALL INCLUDE THE REQUIRED REVIEW TIME IN ALL PROJECT AND CONSTRUCTION SCHEDULES. THERE SHALL BE NO ADDITIONAL COMPENSATION OR CONSIDERATION FOR FAILURE TO INCLUDE THE PROPER REVIEW TIME.
8. NO EQUIPMENT SHALL BE PURCHASED OR INSTALLED WITHOUT AN APPROVED SHOP DRAWING SUBMITTED. FAILURE TO COMPLY WITH THIS PROVISION, THE CONTRACTOR DOES AT HIS OWN RISK.
9. ONE (1) WEEK PRIOR TO FINAL INSPECTION, DELIVER TO THE ARCHITECT/ENGINEER TYPEWRITTEN COPIES OF EACH OF THE FOLLOWING:
   9.1. CERTIFICATION FROM CONTRACTOR THAT ALL EQUIPMENT AND SYSTEM(S) HAVE BEEN PROPERLY INSTALLED, ADJUSTED AND TESTED.
   9.2. CERTIFICATION FROM RESPECTIVE MANUFACTURER(S) AUTHORIZED REPRESENTATIVE THAT EQUIPMENT AND SYSTEM(S) HAVE BEEN PROPERLY INSTALLED, ADJUSTED AND TESTED.
   9.3. CERTIFICATION FROM AUTHORITY HAVING JURISDICTION THAT ALL EQUIPMENT AND SYSTEM(S) HAVE BEEN PROPERLY INSTALLED, ADJUSTED, TESTED AND ACCEPTED FROM THE AUTHORITY HAVING JURISDICTION.

INSPECTIONS AND TESTS:

1. TESTING SHALL BE DONE IN THE PRESENCE OF GOVERNING AUTHORITY AND OWNER'S REPRESENTATIVE. PROVIDE FIVE (5) DAYS NOTICE TO THE OWNER, ARCHITECT OF RECORD AND GOVERNING AUTHORITY. PROVIDE ALL NECESSARY EQUIPMENT, MATERIAL AND LABOR TO PERFORM TESTS.
2. ROUGHED-IN PLUMBING: THE DRAINAGE AND VENT PIPING SYSTEMS SHALL BE TESTED UPON COMPLETION OF ROUGHED-IN PIPING INSTALLATION, BY USING WATER OR AIR TO PROVE WATERTIGHT.
3. SANITARY & STORM DRAINAGE AND VENT WATER TEST. A WATER TEST SHALL BE APPLIED TO THE DRAINAGE SYSTEM EITHER IN ITS ENTIRETY OR IN SECTIONS. IF APPLIED TO THE ENTIRE SYSTEM, ALL OPENINGS IN THE PIPING SHALL BE TIGHTLY CLOSED, EXCEPT THE HIGHEST OPENING, AND THE SYSTEM SHALL BE FILLED WITH WATER TO THE POINT OF OVERFLOW. IF THE SYSTEM IS TESTED IN SECTIONS, EACH OPENING SHALL BE TIGHTLY PLUGGED EXCEPT THE HIGHEST OPENINGS OF THE SECTION UNDER TEST, AND EACH SECTION SHALL BE FILLED WITH WATER, BUT SECTIONS SHALL NOT BE TESTED WITH LESS THAN A 10-FOOT (3048 MM) HEAD OF WATER. IN TESTING SUCCESSIVE SECTIONS, NOT LESS THAN THE UPPER 10 FEET (3048 MM) OF THE NEXT PRECEDING SECTION SHALL BE TESTED SO THAT NO JOINT OR PIPE IN THE BUILDING, EXCEPT THE UPPERMOST 10 FEET (3048 MM) OF THE SYSTEM, SHALL HAVE BEEN SUBMITTED TO A TEST OF LESS THAN A 10-FOOT (3048 MM) HEAD OF THIS PRESSURE SHALL BE HELD FOR NOT LESS THAN 15 MINUTES. THE SYSTEM SHALL THEN BE TIGHT AT ALL POINTS.
4. DRAINAGE AND VENT AIR TEST. AN AIR TEST SHALL BE MADE BY FORCING AIR INTO THE SYSTEM UNTIL THERE IS A UNIFORM GAUGE PRESSURE OF 5 PSI (34.5 KPA) OR SUFFICIENT TO BALANCE A 10-INCH (254 MM) COLUMN OF MERCURY. THIS PRESSURE SHALL BE HELD FOR A TEST PERIOD OF NOT LESS THAN 15 MINUTES.
5. WATER SUPPLY SYSTEM: WATER SUPPLY SYSTEM SHALL BE TESTED AND PROVED WATERTIGHT UPON COMPLETION OF A SECTION OR THE ENTIRE SYSTEM. SYSTEM SHALL BE TESTED UNDER A WATER PRESSURE OF AT LEAST 1.5 TIMES THE SYSTEM PRESSURE, BUT AT LEAST 100 PSI AT A MINIMUM BY AIR OR WATER. TESTING PRESSURE SHALL BE MAINTAINED FOR A LEAST FIFTEEN (15) MINUTES AND WATER USED FOR TEST SHALL BE FROM POTABLE WATER.
6. PLASTIC PIPING SHALL NOT BE TESTED USING AIR.

FLUSHING:

1. CHLORINATION OF WATER PIPING: FLUSH THE DOMESTIC WATER PIPING SYSTEM WITH CLEAN POTABLE WATER UNTIL CONTAMINATED WATER DOES NOT APPEAR AT THE OUTLET. FILL WITH A SOLUTION CONTAINING 50 PARTS PER MILLION OF CHLORINE FOR A PERIOD (AS PRESCRIBED BY THE CODE) BEFORE FLUSHING. FLUSH THE SYSTEM COMPLETELY WITH CLEAR WATER UNTIL ALL RESIDUAL CHLORINE CONTENT IS REMOVED, CHLORINATION SHALL BE PERFORMED AFTER ALL PIPING AND FINAL CONNECTIONS AND PRESSURE TESTING HAS BEEN COMPLETED. IF, AFTER THE PIPES HAVE BEEN CHLORINATED, THE PIPES HAVE TO BE DISMANTLED, THE CHLORINATION PROCESS MUST BE REPEATED.
2. NON-CHLORINATED WATER SUPPLY: WATER SUPPLY SYSTEM SHALL BE FLUSHED WITH CLEAN, POTABLE WATER UNTIL NO DIRTY WATER APPEARS AT THE POINT OF OUTLET.

DISINFECTION OF POTABLE WATER SYSTEM:

1. DISINFECT AND FLUSH POTABLE WATER SYSTEM PER LOCAL PLUMBING, BUILDING, AND HEALTH DEPARTMENT REQUIREMENTS.

LABEL AND IDENTIFICATION:

1. IDENTIFICATION FOR ALL PIPING SYSTEM(S) SHALL COMPLY WITH ANSI A13.1 FOR SIZE OF LETTERING AND BACKGROUND COLOR FIELD.
2. PIPING SYSTEM(S): IDENTIFICATION SHALL INCLUDE THE CONTENTS OF THE PIPING SYSTEM(S) AND AN ARROW INDICATING THE DIRECTION OF FLOW. HAZARDOUS PIPING SYSTEM(S) SHALL ALSO CONTAIN INFORMATION ADDRESSING THE NATURE OF THE HAZARD. IDENTIFICATION SHALL BE REPEATED AT MAXIMUM INTERVALS OF TWENTY-FIVE (25) FEET AND AT CHANGE IN DIRECTION AND ALSO AT EACH POINT WHERE PIPING PASSES THROUGH A WALL, FLOOR OR ROOF. COLOR OF THE PIPE IDENTIFICATION SHALL BE DISCERNIBLE AND CONSISTENT THROUGHOUT THE BUILDING.
3. EQUIPMENT: IDENTIFICATION SHALL INCLUDE SYSTEM NUMBER, CAPACITY, FLOW RATE, STATIC PRESSURE, PUMP HEAD, HORSEPOWER, VOLTAGE, ETC.
4. VALVE TAGS: PROVIDE BRASS VALVE TAGS AND BRASS "S" HOOK FASTENERS WITH VALVE NUMBER AND TYPE OF SERVICE NOTED ON TAG. PROVIDE DUPLICATE CHARTS, THE CHART SHALL BE FOR ALL VALVES AND SHALL INDICATE VALVE IDENTIFICATION NUMBER, LOCATION AND PURPOSE.

CONTROLS:

DEMAND RECIRCULATION:

1. THE CONTROL SHALL START THE PUMP UPON RECEIVING A SIGNAL FROM THE ACTION OF A USER OF A FIXTURE OR APPLIANCE, SENSING THE PRESENCE OF A USER OF A FIXTURE, OR SENSING THE FLOW OF HOT OR TEMPERED WATER TO A FIXTURE FITTING OR APPLIANCE.
2. THE CONTROL SHALL LIMIT THE TEMPERATURE OF THE WATER ENTERING THE COLD WATER PIPING TO 104°F (40°C).
3. THE CONTROLS ON PUMPS THAT CIRCULATE WATER BETWEEN A WATER HEATER AND A HEATED-WATER STORAGE TANK SHALL LIMITS OPERATION OF THE PUMP FROM THE HEATING CYCLE STARTUP TO NOT GREATER THAN 5 MINUTES AFTER THE END OF THE CYCLES.

RECORD DRAWING SUBMITTALS:

1. AT PROJECT CLOSE-OUT, CONTRACTOR SHALL SUBMIT RECORD DRAWINGS (CERTIFIED OR APPROVED) ALSO KNOWN AS "AS-BUILT" DRAWINGS. LAYOUT SUBMITTALS SHALL BE SUBMITTED FOR RECORDS PRIOR TO FINAL ACCEPTANCE IN ELECTRONIC FORM ON COMPACT DISC(S), USING AUTOCAD VERSION 2010 "DWG" FORMAT OR ADOBE ACROBAT "PDF" FORMAT VIEWABLE FROM ADOBE.RECORD DATA EQUIPMENT, FIXTURE AND RELATED APPURTENANCES MAY BE SUBMITTED AS BOUND HARDCOPY OR ELECTRONIC ADOBE ACROBAT "PDF" FORMAT.

2. PROVIDE RECORD SUBMITTALS AS FOLLOWS:
   2.1. OWNER: 1 COPY.
   2.2. ARCHITECT OF RECORD: 1 COPY.
   2.3. ENGINEER OF RECORD: 1 COPY.
3. CONTRACTOR IS NOT ALLOWED TO USE THE CONTRACT DOCUMENTS FOR "AS-BUILT" DRAWINGS. BACKGROUNDS SHALL BE IN THE LATEST RELEASE OF AUTOCAD.

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PLUMBING SPECIFICATIONS

P0.2

PLUMBING GENERAL NOTES:

1. ALL EXISTING SANITARY,VENT, COLD WATER & HOT WATER PIPES REMAIN AS IS, UNLESS NOTED OTHERWISE.
2. ALL PLUMBING EQUIPMENT REMAIN AS IS, UNLESS NOTED OTHERWISE.
3. THE EXISTING WASHER & DRYER NEEDS TO BE RELOCATED TO THE LOCATION SHOWN IN THIS DRAWING. PROVIDE DOMESTIC WATER AND SANITARY CONNECTION ON SITE.
3. THE EXISTING WATER HEATER NEEDS TO BE RELOCATED TO THE LOCATION SHOWN IN THIS DRAWING. PROVIDE DOMESTIC WATER AND SANITARY CONNECTION ON SITE.
4. CONTRACTOR SHALL FIELD VERIFY EXISTING SAN PIPE LOCATION AND ROUTING.

(#) FLOOR PLAN KEY NOTES:

(1) EXISTING 4"Ø SAN PIPE.

(2) 2"Ø SAN PIPE UP TO L-1.

(3) 4"Ø SAN PIPE UP TO WC-1

(4) 2"Ø SAN PIPE UP TO UB-1.

(5) 2"Ø SAN PIPE UP TO FD-1.

(6) 2"Ø SAN PIPE UP TO HS-1

(7) 2"Ø VENT PIPE DN.

(8) 2"Ø VENT PIPE.

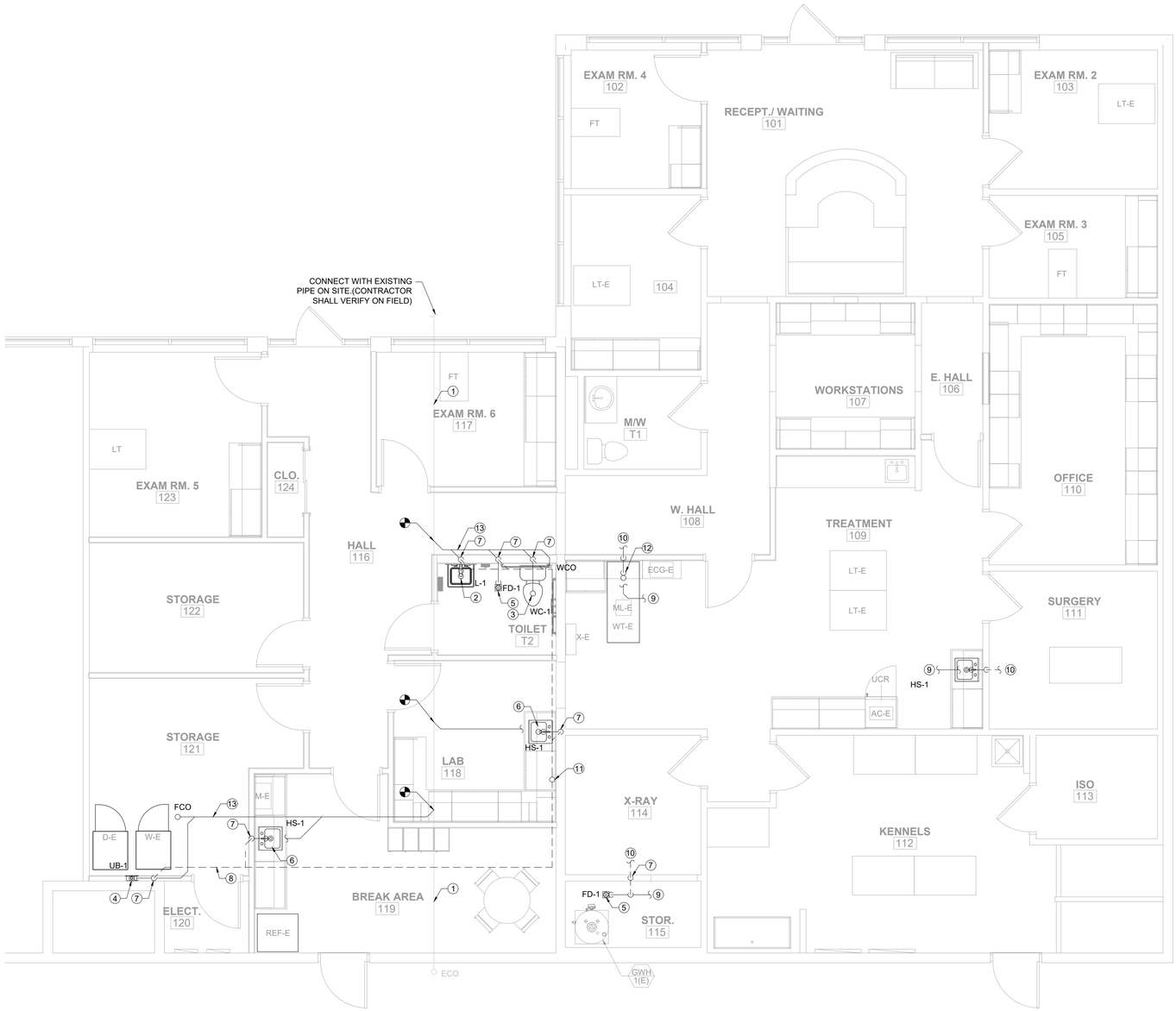
(9) CONNECT 2"Ø SAN PIPE TO NEAREST EXISTING SAN PIPE. FIELD COORDINATE EXACT LOCATION OF EXISTING PIPE AT SITE.

(10) CONNECT 2"Ø VENT PIPE TO NEAREST EXISTING VENT PIPE. FIELD COORDINATE EXACT LOCATION OF EXISTING PIPE AT SITE.

(11) 2"Ø VENT PIPE UP & 3"Ø VTR.

(12) 2"Ø SAN PIPE UP TO WT-1

(13) 4"Ø SAN PIPE.



1 P1.0 SANITARY DRAINAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"

NORTH

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SANITARY DRAINAGE FLOOR PLAN

P1.0

1 P2.0 DOMESTIC WATER FLOOR PLAN

SCALE: 1/4" = 1'-0"

NORTH

PLUMBING GENERAL NOTES:

1. ALL EXISTING SANITARY,VENT, COLD WATER & HOT WATER PIPES REMAIN AS IS, UNLESS NOTED OTHERWISE.
2. ALL PLUMBING EQUIPMENT REMAIN AS IS, UNLESS NOTED OTHERWISE.
3. THE EXISTING WASHER & DRYER NEEDS TO BE RELOCATED TO THE LOCATION SHOWN IN THIS DRAWING. PROVIDE DOMESTIC WATER AND SANITARY CONNECTION ON SITE.
3. THE EXISTING WATER HEATER NEEDS TO BE RELOCATED TO THE LOCATION SHOWN IN THIS DRAWING. PROVIDE DOMESTIC WATER AND SANITARY CONNECTION ON SITE.

(#) FLOOR PLAN KEY NOTES:

(1) 1/2"Ø CW & 1/2"Ø HW PIPE UP TO L-1.

(2) 3/4"Ø CW PIPE UP TO WC-1.

(3) 1/2"Ø CW & 1/2"Ø HW PIPE UP TO HS-1.

(4) 3/4"Ø CW & 3/4"Ø HW PIPE UP TO UB-1.

(5) 1/2"Ø CW & 1/2"Ø HW PIPE UP TO WT-1.

(6) 1/2"Ø CW PIPE UP TO REF.

(7) 1"Ø CW & 3/4"Ø HW PIPE.

(8) 3/4"Ø CW & 3/4"Ø HW PIPE.

(9) 3/4"Ø CW & 1/2"Ø HW PIPE.

(10) 1"Ø CW & 1/2"Ø HW PIPE.

(11) 1"Ø CW & 1"Ø HW PIPE.

(12) 1"Ø CW PIPE.

(13) 1/2"Ø CW & 1/2"Ø HW PIPE CONNECT TO NEAREST EXISTING CW AND HW PIPE. FIELD COORDINATE EXACT LOCATION OF EXISTING PIPE AT SITE.

(14) 1"Ø CW & 3/4"Ø HW PIPE CONNECT TO NEAREST EXISTING CW AND HW PIPE. FIELD COORDINATE EXACT LOCATION OF EXISTING PIPE AT SITE.

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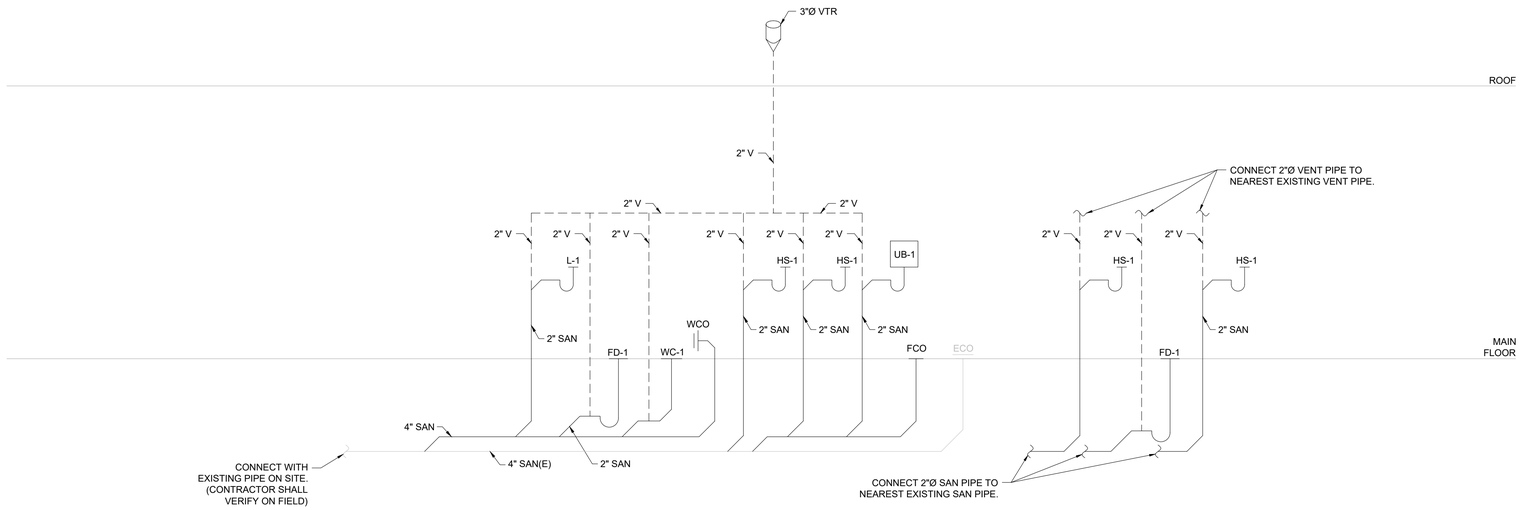
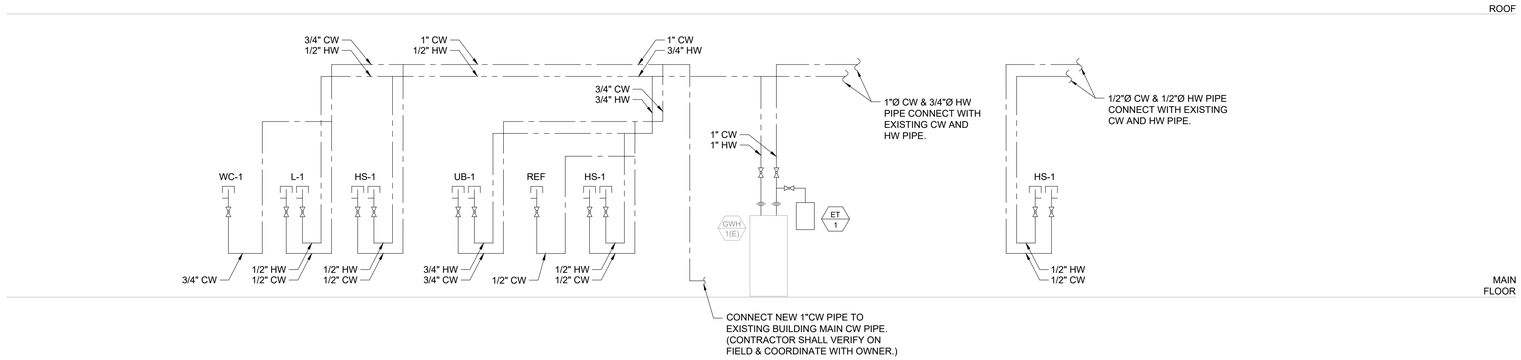
DOMESTIC WATER FLOOR PLAN

P2.0



1 P3.0 SANITARY DRAINAGE RISER DIAGARM

SCALE: N.T.S.



2 P3.0 DOMESTIC WATER RISER DIAGARM

SCALE: N.T.S.

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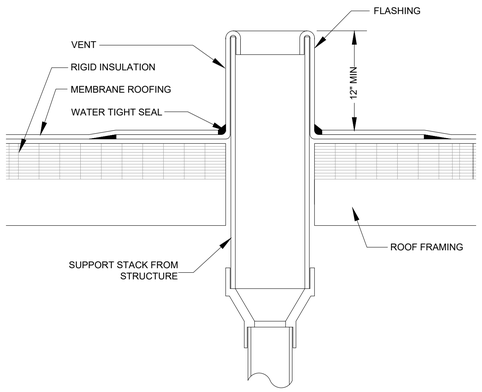
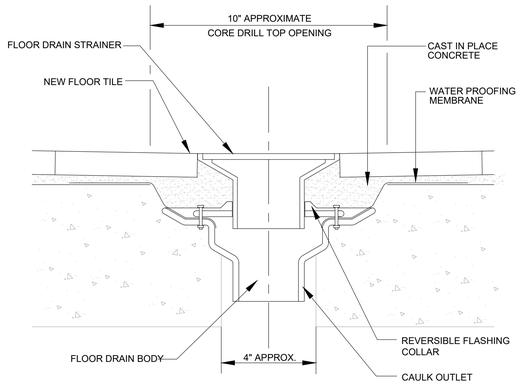
PLUMBING RISER DIAGRAM

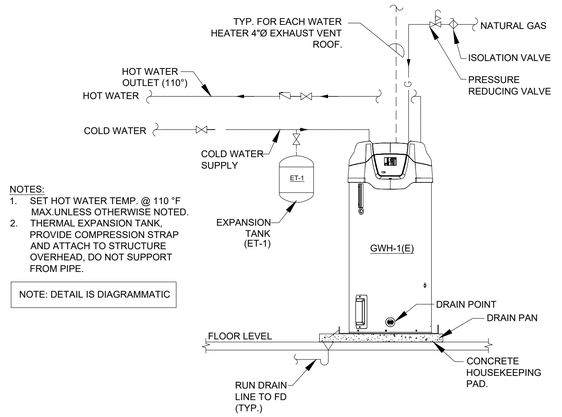
P3.0



1 P4.0 VENT THROUGH ROOF DETAIL
SCALE: N.T.S



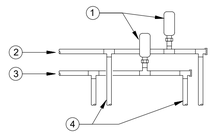
2 P4.0 FLOOR DRAIN DETAIL
SCALE: N.T.S



NOTES:
1. SET HOT WATER TEMP. @ 110 °F MAX UNLESS OTHERWISE NOTED.
2. THERMAL EXPANSION TANK, PROVIDE COMPRESSION STRAP AND ATTACH TO STRUCTURE OVERHEAD, DO NOT SUPPORT FROM PIPE.

NOTE: DETAIL IS DIAGRAMMATIC

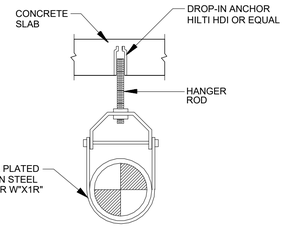
2 P4.0 GAS STORAGE WATER HEATER DETAIL
SCALE: N.T.S



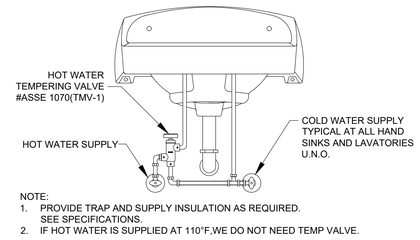
(#) KEY NOTES:
1. WATER HAMMER ARRESTOR (WHA) INSTALL AHEAD OF LAST FIXTURE SERVED BY BRANCH. (TYP)
2. CW PIPE
3. HW PIPE
4. CONNECT TO FIXTURE

WATER ARRESTOR SCHEDULE		
P.I.D. SYMBOL	FIXTURE UNIT RATING	SIZE (MM)
A	1-11	25
B	12-32	32
C	33-60	40
D	61-113	50

4 P4.0 WATER HAMMER ARRESTOR DETAIL
SCALE: N.T.S



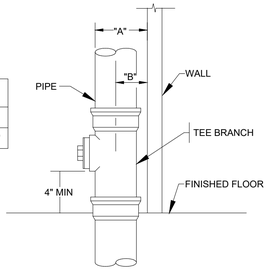
5 P4.0 PIPE HANGER SUPPORT DETAIL
SCALE: N.T.S



NOTE:
1. PROVIDE TRAP AND SUPPLY INSULATION AS REQUIRED. SEE SPECIFICATIONS.
2. IF HOT WATER IS SUPPLIED AT 110°F,WE DO NOT NEED TEMP VALVE.

6 P4.0 LAVATORY TEMPERING VALVE DETAIL
SCALE: N.T.S

"A" = PIPE SIZE MINIMUM DIMENSIONS			
"A"	4"	5"	6"
"B"	3-1/2"	4"	4-1/2"



7 P4.0 CLEANOUT AT BASE OF RISER DETAIL
SCALE: N.T.S

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PLUMBING DETAILS

P4.0

PLUMBING FIXTURE SCHEDULE

SYMBOL	MANUFACTURER	MODEL	FIXTURE	MOUNTING	HW	CW	WASTE	VENT	ACCESSORIES / REMARKS	
BALL VALVES	APOLLO / COBRANCO OR EQUAL	-	BALL VALVES	-	-	-	-	-	FULL PORT, BRASS BODY, 600 WOG	
BFP-1	WATTS OR EQUAL	LF007	-	-	-	-	-	-	1 1/2" RPZ, TEMPERATURE RANGE:33°F-180°F, MAXIMUM WORKING PRESSURE:175 PSI, LEAD FREE.	
ECO	ZURN OR EQUAL	Z-1400-S	EXTERNAL CLEAN OUT	FLOOR	-	-	SEE REMARKS	-	MATCH CONNECTED PIPE SIZE UP TO 4". CAST IRON BODY WITH BOTTOM OUTLET.	
L-1	KOHLER OR EQUAL	K-2882	LAVATORY	WALL	1/2"	1/2"	2"	2"	VITREOUS CHINA, UNDER MOUNT, ASME A112.19.2/CSA B45.1, ICC/ANSI A117.1, 17-1/4"(LENGTH)X 13"(WIDTH) X 3-1/8"(WATER DEPTH). WIDESPREAD BATHROOM SINK FAUCET, 1.2 GPM K-R21187-4D	
PIPE HANGERS	B-LINE OR EQUAL	200F	PIPE HANGERS	-	-	-	-	-	-	
UB-1	SHARKBITE OR EQUAL	SKU25099	WASHING MACHINE UTILITY BOX	-	1/2"	1/2"	2"	2"	UB BOX CAN BE USED ON COPPER,CPVC, PEX AND PE-RT. MAXI. WORKING PRESSURE: 200 PSI., MAXI. TEMPERATURE: 200°F, LEAD FREE DZR BRASS.	
WC-1	KOHLER OR EQUAL	K3999	WATER CLOSET	FLOOR	-	3/4"	4"	2"	WATER CLOSET: ELONGATED BOWL, TWO-PIECE DESIGN, SINGLE-FLUSH GRAVITY FORCE. 1.28 GALLON FLUSH.	
WHA	PRECISION PLUMBING PRODUCTS	SC SERIES	WATER HAMMER ARRESTOR	-	-	-	-	-	INSTALL AND SIZE PER MANUFACTURER'S INSTRUCTIONS. INSTALL AT ENDS OF COLD AND HOT WATER MAIN BRANCHES AND AT FAST-CLOSING VALVES OR ONE AT EACH FIXTURE. SHOW LOCATIONS ON RECORD DRAWINGS.	
FCO	ZURN	Z-CO2450	FLOOR CLEAN OUT	FLOOR	-	-	SEE REMARKS	-	MATCH CONNECTED PIPE SIZE UP TO 4". SECONDARY CLOSURE PLUG	
FD-1	ZURN	FD2210	FLOOR DRAIN	FLOOR	-	-	2"	2"	-	
HS-1	KROWNE OR EQUAL	HS-67	HAND SINK	WALL	1/2"	1/2"	2"	2"	TOP-MOUNT WORKSTATION HAND SINK, 16" WIDTH AND 6" DEPTH SINGLE BOWL.	
WT-1	MIDMARK OR EQUAL	-	WET TABLE	-	1/2"	1/2"	2"	2"	WET TREATMENT TABLES FEATURE STAINLESS-STEEL RACKS CONSTRUCTED FROM 18-GAUGE, 304 STAINLESS STEEL. STRAINER ASSEMBLY INCLUDED. SINGLE LEVER FAUCET AND 84 IN SPRAYER HOSE.	
-	DIRECT ANIMAL PRODUCT OR EQUAL	K1701	HAIR TRAP	-	-	-	-	-	DOG GROOMING TUB HAIR TRAP	

NOTE:
1. REFER TO ARCHITECTURE, OWNERSHIP OR INTERIOR DESIGNER FOR ALL FIXTURE SELECTION AND ACCESSORIES. ALL ARE SUBJECT TO CHANGE.

PIPING MATERIALS SCHEDULE

PLAN TAG	PLUMBING SYSTEM DESCRIPTION	INSTALLATION	SIZES	SYSTEM MATERIAL AND FITTING SPECIFICATION
SW	SANITARY (SOIL) PIPING	SUSPENDED	2-1/2" AND SMALLER	SANITARY PIPE AND FITTINGS SHALL BE POLYVINYL CHLORIDE (PVC) PER ASTM D 2665, WITH GASKETS PER ASTM C 1440, ELASTOMERIC SEAL
			3" AND LARGER	SANITARY PIPE AND FITTINGS SHALL BE POLYVINYL CHLORIDE (PVC) PER ASTM D 2665, WITH GASKETS PER ASTM C 1440, ELASTOMERIC SEAL
		BURIED	3" AND LARGER	SANITARY PIPE AND FITTINGS SHALL BE POLYVINYL CHLORIDE (PVC) PER ASTM D 2665, WITH GASKETS PER ASTM C 1440, ELASTOMERIC SEAL
V	VENT PIPING (ALL SYSTEMS)	SUSPENDED	2-1/2" AND SMALLER	SANITARY PIPE AND FITTINGS SHALL BE POLYVINYL CHLORIDE (PVC) PER ASTM D 2665, WITH GASKETS PER ASTM C 1440, ELASTOMERIC SEAL
				SANITARY PIPE AND FITTINGS SHALL BE POLYVINYL CHLORIDE (PVC) PER ASTM D 2665, WITH GASKETS PER ASTM C 1440, ELASTOMERIC SEAL
			3" AND LARGER	SANITARY PIPE AND FITTINGS SHALL BE POLYVINYL CHLORIDE (PVC) PER ASTM D 2665, WITH GASKETS PER ASTM C 1440, ELASTOMERIC SEAL
				SANITARY PIPE AND FITTINGS SHALL BE POLYVINYL CHLORIDE (PVC) PER ASTM D 2665, WITH GASKETS PER ASTM C 1440, ELASTOMERIC SEAL
		BURIED	2" AND LARGER	SANITARY PIPE AND FITTINGS SHALL BE POLYVINYL CHLORIDE (PVC) PER ASTM D 2665, WITH GASKETS PER ASTM C 1440, ELASTOMERIC SEAL
				SANITARY PIPE AND FITTINGS SHALL BE POLYVINYL CHLORIDE (PVC) PER ASTM D 2665, WITH GASKETS PER ASTM C 1440, ELASTOMERIC SEAL
CW	DOMESTIC COLD WATER DISTRIBUTION	SUSPENDED	2" AND SMALLER	COPPER PIPE, ASTM B88, DRAWN TYPE L AND K WITH WROUGHT COPPER PRESSURE FITTINGS, SOLDERED, ASTM B16.22
			2 1/2" AND LARGER	
		BURIED	2" AND SMALLER	COPPER PIPE, ASTM B88, DRAWN TYPE L AND K WITH WROUGHT COPPER PRESSURE FITTINGS, SOLDERED, ASTM B16.22
			2 1/2" AND LARGER	
HW & HWR	DOMESTIC HOT WATER DISTRIBUTION	SUSPENDED	2" AND SMALLER	COPPER PIPE, ASTM B88, DRAWN TYPE L AND K WITH WROUGHT COPPER PRESSURE FITTINGS, SOLDERED, ASTM B16.22
			2 1/2" AND LARGER	
		BURIED	2" AND SMALLER	COPPER PIPE, ASTM B88, DRAWN TYPE L AND K WITH WROUGHT COPPER PRESSURE FITTINGS, SOLDERED, ASTM B16.22
			2 1/2" AND LARGER	

NOTE:
THE MATERIALS ARE SUBJECT TO CHANGE WITH APPROVAL OF ARCHITECTURE OR OWNER.

UNIT : PLUMBING FIXTURE DEMAND TABULATION

FIXTURE	DESCRIPTION	OCCUPANCY	QTY.	DRAINAGE FIXTURE UNITS	SUB-TOTAL	LOAD VALUES IN WATER (EACH) SUPPLY FIXTURE UNITS (WSFU)			LOAD VALUES IN WATER (TOTAL) SUPPLY FIXTURE UNITS (WSFU)			REMARK
						COLD	HOT	TOTAL	COLD	HOT	TOTAL	
WC	WATER CLOSET(E)	PUBLIC	1	4	4	3	0	3.0	3.0	0.0	3	
LAV	LAVATORY(E)	PUBLIC	1	2	2	1.0	1.0	2.0	1.0	1.0	2	
HS	HAND SINK(E)	PUBLIC	2	2	4	2.0	2.0	3.0	4.0	4.0	6	
MB	MOP SINK(E)	PUBLIC	1	3	3	2.0	2.0	3.0	2.0	2.0	3	
SS	SERVICE SINK(E)	PUBLIC	1	3	3	2.0	2.0	3.0	2.0	2.0	3	
WT-1	WET TABLE	PUBLIC	1	2	2	1.5	1.5	2.0	1.5	1.5	2	
UB-1	UTILIY BOX	PUBLIC	1	3	3	3.0	3.0	4.0	3.0	3.0	4	
WC-1	WATER CLOSET	PUBLIC	1	4	4	3.0	0.0	3.0	3.0	0.0	3	
L-1	LAVATORY	PUBLIC	1	1	1	1.0	1.0	2.0	1.0	1.0	2	
HS-1	HAND SINK	PUBLIC	2	2	4	2.0	2.0	3.0	4.0	4.0	6	
FD-1	FLOOR DRAIN	PUBLIC	2	2	4	-	-	-	-	-	-	
REF	REFRIGERATOR	PUBLIC	1	0	0	0.5	0	0.5	0.5	0.0	0.5	
TOTALS					34	DFU			25.0	18.5	34.5	WSFU
DFU = DRAINAGE FIXTURE UNITS					EIGHTH	INCH SLOPE PER FOOT			17	14	-	GPM
WSFU = WATER SUPPLY FIXTURE UNITS					4"	DIAMETER OF PIPE (INCHES)			1"	1"	-	INCHES REQ'D.

EXISTING GAS WATER HEATER SCHEDULE

SYMBOL	TYPE	QTY.	LOCATION	TANK CAPACITY (GAL.)	RATED CAPACITY (GAL.)	GAS INPUT MBTU/HR	TEMPERATURE RISE (°F)	RECOVERY IN G.P.H. 90°F RISE	WATER CONNECTION SIZE (INCH.)	SUPPLY GAS CONNECTION (INCH.)	VENT SIZE (INCH.)	DIMENSION (INCH.)		SHIPPING WEIGHT (LBS)	UEF	MODEL	BASIS OF DESIGN
												DIAMETER	HEIGHT				
GWH-1(E)	NATURAL GAS	1	STORE	75	72	76	90	82	1"	1/2"	4"Ø	26"	59-5/8"	240	0.59	RG275H6N	BRADFORD WHITE

NOTES:
1. INSTALL PER MANUFACTURER INSTRUCTIONS.
2. USE ONLY VENT TERMINALS PROVIDED OR FACTORY AUTHORIZED TERMINALS FOR VENTING THIS WATER HEATER.
3. THIS WATER HEATER REQUIRES IT'S OWN SEPARATE VENTING SYSTEM. DO NOT CONNECT THE EXHAUST VENT INTO ANY EXITING VENT OR CHIMNEY.

EXPANSION TANK SCHEDULE

SYMBOL	QTY.	TANK VOLUME (GAL)	MAX. ACCEPTANCE FACTOR	TANK ACCEPT. VOLUME (GAL)	TYPE	BLADDER MATERIAL	SHELL MATERIAL	MAX. OPERATING TEMPERATURE (°F)	MAX. WORKING PRESSURE (PSIG)	SHIPPING WEIGHT (LBS)	DIMENSION (DIA. X HIEGHT)	MODEL	BASIS OF DESIGN	NOTES
ET-1	1	2.0	0.45	0.9	REPLACEBLE BLADDER	HEAVY DUTY BUTYL	STEEL	200	150	5	8"X13"	ST-5	AMTROL	1,2,3

NOTES:
1. INSTALL PER MANUFACTURER INSTRUCTIONS.
2. PROVIDE WITH STANDARD SCHRADER TIRE VALVE CONNECTION.
3. ADJUST CHARGE PRESSURE IN FIELD.

THERMOSTATIC MIXING VALVE

TAG NO.	DESCRIPTION	CONNECTION		MODEL	MANUFACTURER	COMMENTS
		COLD	HOT			
TMV-1	THERMOSTATIC MIXING VALVE (LOCAL)	3/8"	3/8"	LFUSG-B	WATTS	ASSE #1070
TMV-2	THERMOSTATIC MIXING VALVE (MASTER)	1 1/4"	1 1/4"	LFN170-M3	WATTS	ASSE #1017

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PLUMBING SCHEDULES

P5.0

ELECTRICAL LEGEND

POWER

- DUPLEX RECEPTACLE
- ABOVE COUNTER DUPLEX RECEPTACLE
- FLOOR/CEILING DUPLEX RECEPTACLE
- QUADPLEX RECEPTACLE
- SPECIAL RECEPTACLE
- PANEL BOARD
- (E) (E) E-CONNECTION - CEILING / WALL

LOW VOLTAGE

- VOICE/DATA OUTLET
- FLOOR / CEILING VOICE/DATA OUTLET

LIGHTING

- $ SWITCH
- $D DIMMER SWITCH
- $3W 3 - WAY SWITCH
- $VS VACANCY SENSOR (WALL MOUNT)
- $OS OCCUPANCY SENSOR (WALL MOUNT)
- VS VACANCY SENSOR (CEILING)
- OS OCCUPANCY SENSOR (CEILING)
- BATTERY EMERGENCY LIGHT (WALL MOUNT)
- EXIT SIGN
- X UPPERCASE LETTER DENOTES FIXTURE TAG
- x LOWERCASE LETTER DENOTES SWITCH DESIGNATION

ANNOTATION

- X KEYED NOTE TAG
- X KEYED NOTE TAG
- A REVISION NOTE TAG

ELECTRICAL ABBREVIATIONS

ACP	ACCESS CONTROL PANEL
AOR	AREA OF RESCUE
AFF	ABOVE FINISHED FLOOR
BOH	BACK OF HOUSE
C	CEILING MOUNTED
CL	CENTER LINE
CKT	CIRCUIT
D	DEDICATED
EC	ELECTRICAL CONTRACTOR
EM	EMERGENCY
EX	EXISTING
(E)	EXISTING TO REMAIN
ER	EXISTING, RELOCATED
FAC	FIRE ALARM CONTRACTOR
FPC	FIRE PROTECTION CONTRACTOR
GC	GENERAL CONTRACTOR
GFI	GROUND FAULT CIRCUIT INTERRUPTER
HD	HAND DRYER
LVC	LOW VOLTAGE CONTRACTOR
MC	MECHANICAL CONTRACTOR
MT	MOUNT
NL	NIGHT LIGHT
PC	PLUMBING CONTRACTOR
PL	PILOT LIGHT
SM	SURFACE MOUNT
TC	TIMECLOCK
TGB	TELECOMMUNICATIONS GROUND BUS
TTC	TELEPHONE TERMINAL CABINET
W	WALL MOUNT AT 48" A.F.F.
WP	WEATHERPROOF

MISCELLANEOUS

- J J JUNCTION BOX - CEILING/WALL MOUNTED
- PB PULL BOX
- M METER
- DISCONNECT SWITCH
- FUSED DISCONNECT SWITCH

APPLICABLE CODES

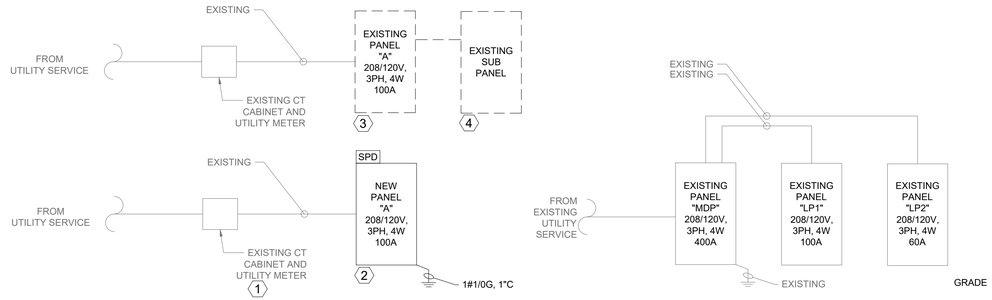
1. 2020 NFPA NATIONAL ELECTRICAL CODE (NEC)
2. 2021 INTERNATIONAL BUILDING CODE(IBC)
3. 2014 ILLINOIS PLUMBING CODE
4. 2018 INTERNATIONAL ENERGY CONSERVATION CODE(IECC)
5. 2021 INTERNATIONAL MECHANICAL CODE(IMC)
6. 2021INTERNATIONAL FUEL GAS CODE (IFGC)

LINE WEIGHT LEGEND

- NEW
- EXISTING
- DEMO

ELECTRICAL SHEET INDEX

SR NO.	SHEET NO.	SHEET NAME	SCALE
1	E0.0	ELECTRICAL COVER SHEET	N.T.S.
2	E1.0	LIGHTING FLOOR PLAN	1/4" = 1'-0"
3	E2.0	POWER FLOOR PLAN	1/4" = 1'-0"
4	E2.1	ELECTRICAL ROOF PLAN	1/4" = 1'-0"
5	E3.0	ELECTRICAL SCHEDULES	N.T.S.



1 EXISTING ELECTRICAL ONE-LINE DIAGRAM

SCALE: N.T.S.

ONE-LINE GENERAL NOTES:

1. ABOVE RISER DIAGRAM IS FOR REFERENCE PURPOSE ONLY. E.C. SHALL VERIFY EXACT DISTRIBUTION IN FIELD AND INFORM ENGINEER FOR ANY DISCREPANCY.
2. REFERENCE THE NOTES FOR ADDITIONAL REQUIREMENTS REGARDING EQUIPMENT AND INSTALLATION.
3. CONTRACTOR SHALL LABEL ALL DISTRIBUTION EQUIPMENT PRIOR TO FINAL OBSERVATION WALK THROUGH.

X ONE-LINE KEYED NOTES

1. EXISTING ELECTRICAL METER AND CT CABINET SHALL REMAIN.
2. EXISTING 100A, 120/208V, 3-PHASE, 4-WIRE ELECTRICAL PANEL SHALL BE REMOVED AND REPLACE WITH NEW 100A, 120/208V, 3-PHASE, 4-WIRE ELECTRICAL PANEL "A". EXTEND CONDUIT AND WIRE AS NEEDED.
3. DEMOLISH THE EXISTING 100A , 208/120V, 3-PHASE, 4-WIRE ELECTRICAL PANEL.
4. DEMOLISH THE EXISTING SUB-PANEL.

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ELECTRICAL COVER SHEET

E0.0

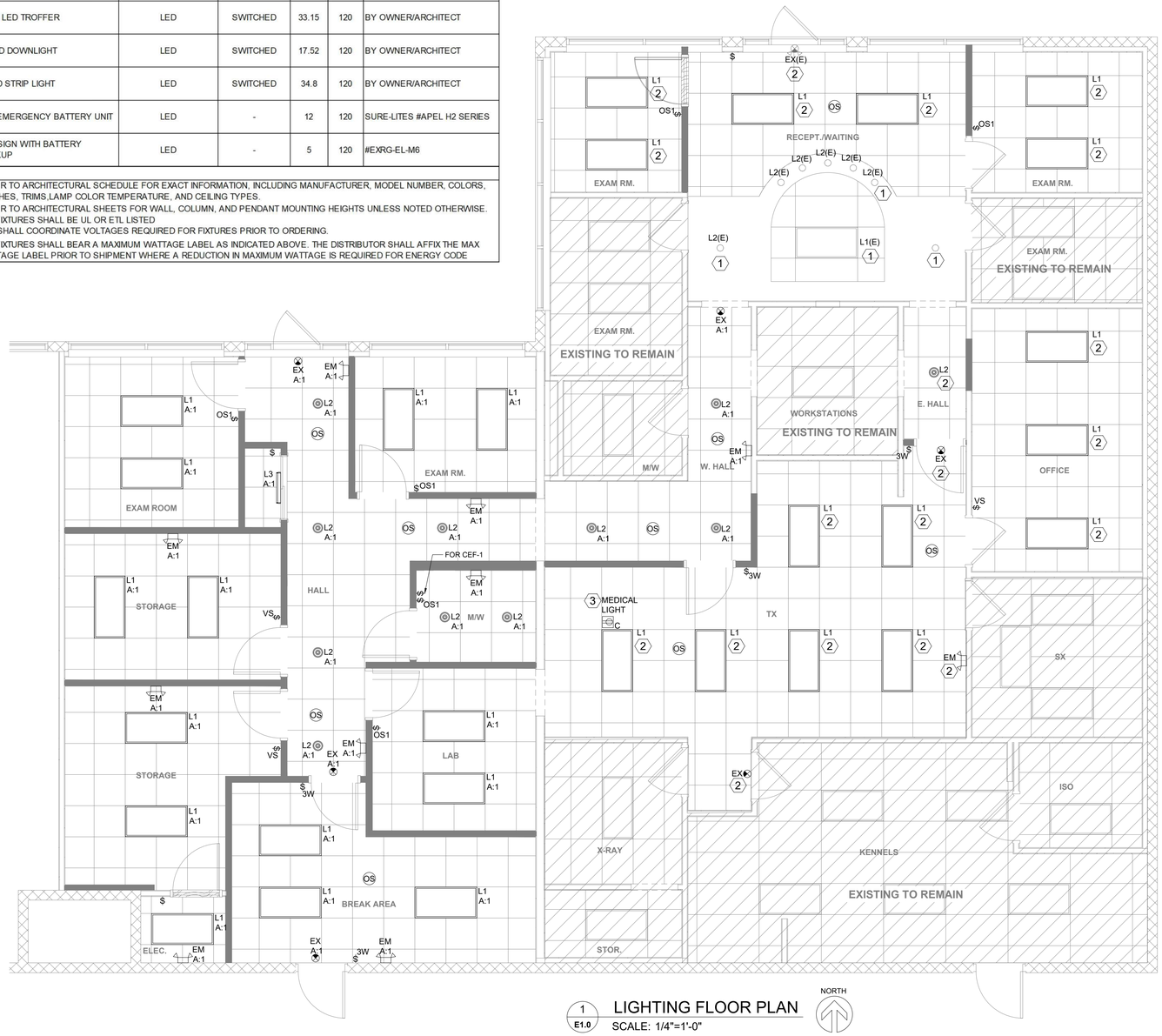
LIGHTING CONTROL SCHEDULE

TAG	DESCRIPTION	MAKE/MODEL	WALL/CEILING	VOLTAGE	DEVICE DELAY SETTING	OPERATION	SENSING	RANGE (12' MOUNTING)	REMARKS
OS	OCCUPANCY MODE CEILING MOUNT, DUAL TECHNOLOGY	SENSORSWITCH "CMR-PDT-10"	CEILING	120/277VAC	20 MIN	AUTO ON/OFF	INFRARED / MICROPHONICS	15' DIAMETER	120V, 800W MAX; 277V, 1200W MAX. PROVIDE KEYED WALL SWITCH FOR MANUAL LTG CONTROL
OS1	OCCUPANCY MODE WALL MOUNT, DUAL TECHNOLOGY	SENSORSWITCH "WSX-PDT-SA"	WALL	120/277VAC	20 MIN	AUTO ON/OFF	INFRARED / MICROPHONICS	18' X 18'	SINGLE OUTPUT LOAD CONTROL, 120V, 800W MAX; 277V, 1200W MAX
VS	VACANCY MODE, WALL MOUNT, DUAL TECHNOLOGY	SENSORSWITCH "WSX-PDT-SA"	WALL	120/277VAC	20 MIN	MANUAL ON / AUTO OFF	INFRARED / MICROPHONICS	18' X 18'	SINGLE OUTPUT LOAD CONTROL, 120V, 800W MAX; 277V, 1200W MAX

NOTES:
1. CONTRACTOR SHALL INSTALL VACANCY AND OCCUPANCY/SENSOR DEVICES PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. CONTRACTOR SHALL PROVIDE OWNER TRAINING ON THE OPERATION OF ALL LIGHTING CONTROL DEVICES PRIOR TO TURN-OVER.
3. CONTACTOR SHALL RE-VISIT PROJECT SITE 30 DAYS POST-TURN OVER TO ADJUST CONTROL DEVICES WITH OWNER.
4. PROVIDE POWER PACKS AS REQUIRED FOR CONTROLS INDICATED.
5. ENABLE WALK THRU MODE ON ALL SENSORS WHERE PROVIDED.
6. BASIS OF DESIGN IS SENSOR SWITCH. PROVIDE SENSOR SWITCH OR APPROVED EQUAL.

TAG	LUMINAIRE DESCRIPTION	LAMPS/LUMINAIRE TYPE	CONTROL TYPE	LUMINAIRE MAX VA	LUMINAIRE VOLTS	MANUFACTURER & CATALOG NUMBER
L1	2' x 4' LED TROFFER	LED	SWITCHED	33.15	120	BY OWNER/ARCHITECT
L2	6" LED DOWNLIGHT	LED	SWITCHED	17.52	120	BY OWNER/ARCHITECT
L3	4' LED STRIP LIGHT	LED	SWITCHED	34.8	120	BY OWNER/ARCHITECT
EM	LED EMERGENCY BATTERY UNIT	LED	-	12	120	SURE-LITES #APEL H2 SERIES
EX	EXIT SIGN WITH BATTERY BACKUP	LED	-	5	120	#EXRG-EL-M6

NOTES:
1. REFER TO ARCHITECTURAL SCHEDULE FOR EXACT INFORMATION, INCLUDING MANUFACTURER, MODEL NUMBER, COLORS, FINISHES, TRIMS,LAMP COLOR TEMPERATURE, AND CEILING TYPES.
2. REFER TO ARCHITECTURAL SHEETS FOR WALL, COLUMN, AND PENDANT MOUNTING HEIGHTS UNLESS NOTED OTHERWISE.
3. ALL FIXTURES SHALL BE UL OR ETL LISTED
4. E.C. SHALL COORDINATE VOLTAGES REQUIRED FOR FIXTURES PRIOR TO ORDERING.
5. ALL FIXTURES SHALL BEAR A MAXIMUM WATTAGE LABEL AS INDICATED ABOVE. THE DISTRIBUTOR SHALL AFFIX THE MAX WATTAGE LABEL PRIOR TO SHIPMENT WHERE A REDUCTION IN MAXIMUM WATTAGE IS REQUIRED FOR ENERGY CODE



1 E1.0 LIGHTING FLOOR PLAN
SCALE: 1/4"=1'-0"

NORTH

LIGHTING GENERAL NOTES

1. PROVIDE DEDICATED NEUTRAL TO EACH FIXTURE.
2. ALL EMERGENCY AND EXIT LIGHT FIXTURES SHALL BE CONNECTED AHEAD OF SWITCHING LIGHTING CIRCUIT FOR CONTINUOUS OPERATIONS.
3. ALL EGRESS LIGHTS SHALL BE PROVIDED WITH DUAL LAMPS.
4. CIRCUIT NUMBERS USED ARE INTENT OF DESIGN ONLY. ELECTRICAL CONTRACTOR SHALL COORDINATE ACTUAL CIRCUITS TO BE USED, WHERE CIRCUITS IN EXISTING PANELS ARE USED.
5. WHERE MULTIPLE SWITCHES ARE MOUNTED AT THE SAME LOCATION, ELECTRICAL CONTRACTOR SHALL PROVIDE A SINGLE COMMON FACEPLATE WHENEVER POSSIBLE.
6. ELECTRICAL CONTRACTOR TO COORDINATE WITH ARCHITECT/OWNER FOR LIGHT FIXTURE SELECTION, WATTAGE AND QUANTITY.

(X) LIGHTING PLAN KEYED NOTES

1. EXISTING LIGHT FIXTURE AND ITS LIGHTING CONTROL SHALL REMAIN.
2. E.C. SHALL CONNECT THE NEW LIGHTING FIXTURES TO EXISTING NEAREST ROOM LIGHTING CIRCUIT. EXTEND THE EXISTING CONDUIT AND WIRING AS NEEDED.
3. CEILING MOUNTED RECEPTACLE FOR MEDICAL LIGHT. E.C. SHALL CONNECT THE MEDICAL LIGHTS TO EXISTING NEAREST ROOM LIGHTING CIRCUIT. EXTEND THE CONDUIT AND WIRING AS NEEDED.

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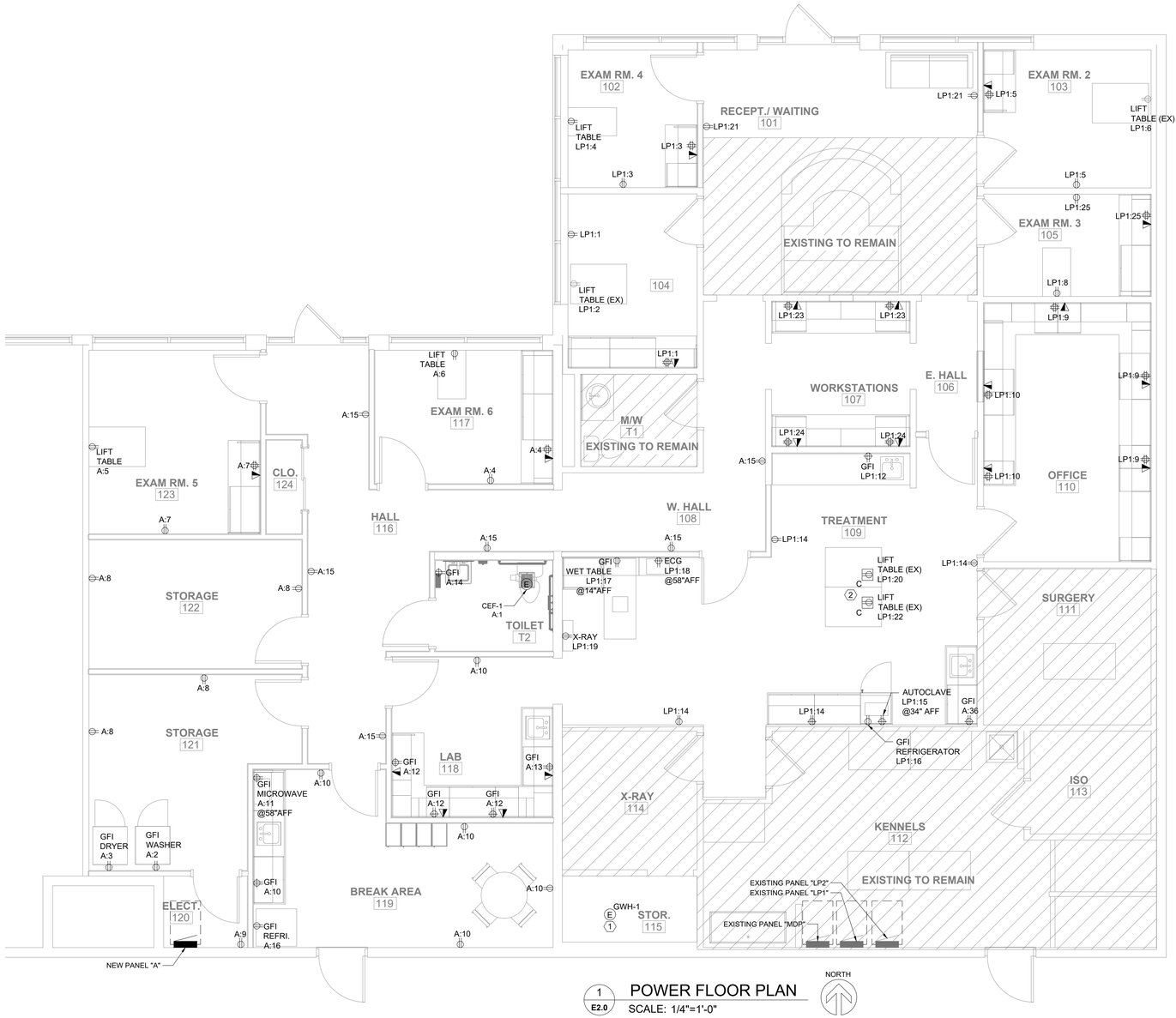
LIGHTING FLOOR PLAN

E1.0



1 E2.0 POWER FLOOR PLAN

SCALE: 1/4"=1'-0"

NORTH

POWER GENERAL NOTES

1. ALL ABOVE COUNTER RECEPTACLES SHALL BE MOUNTED 42" AFF. UNLESS NOTED OTHERWISE.
2. ALL 125V, 15A AND 20A RECEPTACLES LOCATED OUTDOORS, OR WITHIN 6'-0" OF A SINK OR BASIN OR LOCATED WITHIN BATHROOMS & TREATMENT ROOM SHALL BE GFCI PROTECTED VIA GFCI BREAKERS. REFER TO PANEL SCHEDULE FOR MORE INFORMATION.
3. ALL 20A BRANCH CIRCUITS SHALL USE #12AWG CONDUCTORS IN ¾"C MINIMUM. CONTRACTOR SHALL PROVIDE HOMERUNS TO ELECTRICAL PANELS AS REQUIRED. EACH CIRCUIT SHALL CONTAIN A DEDICATED NEUTRAL CONDUCTOR FOR A MAX. OF (1) NETWORK PER HOMERUN. ALL FEEDERS OR BRANCH CIRCUITS GREATER THAN 75' IN LENGTH SHALL BE INCREASED IN SIZE AS REQUIRED TO COMPENSATE FOR VOLTAGE DROP. ALL OTHER CIRCUITS CONDUCTORS SHALL BE SIZED TO MATCH THEIR RESPECTIVE OVER CURRENT PROTECTIVE DEVICES U.N.O.
4. COORDINATE DEVICE ELEVATIONS WITH ARCHITECTURAL PLANS PRIOR TO ROUGH-IN.
5. METALLIC CONDUIT MAY NOT BE USED AS AN EFFECTIVE GROUND PATH. PROVIDE A DEDICATED GROUND CONDUCTOR FOR ALL BRANCH CIRCUITS & FEEDERS.
6. THE CONTRACTOR SHALL REVIEW ALL EQUIPMENT CUTS PRIOR TO THE ROUGH-IN OF ANY ELECTRICAL DEVICES. COORDINATE EQUIPMENT REQUIREMENTS AND ELEVATIONS PRIOR TO ROUGH-IN. TYP.
7. CIRCUIT NUMBERS USED ARE FOR INTENT OF DESIGN ONLY. ELECTRICAL CONTRACTOR SHALL COORDINATE ACTUAL CIRCUITS TO BE USED, WHERE CIRCUITS IN EXISTING PANELS ARE USED.
8. WIRING METHODS IN CARE SPACES ALL BRANCH CIRCUITS SERVING CARE SPACES SHALL BE PROVIDED WITH AN EFFECTIVE GROUND-FAULT PATH BY INSTALLATION IN A METAL RACEWAY SYSTEM OR A CABLE HAVING A METALLIC ARMOR OR SHEATH ASSEMBLY. THE METAL RACEWAY SYSTEM, METALLIC CABLE ARMOR, OR SHEATH ASSEMBLY ITSELF QUALIFY AS AN EQUIPMENT GROUNDING CONDUCTOR IN ACCORDANCE WITH NEW YORK STATE ELECTRICAL CODE 2017.
9. E.C. SHALL PROVIDE TAMPER RESISTANT RECEPTACLES REQUIRED IN OFFICES, CORRIDORS, WAITING ROOMS AND THE LIKE IN CLINICS, MEDICAL AND OFFICES, ALL NON-LOCKING-TYPE 125V, 15A AND 20A RECEPTACLES SHALL BE TAMPER-RESISTANT.

(X) POWER PLAN KEYED NOTES

1. RELOCATED EXISTING WATER HEATER. E.C. SHALL PROVIDE NEW ELECTRICAL CONNECTION AND CONNECT ITS ELECTRICAL CONNECTION TO EXISTING CIRCUIT.
2. E.C. SHALL PROVIDE THE POWER FOR RELOCATED LIFT TABLE , COORDINATE EXACT LOCATION AND REQUIREMENT WITH ARCHITECT/OWNER/MANUFACTURE.

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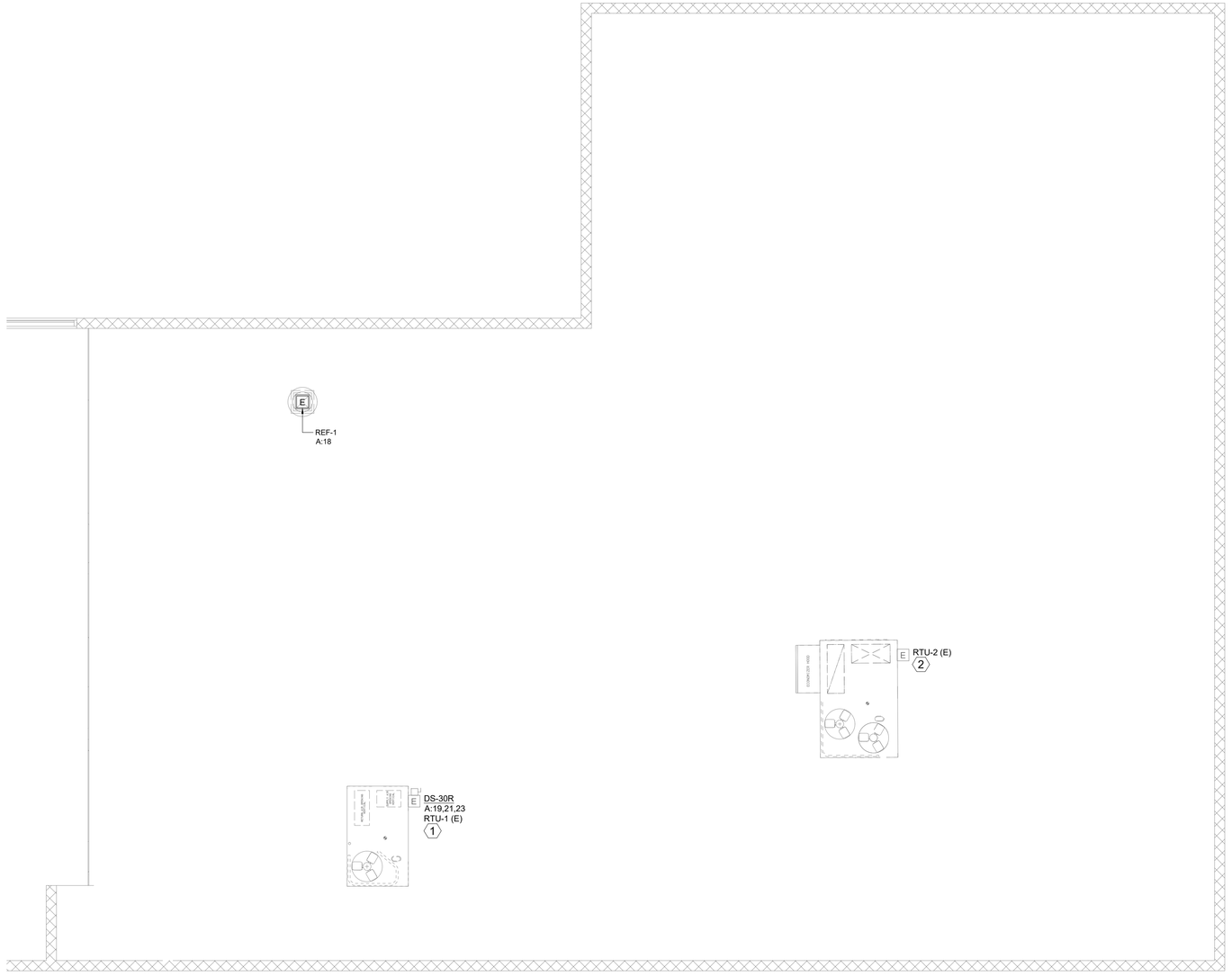
POWER FLOOR PLAN

E2.0

ⓧ ELECTRICAL ROOF KEYED NOTES

1. EXISTING ELECTRICAL CONNECTION & DISCONNECT TO EXISTING RTU-1 SHALL REMAIN. E.C. SHALL RE-ROUTE THE ELECTRICAL CIRCUIT OF EXISTING RTU-1 TO ELECTRICAL PANEL "A".
2. EXISTING ELECTRICAL CONNECTION TO EXISTING RTU-2 SHALL REMAIN AS IS.



1 / E2.1 ELECTRICAL ROOF PLAN
SCALE: 1/4"=1'-0"

NORTH

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ELECTRICAL ROOF PLAN

E2.1

TAG:	PANEL 'A'												
LOAD	LOAD TYPE	A	B	C	AMPS	CKT. NO.	CKT. NO.	AMPS	A	B	C	LOAD TYPE	LOAD
LIGHTING	L	756			20	1	2	20	1000			A	WASHER
GAS DRYER	A		180		20	3	4	20		540		R	EXAM ROOM 6 RECEPTACLE(S)
EXAM ROOM 5 LIFT TABLE (EX)	EQ			180	20	5	6	20			180	EQ	EXAM ROOM 6 LIFT TABLE
EXAM ROOM 5 RECEPTACLE(S)	R	540			20	7	8	20	720			R	STORAGE RECEPTACLE(S)
ELECTRICAL ROOM RECEPTACLE(S)	R		180		20	9	10	20		900		R	BREAK ROOM RECEPTACLE(S)
MICROWAVE	A			1200	20	11	12	20			720	R	LAB RECEPTACLE(S)
LAB GFI RECEPTACLE(S)	R	180			20	13	14	20	180			R	TOILET RECEPTACLE(S)
HALLWAY RECEPTACLE(S)	R		900		20	15	16	20		1200		A	REFRIGERATOR
GAS DRYER	A			180	20	17	18	20			228	H	REF-1
EXISTING RTU-1 (E)	H	2162			30	19	20	20					SPARE
	H		2162			21	22	20					SPARE
	H			2162		23	24	20					SPARE
SPARE					20	25	26	30					SPD
SPARE					20	27	28						
SPARE					20	29	30						
SUBTOTAL #1		3638	3422	3722					1900	2640	1128		SUBTOTAL #2
SUBTOTAL #2		1900	2640	1128									
SUBTOTAL #1 + #2		5538	6062	4850									

TOTAL PANEL LOAD:	16.4	KVA	45.7	AMPS.	44.1	DEMAND AMPS.
VOLTS:	120/208V	3PH	4W	MIN. WITHSTAND:	10k	
MAINS:	100	A MCB				
MOUNTING:	SEE PLANS			FT=FEED THRU,ST=SHUNT TRIP,AF=ARC FAULT,GF=GROUND FAULT,GC=GFCI,LO=LOCK ON		

NOTES:
1.CONTRACTOR SHALL PROVIDE ADEQUATE WITHSTAND RATING OF EQUIPMENT PER AVAILABLE FAULT CURRENT FROM THE EXISTING UTILITY OR DISTRIBUTION. COORDINATE WITH UTILITY.
2.THE CONTRACTOR SHALL ADJUST CIRCUITS AS REQUIRED BASED ON FINAL EQUIPMENT TO MAINTAIN 10% LOADING BETWEEN PHASES.
3.VERIFY ELECTRICAL REQUIREMENTS AND EQUIPMENT LOCATION PRIOR TO ROUGH-IN.

TAG:	EXISTING PANEL 'MDP'												
LOAD	LOAD TYPE	A	B	C	AMPS	CKT. NO.	CKT. NO.	AMPS	A	B	C	LOAD TYPE	LOAD
EXISTING ICE BIN					30	1	2						SPACE
						3	4						
EXISTING CONDENSER					30	5	6						SPACE
						7	8						
SPARE					30	9	10						
						11	12	30					EXISTING WATER HEATER
EXISTING RTU					60	13	14						
						15	16						
						17	18	60					SPARE
						19	20						
EXISTING PANEL "LP2"	P		0		60	21	22						
	P			0		23	24	60					SPARE
	P	0				25	26						
EXISTING XRAY MACHINE					100	27	28			5300		P	
						29	30	100			2830	P	EXISTING PANEL "LP1"
						31	32		2940			P	
SUBTOTAL #1		0	0	0					2940	5300	2830		SUBTOTAL #2
SUBTOTAL #2		2940	5300	2830									
SUBTOTAL #1 + #2		2940	5300	2830									

NEW ADDED LOAD:	11.1	KVA	30.7	AMPS.	30.7	NEW DEMAND AMPS.
VOLTS:	120/208V	3PH	4W	MIN. WITHSTAND:	EXISTING	
MAINS:	400	A MCB				
MOUNTING:	SEE PLANS			FT=FEED THRU,ST=SHUNT TRIP,AF=ARC FAULT,GF=GROUND FAULT,GC=GFCI,LO=LOCK ON		

NOTES:
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2.THE CONTRACTOR SHALL ADJUST CIRCUITS AS REQUIRED BASED ON FINAL EQUIPMENT TO MAINTAIN 10% LOADING BETWEEN PHASES.
3.VERIFY ELECTRICAL REQUIREMENTS AND EQUIPMENT LOCATION PRIOR TO ROUGH-IN.

TAG:	EXISTING PANEL 'LP1'												
LOAD	LOAD TYPE	A	B	C	AMPS	CKT. NO.	CKT. NO.	AMPS	A	B	C	LOAD TYPE	LOAD
EXAM ROOM-1 RECEPTACLE(S)	R	540			20	1	2	20	180			EQ	EXAM ROOM-1 LIFT TABLE
EXAM ROOM-4 RECEPTACLE(S)	R		540		20	3	4	20		180		EQ	EXAM ROOM-4 LIFT TABLE
EXAM ROOM-2 RECEPTACLE(S)	R			540	20	5	6	20			180	EQ	EXAM ROOM-2 LIFT TABLE
EXISTING XRAY ROOM LIGHT					20	7	8	20	180			R	FOLD TABLE RECEPTACLE
OFFICE ROOM RECEPTACLE(S)	R		1080		20	9	10	20		720		R	OFFICE ROOM RECEPTACLE(S)
EXISTING FAX MACHINE					20	11	12	20			180	R	TREATMENT ROOM GFI RECEPTACLE(S)
EXISTING KENNAL ROOM LIGHTING					20	13	14	20	720			R	TREATMENT ROOM RECEPTACLE(S)
AUTOCLAVE	EQ		1440		20	15	16	20		800		A	UNDER COUNTER REFRIGERATOR
WET TABLE RECEPTACLE(S)	EQ			180	20	17	18	20			310	A	ECG MACHINE
X-RAY MACHINE	A	600			20	19	20	20	180			EQ	TREATMENT ROOM LIFT TABLE
RECEP./WAITING ROOM RECEPTACLE(S)	R		360		20	21	22	20		180		EQ	TREATMENT ROOM LIFT TABLE
WORKSTATION RECEPTACLE(S)	R			720	20	23	24	20			720	R	WORKSTATION RECEPTACLE(S)
EXAM ROOM-3 RECEPTACLE(S)	R	540			20	25	26	20					SPARE
SPARE					20	27	28	20					SPARE
SPARE					20	29	30	20					SPARE
SUBTOTAL #1		1680	3420	1440					1260	1880	1390		SUBTOTAL #2
SUBTOTAL #2		1260	1880	1390									
SUBTOTAL #1 + #2		2940	5300	2830									

NEW ADDED LOAD:	11.1	KVA	30.7	AMPS.	30.7	NEW DEMAND AMPS.
VOLTS:	120/208V	3PH	4W	MIN. WITHSTAND:	EXISTING	
MAINS:	100	A MLO				
MOUNTING:	SEE PLANS			FT=FEED THRU,ST=SHUNT TRIP,AF=ARC FAULT,GF=GROUND FAULT,GC=GFCI,LO=LOCK ON		

NOTES:
1.CONTRACTOR SHALL PROVIDE ADEQUATE WITHSTAND RATING OF EQUIPMENT PER AVAILABLE FAULT CURRENT FROM THE EXISTING UTILITY OR DISTRIBUTION. COORDINATE WITH UTILITY.
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3.VERIFY ELECTRICAL REQUIREMENTS AND EQUIPMENT LOCATION PRIOR TO ROUGH-IN.

TAG:	EXISTING PANEL 'LP2'												
LOAD	LOAD TYPE	A	B	C	AMPS	CKT. NO.	CKT. NO.	AMPS	A	B	C	LOAD TYPE	LOAD
SPARE					20	1	2	20					SPARE
SPARE					20	3	4	20					SPARE
SPARE					20	5	6	20					SPARE
EXISITNG LIGHTING LOAD					20	7	8	20					EXISTING SURGERY MONITOR
SPARE					20	9	10	20					SPARE
EXISTING X-RAY ROOM LOAD					20	11	12	20					SPARE
SPARE					20	13	14	20					SPARE
SPARE					20	15	16	20					SPARE
SPARE					20	17	18	20					SPARE
SPARE					20	19	20	20					SPARE
SPARE					20	21	22	20					SPARE
SPACE					20	23	24	20					SPACE
SPACE					20	25	26	20					SPACE
SPACE					20	27	28	20					SPACE
SPACE					20	29	30	20					SPACE
SUBTOTAL #1		0	0	0					0	0	0		SUBTOTAL #2
SUBTOTAL #2		0	0	0									
SUBTOTAL #1 + #2		0	0	0									

TOTAL PANEL LOAD:	0.0	KVA	0.0	AMPS.	0.0	DEMAND AMPS.
VOLTS:	120/208V	3PH	4W	MIN. WITHSTAND:	EXISTING	
MAINS:	60	A MLO				
MOUNTING:	SEE PLANS			FT=FEED THRU,ST=SHUNT TRIP,AF=ARC FAULT,GF=GROUND FAULT,GC=GFCI,LO=LOCK ON		

NOTES:
1.CONTRACTOR SHALL PROVIDE ADEQUATE WITHSTAND RATING OF EQUIPMENT PER AVAILABLE FAULT CURRENT FROM THE EXISTING UTILITY OR DISTRIBUTION. COORDINATE WITH UTILITY.
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3.VERIFY ELECTRICAL REQUIREMENTS AND EQUIPMENT LOCATION PRIOR TO ROUGH-IN.

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062.065805
STATE OF ILLINOIS

EXP: 12/21/2023

FOX ANIMAL HOSPITAL

2107 CRAWFORD AVE,
EVANSTON, IL 60201

Schematic Design:
Design Development
Bidding:
Permit:

ISSUE DATE: **07/25/2023**

POST BID/PERMIT REVISIONS:

No.	Date	Description
00	07/25/2023	ISSUED FOR PERMIT

PROJECT NO. 23-007
DRAWN BY GK
CHECKED BY SB
SHEET

ELECTRICAL SCHEDULES

E3.0

X

7/16/97

81-O-97

AN ORDINANCE

Granting A Special Use
For An Animal Hospital
at 2107 Crawford Avenue

WHEREAS, the Zoning Board of Appeals ("ZBA") held a public hearing on July 1, 1997 in case number 97-19-SU (R), pursuant to proper notice on the application of Robert Fox, DVM, prospective lessee, on behalf of Cosa Sotos, property owner, for a special use to permit an animal hospital at 2107 Crawford Avenue, in a C1 Commercial District; and

WHEREAS, the ZBA, after hearing testimony and receiving other evidence, made findings pursuant to section 6-3-5-10 of the Zoning Ordinance that the application met the standards for special uses, and recommended that the City Council grant the application,

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EVANSTON, COOK COUNTY, ILLINOIS:

SECTION 1: That the afore-described application of Robert Fox, DVM, is hereby granted, and the findings and recommendations of the ZBA hereby granted, on the property at 2107 Crawford Avenue, legally described as:

LOT 8 (EXCEPT THE WEST 10 FEET THEREOF), LOT 9 (EXCEPT THE WEST 10 FEET THEREOF) AND LOT 10 (EXCEPT THE WEST 10 FEET THEREOF) IN BLOCK 4 IN THE HIGHLANDS EVANSTON LINCOLNWOOD FIRST ADDITION, BEING A SUBDIVISION OF THE SOUTH WEST ¼ OF THE SOUTH WEST ¼

(EXCEPT THE WEST 20 ACRES THEREOF) OF SECTION 11, TOWNSHIP 41 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

SECTION 2: That pursuant to section 6-3-5-12 of the Zoning Ordinance, which provides that the City Council may impose conditions upon the grant of a special use, these conditions are hereby imposed:

a. Operation of the animal hospital will be in relative compliance with the testimony presented and documents placed on file in this case.

SECTION 3: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 4: That this ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

Introduced July 28, 1997

Adopted: August 18, 1997

Approved: August 19, 1997

Lorraine H. Morton
Mayor

ATTEST:

Mary J. Morris
City Clerk

Approved as to form:

Kathleen T. Brennan
Corporation Counsel

Staff Comments - 2105-2107 Crawford Avenue
Expansion of existing special use for Fox Animal Hospital

Parking

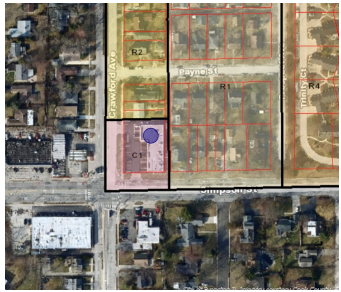
- Can short term parking spaces be created and delineated for the hospital use? How many employees will park in the lot?
- How many parking spaces are for this business vs other businesses

Fire Department

- The Animal Hospital has an existing fire alarm system. As they are expanding into the next door space that area will have to be tied into the existing alarm panel. An application, three sets of drawings, battery calculations and cut sheets need to be submitted to EFD.

NOTICE OF A PUBLIC HEARING

Evanston Land Use Commission
Wednesday, November 8, 2023, 7:00 pm
Morton Civic Center, 2100 Ridge Avenue
Council Chambers



Please be advised, as you own, or otherwise may have interest in a property within 500 ft. of the address listed below, for which the following zoning application will be discussed:

Special Use Permit | 2105-2107 Crawford Avenue | 23ZMJV-0056

David Heredia, Project Manager, submits for the expansion of existing Special Use Ordinance 81 -O-97 for an Animal Hospital, Blue River Pet Care / Fox Animal Hospital, in the C1 Commercial District (Section 6-10-2-3). The Land Use Commission makes a recommendation to the City Council, the determining body for this case in accordance with Section 6-3-5 of the Evanston Zoning Code. PIN: 10-11-317-025-0000

Those wishing to make public comments at the Land Use Commission meeting may attend in-person or submit written comments in advance by calling/texting 847-448-4311 or completing the Land Use Commission online comment form available online here: https://bit.ly/lucpubliccomment . Information about the Land Use Commission is available online at www.cityofevanston.org/government/land-use-commission. Questions can be directed to Melissa Klotz, Zoning Administrator, at 847-448-8153 or via e-mail at mklotz@cityofevanston.org. The City of Evanston is committed tomaking all public meetings accessible to persons with disabilities. Any citizen needing mobility or communications access assistance should contact the Community Development Department 48 hours in advance of the scheduled meeting so that accommodations can be made at 847-448-8170 (Voice) or 847-866-5095 (TDD). La ciudad de Evanston está obligada a hacer accesibles todas las reuniones públicas a las personas minusválidas o las quines no hablan inglés. Si usted necesita ayuda, favor de ponerse en contacto con la Oficina de Administración del Centro a 847-448-4311 (voz) o 847-866-5095 (TTY).