



LAND USE COMMISSION

Wednesday, July 12, 2023 | 7:00 P.M.
James C. Lytle City Council Chambers, Second Floor
Lorraine H. Morton Civic Center, 2100 Ridge Avenue

AGENDA

Those wishing to make public comments at the Land Use Commission meeting may submit written comments in advance or sign up to provide public comment in-person during the meeting by calling/texting 847-448-4311 or completing the Land Use Commission meeting online comment form available by clicking [here](#), or visiting the Land Use Commission webpage, <https://www.cityofevanston.org/government/boards-commissions-and-committees/land-use-commission>, clicking on How You Can Participate, then clicking on Public Comment Form. Community members may watch the Land Use Commission meeting online at www.cityofevanston.org/channel16 or on Cable Channel 16.

I. CALL TO ORDER/DECLARATION OF A QUORUM

II. APPROVAL OF MEETING MINUTES: May 24, 2023

III. OLD BUSINESS

A. Public Hearing: Special Uses | 1806-1808 Dempster Street | 23ZMJV-0028

Danielle Dean, lessee, requests Special Use Permits for two independent businesses, an existing Convenience Store at 1806 Dempster Street, Dempster Snack Shop, currently in operation with approved Special Use Ordinance 120-O-21, and a new Type 2 Restaurant at 1808 Dempster Street, Windy City Flavors, in the B1 Business District (City Code Sections 6-9-2-2.5, 6-9-2-3). The Land Use Commission makes a recommendation to the City Council, the determining body for this case per City Code Section 6-3-5-8. PIN: 10-24-200-007-0000

IV. NEW BUSINESS

A. Public Hearing: Major Variation | 2017 Jackson Avenue | 23ZMJV-0037

John Cleary of TEMP Capital Inc., property owner, requests a Major Variation to construct a 4-story, 24 dwelling-unit residential building with 25 parking spaces. The applicant requests a density variation to allow 20 dwelling units where 14 dwelling units

Order & Agenda Items are subject to change. Information about the Land Use Commission is available at: <https://www.cityofevanston.org/government/boards-commissions-and-committees/land-use-commission>. Questions can be directed to Katie Ashbaugh, AICP, Planner, at kashbaugh@cityofevanston.org or 847-448-4311. The City of Evanston is committed to making all public meetings accessible to persons with disabilities. Any citizen needing mobility or communications access assistance should contact 847-448-4311 or 847-866-5095 (TTY) at least 48 hours in advance of the scheduled meeting so that accommodations can be made.

La ciudad de Evanston está obligada a hacer accesibles todas las reuniones públicas a las personas minusválidas o las quines no hablan inglés. Si usted necesita ayuda, favor de ponerse en contacto con la Oficina de Administración del Centro a 847/866-2916 (voz) o 847/448-8052 (TDD).

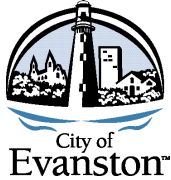
are allowed (Section 6-8-4-7) as well as 4 bonus units, for a total of 24 dwelling units in the R5 Residential District. The Land Use Commission is the determining body for this case in accordance with Section 6-3-8-10 of the Evanston Zoning Code. PINs: 10-13-204-022-0000, 10-13-204-023-0000.

V. COMMUNICATION

VI. PUBLIC COMMENT

VII. ADJOURNMENT

The Evanston Land Use Commission will hold a regularly scheduled meeting **on Wednesday, July 26, 2023, at 7:00 pm**, in the James C. Lytle Council Chambers in the Lorraine H. Morton Civic Center.



MEETING MINUTES

LAND USE COMMISSION

Wednesday, May 24, 2023

7:00 PM

Lorraine H. Morton Civic Center, 2100 Ridge Avenue, James C. Lytle City Council Chambers

Members Present: Kiril Mirintchev, Kristine Westerberg, Matt Rodgers, Myrna Arevalo, Brian Johnson and Jeanne Lindwall

Members Absent: Max Puchtel, John Hewko, and George Halik

Staff Present: Assistant City Attorney Brian George, Planner Katie Ashbaugh, Zoning Administrator Melissa Klotz, and Planning Manager Liz Williams

Presiding Member: Matt Rodgers

Call to Order

Chair Rodgers opened the meeting at 7:03 PM. A roll call was then done and a quorum was determined to be present.

Approval of May 10, 2023 Meeting Minutes

Commissioner Lindwall made a motion to approve the Land Use Commission meeting minutes from May 10, 2023. Seconded by Commissioner Westerberg. A voice vote was taken, and the motion passed 5-0 with one abstention.

New Business

A. Public Hearing: Special Use | 831 Foster Street | 23ZMJV-0026.

Mohammed Abdelmajid, lessee, requests a Special Use Permit for a Convenience Store to sell food, beverages, household goods, and tobacco in the B1 Business District (City Code Section 6-9-2-3). The Land Use Commission makes a recommendation to the City Council, the determining body for this case per City Code Section 6-3-5-8. PIN: 11-18-104-019-0000

Mohammed Abdul Abdelmajid expressed his intention to open a convenience store at 831 Foster Street.

Commissioner Questions

Commissioner Lindwall raised questions regarding the operation of the store, particularly concerning the sale of deli items and cold sandwiches. Mr. Abdelmajid

explained that the deli meats will be stored in a fridge, and they will slice meats based on customer demand, ensuring freshness rather than relying on pre-packaged items. He has not completed the health department application, but he intends to follow all the required processes and regulations.

Commissioner Westerberg inquired about other stores operated by Mr. Abdelmajid. He explained that he and family members have been running similar businesses for nearly 10 years in Chicago. Commissioner Westerberg asked about the store's layout, particularly regarding items that are not pre-packaged. He described a salad preparation table located next to the deli counter, with a three-compartment sink to the right.

Commissioner Halik asked how waste will be handled. Mr. Abdelmajid explained that they will have disposal bins inside the store behind the deli counter. There is a hallway leading to the back with an exit door to recycle or put waste in regular garbage bins.

In response to Commissioner Johnson's question about the anticipated mode of transportation for customers, Mr. Abdelmajid responded that they expect both foot traffic and customers arriving from the Foster train station.

Commissioner Rodgers asked about the planned hours of operation and Mr. Abdelmajid responded from 7:30 AM to 8:00 PM. Commissioner Rodgers asked staff about city usual hours of operation, to which Ms. Klotz responded that it is until 11 PM on weekdays and midnight on weekends, with a starting time of 6 AM.

In response to additional questions from Commissioner Rodgers, Mr. Abdelmajid described that there would be two employees working in the store at any given time, one at the front register and one in the deli. He anticipated deliveries of soft drinks, snacks, chips, and grocery items from vans and small box trucks at the rear of the building. He is aware of the city's regulations regarding tobacco sales. He confirmed that he agrees with the Department recommendations regarding the cashier's location, tobacco sales, storefront window obstructions, accessible trash bins, and a litter collection plan.

After discussion of the existing bathrooms, Ms. Klotz advised Mr. Abdelmajid to consult with an architect to determine if any modifications are needed, particularly regarding ADA (Americans with Disabilities Act) restroom requirements. If modifications are necessary, architectural plans will need to be submitted for a building permit.

Public Comment

Chair Rodgers called for public comment. There was none. Chair Rodgers closed the public testimony.

Deliberations

The Chair reviewed the Standards for a Special Use (Section 6-3-5-10).

1. Is one of the listed special uses for the zoning district in which the property lies: A store like a convenience store is permitted in the B1 business district so the standard is met.
2. Complies with the purposes and the policies of the Comprehensive General Plan and the Zoning ordinance: A convenience store that utilizes the business space aligns with the goals and standards of the plan, so the standard is met.
3. Does not cause a negative cumulative effect in combination with existing special uses or as a category of land use: The minimal impact standard is met because the store's size and the nature of its offerings, along with the expectation of foot traffic rather than heavy vehicular traffic, suggests that the impact on the neighborhood will be minimal.
4. Does not interfere with or diminish the value of property in the neighborhood: A functioning business does more for property values than an empty storefront and no one has testified against the project, so the standard is met.
5. Is adequately served by public facilities and services: The proposed convenience store will not result in a significant increase in the building's usage compared to its previous use as a daycare and so the standard is met.
6. Does not cause undue traffic congestion: Most of the traffic for this use is pedestrian traffic, bicyclists, and people going to and from the train, so the standard is met.
7. Preserves significant historical and architectural resources: There is no change to the outside of the building so that standard is met.
8. Preserves significant natural and environmental resources: There is no change to the outside of the building so that standard is met.
9. Complies with all other applicable regulations of the district in which it is located and other applicable ordinances, except to the extent such regulations have been modified through the planned development process or the grant of a variation: They will be required to be licensed and monitored through the Health Department which is included as standard language of code and regulation compliance in the final ordinance, so the standard is met.

Commissioner Lindwall made a motion to recommend approval of the Special Use Permit to the City Council for the property located at 831 Foster Street, zoning case number 23ZMJV-0026, with the following conditions:

- 1. That the cashier is located at the front of the store;**
- 2. That tobacco sales are not to exceed 50 percent of total sales or floor display;**
- 3. That storefront window obstruction is restricted to a height of 3 feet above the grade;**
- 4. That a refuse receptacle is to be placed near the cashier and is to be accessible to customers;**
- 5. The store owner will clean up litter within 250 feet of the front of the store;**
- 6. That hours of operation are 6:00 am to 11:00 pm Sunday-Thursday, to 12:00 am Friday and Saturday; and**

7. That employees will not park on the street.

Second by Commissioner Westerberg. A roll call vote was taken, and the motion carried, 6-0.

B. Public Hearing: Special Uses | 1806-1808 Dempster Street | 23ZMJV-0028

Danielle Dean, lessee, requests Special Use Permits for two independent businesses, an existing Convenience Store at 1806 Dempster Street, Dempster Snack Shop, currently in operation with approved Special Use Ordinance 120-O-21, and a new Type 2 Restaurant at 1808 Dempster Street, Windy City Flavors, in the B1 Business District (City Code Sections 6-9-2-2.5, 6-9-2-3). The Land Use Commission makes a recommendation to the City Council, the determining body for this case per City Code Section 6-3-5-8. PIN: 10-24-200-007-0000.

Danielle Dean, owner of Windy City Fitness Club Redemption snack shop, presented his proposal to expand his business to include Windy City flavors, offering items like salads, nachos, and hot dogs. He acknowledged a citation from the Health Department and is committed to taking the necessary steps to resolve the concerns.

Commissioner Questions

Chair Rodgers asked about the hours of operation. Mr. Dean said he plans to operate the new site from 11 AM to 7 PM on weekdays, with a potential closing time of 9 PM, and from 11 AM to 12 AM on weekends. As for the number of employees, Mr. Dean anticipated having one employee for each store. He does not anticipate the need for delivery trucks for the snacks and there will not be a sit-down eating area. Sales would be kept within the stores and not on the sidewalk. In response to Commissioner Westerberg questions, Mr. Dean explained that a three-compartment sink is installed at the new site (1808), and that all food preparation and sales will take place there.

Chair Rodgers instructed Mr. Dean that the Zoning Code standard to comply with all other regulations cannot be met with the existing health code violation. Mr. Dean estimated a timeline of 30 to 45 days to bring his business into compliance. Ms. Klotz suggested conducting unscheduled inspections by the Health Department to ensure compliance. Chair Rodgers raised the possibility of including an update from the Health Department at the next meeting. Ms. Klotz mentioned that there are no police records related to the business. She further advised that the food truck parked on the street is a violation that needs to be addressed.

Commissioner Westerberg made a motion to grant a continuance for a Special Use to the June 28, 2023 LUC Meeting for the property located at 1806-1808 Dempster Street, zoning case number 23ZMJV-0028. Second by Commissioner Lindwall. A voice vote was taken, and the motion carried, 6-0.

C. Public Hearing: Text Amendments | Omnibus Text Amendment Package | 23PLND-0006.

A City-initiated Text Amendment to the Zoning Ordinance, Title 6 of the Evanston City

Code, for an Omnibus Text Amendment package relating to the following:

1. Amend the definition and applicability of Unified Comprehensive Sign Plans and establish a review process with the Land Use Commission as the final determining body (Chapters 3, 19).
2. Modify eligible Major and Minor Variations related to signs and establish Standards for Approval for Major and Minor Variations related to signs (Chapters 3, 19).
3. Amend the TOD (Transit Oriented Development) Area definition to encompass a consistent and predictable distance from mass transit lines (Section 6-18-3).
4. Clarify language and procedures for continuance requests to public hearings (Chapter 3).
5. Modify the Unique Use process into a Unique Adaptive Use process that is eligible to historic and non-historic properties (Section 6-3-7, Section 6-18-3).
6. Clarify language that prohibits curb cuts to the street when alley access is present in Residential Districts (Chapter 8).
7. Clarify accessory structure required setbacks and yards in non-residential districts (Section 6-4-6).
8. Clarify open parking required setbacks and yards also apply to loading berths (Section 6-4-6, Chapter 16).
9. Clarify definitions, yards, and setbacks for Patios and Terraces (Section 6-18-3, Section 6-4-6)
10. Establish a Mixed-Use Market as an eligible principal use in non-residential and non-university districts (Title 6, Section 6-18-3).
11. Modify the existing Apartment Hotel use and/or definition for clarity (Section 6-18-3, Section 6-8-8, Section 6-11-4).
12. Clarify and modify the process for Adjustments to Development Plans for Planned Developments (Section 6-3-6-12).

The Land Use Commission makes a recommendation to the City Council, the determining body for this case per City Code Section 6-3-4-5.

Deliberations

Chair Rodgers opened with Item Number 12. The proposed change aims to ensure that if a site development allowance is granted and changes need to be made (such as building height, FAR, parking, etc.) it would come back to the commissioners for review. However, if the modifications did not require commission involvement at the beginning, it would be handled by staff.

The commissioners discussed Item Number 11. It is suggested to remove the definition of an apartment hotel and differentiate between hotels and apartments. Commissioner Lindwall expressed concern about changing definitions while a specific case is ongoing and suggested addressing residential definitions comprehensively as part of the zoning rewrite. Chair Rodgers preferred to act now regarding apartment hotels to prevent issues in the future.

The commissioners considered Item Number 3. They agreed to state the distance for Transit-Oriented Developments as $\frac{1}{8}$ mile from a transit station and $\frac{1}{4}$ mile from a transit station along a commercial corridor. Commissioner Lindwell recommended exploring bus routes and transit further in the comprehensive planning process.

The commissioners considered Item Number 4. The purpose is to resolve any remaining contradictions between "may" and "shall" regarding the granting of continuances. They agreed that the aim is to use the "may" language and provide clear guidelines for granting continuances while ensuring that the decision to grant or deny a continuance remains.

The commissioners considered Item Numbers 1 and 2. Ms. Ashbaugh briefed that the standards for sign variations, previously evaluated by the Design and Project Review Committee, will now be used when evaluated by the Land Use Commission. The second procedural change would allow businesses to request sign packages for entire properties and multi-tenant properties. The evaluation of sign variations will focus on factors such as unique architecture, site layout and hardship. The content-based directory sign has been removed from the sign code definitions. Additionally, there are future plans to rewrite the sign code to ensure content neutrality based on property use, lot size, and building type. Overall, the proposed changes aim to improve the administration of the sign code and reduce the need for detailed evaluations of sign variations by the Land Use Commission.

Commissioner Lindwall inquired about the definition of a directory sign. Ms. Asbaugh said that it is smaller in size and not intended to compete with main signage or be easily legible from a public right-of-way. The purpose of specifying that it is not legible from a public right-of-way is to ensure that the sign serves its intended function without requiring a permit. A suggestion to clarify the definition by adding the phrase "and not intended to be legible from a public right-of-way" was agreed to.

The commissioners considered Item Number 5. Ms. Klotz briefed that staff is requesting to expand the Unique Use process to a Unique Adaptive Use process to apply to any property, not just designated landmark properties. This expansion would allow non-historic structures, such as older buildings with no landmark designation, to be adapted and repurposed instead of being demolished. This is particularly beneficial for properties located in the R1 District where limited options for reuse currently exist.

Commissioner Westerberg raised a concern regarding the proposal to eliminate parking requirements for adaptive use of buildings. The concern is that if these buildings are converted into residential structures, there may still be a need for parking. Ms. Klotz responded that the intent is not to eliminate parking requirements but rather to allow for flexibility through the Special Use approval process. This would enable a case-by-case evaluation of the appropriate amount of parking based on the proposed use and the specific district. Commissioner Mirintchev asked if the proposed change would apply to all zoning districts and Ms. Klotz confirmed that it would and there was no further discussion.

The commissioners considered Item Number 6. Ms. Klotz reviewed that the current Zoning Ordinance does not provide for all curb cut conditions. The ordinance prohibits new curb cuts in the front yard when alley access is available. However, it does not account for street side yards where driveways could potentially be constructed. To address this and promote pedestrian safety, the proposed language extends the restriction to include street side yards, encouraging the use of alleys. In response to Commissioner Mirintchev about circular driveways, Ms. Klotz said that no changes are proposed regarding them. Commissioner Arevalo asked about the case of a corner lot with two streets. Ms. Klotz responded that if a corner lot without an alley desired two curb cuts—one on each street—to create a circular driveway spanning both streets, it would meet the Zoning Ordinance requirements. However, it is unlikely to comply with Public Works requirements, particularly the distance from the intersection, making it unlikely to be approved.

The commissioners considered Item Number 7. Ms. Klotz summarized that the current Zoning Ordinance lacks clarity for non-residential districts about accessory structure setbacks and yards. The approach has been to apply the same setbacks as residential districts, typically five or three feet, unless the setback of the principal structure is even less. The request is to codify this past policy for clarity. There were no questions.

The commissioners considered Item Number 8. Ms. Klotz explained that the Zoning Ordinance currently specifies setbacks and yards for open parking but does not include loading areas. However, it is logical to include loading areas within the same regulations. Commissioner Westerberg asked about loading berths in larger developments and Ms. Klotz clarified that the requirement for loading berths will remain unchanged, but variations or site development allowances can still be requested through the Planned Development process or other entitlement processes.

The commissioners considered Item Number 9. Ms. Klotz stated that the Zoning Ordinance has conflicting definitions and yard setbacks for patios and terraces. To simplify the regulations, it is proposed that terraces at grade be treated as front porches or patios depending on their location. Patios will be restricted to rear yards, while terraces will be considered roofed porches. In response to Commissioner Mirintchev about patio setbacks, Ms. Klotz determined that addressing this issue would require a significant text amendment to multiple code sections, so it was decided to leave this issue for the new zoning ordinance update. In response to Commissioner Arevalo question regarding above grade terraces, Ms. Klotz described that an elevated open area would meet the definition of a deck and be treated as such. If it served as the rooftop for a second-story structure, it would follow the setbacks of the principal structure underneath it.

The commissioners considered Item Number 10. Ms. Klotz summarized that staff is requesting the establishment of a new use called "mixed-use market" to accommodate a variety of uses within a single building or location. This type of use has been successful in larger communities and repurposed industrial buildings in bustling

commercial districts. However, current zoning regulations create challenges as individual uses may not comply with existing district requirements or may be unique and not covered by the Zoning Ordinance. The request is to create an overall use category with some flexibility in regulations, particularly in downtown areas, and moderate flexibility in neighborhood business and commercial districts. This would address the need for small businesses, pop-ups, and economic development. The current process of obtaining individual special uses for each sub-use within a mixed-use market has proven cumbersome and inefficient. A more streamlined approach is desired to evaluate the entire facility as a whole and determine its overall appropriateness. Commissioner Lindwall suggested clarifying the square footage range for the "mixed-use market" special use category as more than 7,500 square feet and less than 20,000 square feet. She also inquired about adding freestanding big box spaces and industrial spaces that might exceed 20,000 square feet in other specific districts. Discussion ensued on how to update the chart to add those as a special use.

Commissioner Westerberg asked how the different uses within the establishment would self-regulate and address any potential conflicts or incongruities. Ms. Klotz responded that the proposed definition of a mixed-use market specifies that most of the sub-uses must be retail, restaurant, and/or service-oriented in nature. This requirement aims to maintain a commercial atmosphere and discourage nuisance uses. Chair Rodgers added that Property Standards would be responsible for addressing any nuisance issues that arise.

There was no public testimony.

The Chair reviewed the four Standards for Amendments (Section 6-3-4-5) in context of allowing the text amendments.

1. Whether the proposed amendment is consistent with the goals, objectives and policies of the Comprehensive General Plan as adopted and amended from time to time by the City Council: The current Comprehensive General Plan aims for adaptive reuse so the proposed amendments for mixed-use market areas (10), Unique Adaptive Use (5), consistent language (4, 6, 7, 8, and 9), and business impact on neighborhoods (1, 2) meet the standard.
2. Whether the proposed amendment is compatible with the overall character of existing development in the immediate vicinity of the subject property: The proposed amendments address various issues and clarifications that have arisen over time. These changes are not expected to significantly alter the character of neighborhoods, so the standard is met.
3. Whether the proposed amendment will have an adverse effect on the value of adjacent properties: The proposed amendments aim to improve conditions on properties by addressing issues such as signage regulations and consistent language and expectations, so the standard is met.
4. The adequacy of public facilities and services: No strain is anticipated so the standard is met.

Commissioner Lindwall made a Motion to recommend approval of the Omnibus Text Amendment Package, 23PLND-0006, to the Planning & Development Committee of the City Council, with the following amendments to the proposed changes:

1. Adjustment to the definition of 'directory sign' under Section 6-19-3(C)
2. Clarifying the floor area size range of the new use, 'mixed-use market', allowed in certain zoning districts as either a permitted, special, or administrative review use.

Second by Commissioner Arevalo. A roll call vote was taken, and the motion carried 6-0 with 3 absent.

Communications

Ms. Williams thanked Ms. Ashbaugh for her contributions and noted her last day would be June 9, 2023.

Adjournment

Commissioner Westerberg motioned to adjourn, Commissioner Lindwall seconded, and the motion carried, 6-0.

Adjourned 8:52 PM.

The next meeting of the Evanston Land Use Commission is a Special Meeting to be held on **Wednesday, June 28, 2023, at 7:00 PM, in the James C. Lytle Council Chambers in the Lorraine H. Morton Civic Center.**

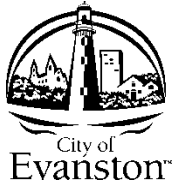
Respectfully submitted,
Amy Ahner, AICP, Planning Consultant

Reviewed by,
Meagan Jones, Neighborhood and Land Use Planner

Convenience Store – Dempster Snack Shop;
Type 2 Restaurant – Windy City Flavors

Special Use
23ZMJV-0028

LUC Recommending Body



Memorandum

To: Chair and Members of the Land Use Commission

From: Melissa Klotz, Zoning Administrator

CC: Sarah Flax, Director of Community Development
Meagan Jones, Interim Planning Manager

Subject: Special Uses – Convenience Store, Dempster Snack Shop;
Type 2 Restaurant, Windy City Flavors
1806-1808 Dempster Street, 23ZMJV-0028

Date: July 7, 2023

Request

Danielle Dean, lessee, requests Special Use Permits for two independent businesses, an existing Convenience Store at 1806 Dempster Street, Dempster Snack Shop, currently in operation with approved Special Use Ordinance 120-O-21, and a new Type 2 Restaurant at 1808 Dempster Street, Windy City Flavors, in the B1 Business District (City Code Sections 6-9-2-2.5, 6-9-2-3). The Land Use Commission makes a recommendation to the City Council, the determining body for this case per City Code Section 6-3-5-8.

History:

The public hearing opened at the May 24, 2023 Land Use Commission meeting, and was continued to provide time for additional Health Department inspections for verification that City regulations are followed and violations do not continue to accrue.

Initial public hearing documents including the May 24, 2023 staff memo and site plans of the spaces are available [here](#), with additional documents provided prior to the hearing [here](#). See the draft meeting minutes from the May 24, 2023 hearing at the beginning of the full LUC packet for additional details, and/or watch the meeting video [here](#).

Update:

Since May 24, 2023, multiple attempts were made by the Health Department to conduct unscheduled inspections at the currently operational Dempster Snack Shop at 1806 Dempster Street, but were unsuccessful since no one was present at the business. The Health Department did successfully inspect the business twice since May 24, 2023 and found compliance with all Health Department requirements. No unpackaged food or

items beyond the assigned health risk category were found.

Planning & Zoning staff are aware the unlicensed food truck for Dempster Snack Shop has parked (not operated) in front of 1806-1808 Dempster at times (not often) since the May 24, 2023 LUC meeting, and has also parked on residential streets in other areas of the community. Staff is not aware of any other violations.

Department Recommendation

The Community Development Department recommends careful consideration of the operational conditions suggested by staff to determine if special use approval with those conditions and/or additional/modified conditions is appropriate for the existing Convenience Store and proposed Type 2 Restaurant at 1806-1808 Dempster Street, and if the Standards for Approval (Section 6-3-5-10) are met when considered with the conditions.

Conditions previously suggested by staff include:

1. Hours of operation shall not exceed 7am - 9pm, 7 days a week, at both businesses.
2. Entry to both businesses shall remain open/unlocked during regular business hours and shall not use buzzer entry.
3. The outdoor cooking of food is strictly prohibited, whether for customers or employees.
4. Use of the public sidewalk and right-of-way area for unlicensed block parties, events, and loitering is prohibited.
5. Sustainability measures are required including recycling for employees and customers, and use of recyclable or compostable to-go containers.
6. A food truck shall not operate in relation to either business without an approved license from the Health Department.
7. No food truck that is related to either business shall park in violation of City Ordinances, including being prohibited from parking on residential streets, within 100 feet of another restaurant, or on residential streets where commercial vehicle parking is prohibited.
8. One dumpster is required for refuse rather than two, due to the limited space behind the building. The dumpster shall not overflow. A separate dumpster shall exist for the residential use at the property.
9. Re-review of the special use approval by staff may occur after six months of operation, at which time conditions may be reevaluated, reduced, or expanded.
10. Windows must remain clear and not blocked by shelves or unapproved signage.
11. Reflective coverings are not allowed on any windows or doors.
12. The convenience store shall not handle or sell unpackaged food.
13. The special uses may be deemed invalid if any of the following issues occur: recurrence of any previous Health Code violation cited at the property, substantial verified violations of the Property Maintenance Code occur, substantial police activity occurs at the property, if the property is deemed a nuisance premise under the Evanston City Code, and/or if conditions of this special use ordinance are not adhered to.
14. Substantial compliance with the documents and testimony on record.

15. Recordation of the special use ordinance with the Cook County Recorder of Deeds is required prior to operation.

Standards for Approval

The proposed special uses must follow the Standards for a Special Use (Section 6-3-5-10). For the Land Use Commission to recommend that the City Council grant a special use, the LUC must find that each proposed special use:

1. Is one of the listed special uses for the zoning district in which the property lies;
2. Complies with the purposes and the policies of the Comprehensive General Plan and the Zoning ordinance;
3. Does not cause a negative cumulative effect in combination with existing special uses or as a category of land use;
4. Does not interfere with or diminish the value of property in the neighborhood;
5. Is adequately served by public facilities and services;
6. Does not cause undue traffic congestion;
7. Preserves significant historical and architectural resources;
8. Preserves significant natural and environmental resources;
9. Complies with all other applicable regulations;

Action by the Commission

After making findings of fact as to whether or not the requested special uses meet or do not meet the aforementioned Standards for Special Use, the Land Use Commission may make a recommendation or recommendations to the Planning & Development Committee of the City Council to recommend approval, denial, or no recommendation (in the case of a tie) for each special use requested. In each scenario, the Commission may choose to include recommended conditions that the City Council may then consider when making the final determination. The Commission may make individual motions for each special use, or one motion covering all aspects of the request.

The Land Use Commission is the recommending body and the City Council is the determining body (Section 6-3-5-8).

Attachments

Health Department Inspection – June 23, 2023

Health Department Inspection – July 5, 2023

Food Establishment Inspection Report

Local Health Department Name and Address City of Evanston 2100 Ridge Avenue Evanston, Illinois 60201-2798				Date 6/23/23		Time In		Time Out						
Establishment Dempster Snack Shop			License/Permit # 21FOOD-0027		No. of Risk Factor/Intervention Violations 0				No. of Repeat Risk Factor/Intervention Violations 0					
Street Address 1806 DEMPSTER ST				Permit Holder Dempster Snack Shop				Risk Category 3						
City/State EVANSTON/IL			Zip 60202		Purpose of Inspection Food Safety Request									
FOODBORNE ILLNESS RISK FACTORS AND PUBLIC HEALTH INTERVENTIONS														
Circle designated compliance status (IN, OUT, N/O, N/A) for each numbered item IN =in compliance OUT =not in compliance N/O =not observed N/A =not applicable Mark "X" in appropriate box for COS and/or R COS =corrected on-site during inspection R =repeat violation					Risk factors are important practices or procedures identified as the most prevalent contributing factors of foodborne illness or injury. Public health interventions are control measures to prevent illness or injury.									
Compliance Status			COS		R		Compliance Status			COS		R		
Supervision					Protection from Contamination									
1	In	Person in charge present, demonstrates knowledge, and performs duties			15	In	Food separated and protected			16	In	Food-contact surfaces; cleaned and sanitized		
2	In	Certified Food Protection Manager (CFPM)			17	In	Proper disposition of returned, previously served, reconditioned and unsafe food							
Employee Health					Time/Temperature Control for Safety									
3	In	Management, food employee and conditional employee; knowledge, responsibilities and reporting			18	In	Proper cooking time and temperatures			19	In	Proper reheating procedures for hot holding		
4	In	Proper use of restriction and exclusion			20	In	Proper cooling time and temperature			21	In	Proper hot holding temperatures		
5	In	Procedures for responding to vomiting and diarrheal events			22	In	Proper cold holding temperatures			23	In	Proper date marking and disposition		
Good Hygienic Practices					24	In	Time as a Public Health Control; procedures and records							
6	In	Proper eating, tasting, drinking, or tobacco use			Consumer Advisory									
7	In	No discharge from eyes, nose, and mouth			25	In	Consumer advisory provided for raw/undercooked food							
Preventing Contamination by Hands					Highly Susceptible Populations									
8	In	Hands clean and properly washed			26	In	Pasteurized foods used; prohibited foods not offered							
9	In	No bare hand contact with RTE food or a pre-approved alternative procedure properly allowed			Food/Color Additives and Toxic Substances									
10	In	Adequate handwashing sinks properly supplied and accessible			27	In	Food additives: approved and properly used			28	In	Toxic substances properly identified, stored, and used		
Approved Source					Conformance with Approved Procedures									
11	In	Food obtained from approved source			29	In	Compliance with variance/specialized process/HACCP							
12	In	Food received at proper temperature												
13	In	Food in good condition, safe and unadulterated												
14	In	Required records available: shellstock tags, parasite destruction												
GOOD RETAIL PRACTICES														
Good retail practices are preventative measures to control the addition of pathogens, chemicals, and physical objects into foods. Mark "X" in box if numbered item is not in compliance Mark "X" in appropriate box for COS and/or R COS=corrected on-site during inspection R=repeat violation														
			COS		R					COS		R		
Safe Food and Water					Proper Use of Utensils									
30	In	Pasteurized eggs used where required			43	In	In-use utensils: properly stored			44	In	Utensils, equipment and linens: properly stored, dried, & handled		
31	In	Water and ice from approved source			45	In	Single-use/single-service articles: properly stored and used			46	In	Gloves used properly		
32	In	Variance obtained for specialized processing methods			Utensils, Equipment and Vending									
Food Temperature Control					47	In	Food and non-food contact surfaces cleanable, properly designed, constructed, and used			48	In	Warewashing facilities: installed, maintained, & used; test strips		
33	In	Proper cooling methods used; adequate equipment for temperature control			49	In	Non-food contact surfaces clean							
34	In	Plant food properly cooked for hot holding			Physical Facilities									
35	In	Approved thawing methods used			50	In	Hot and cold water available; adequate pressure			51	In	Plumbing installed; proper backflow devices		
36	In	Thermometers provided & accurate			52	In	Sewage and waste water properly disposed			53	In	Toilet facilities: properly constructed, supplied, & cleaned		
Food Identification					54	In	Garbage and refuse properly disposed; facilities maintained			55	In	Physical facilities installed, maintained, and clean		
37	In	Food properly labeled; original container			56	In	Adequate ventilation and lighting; designated areas used							
Prevention of Food Contamination					Employee Training									
38	In	Insects, rodents, and animals not present			57	In	All food employees have food handler training			58	In	Allergen training as required		
39	In	Contamination prevented during food preparation, storage and display												
40	In	Personal cleanliness												
41	In	Wiping cloths: properly used and stored												
42	In	Washing fruits and vegetables												

Food Establishment Inspection Report

Establishment: Dempster Snack Shop
Water Supply: Public
Sanitizer Type:

Establishment #: 21FOOD-0027
Waste Water System: Public

TEMPERATURE OBSERVATIONS	
Item/Location	Temp

HACCP TOPIC

GENERAL COMMENTS

Food safety request inspection to confirm category three risk operations at the establishment. No unpackaged foods observed.

Food Establishment Inspection Report

Local Health Department Name and Address City of Evanston 2100 Ridge Avenue Evanston, Illinois 60201-2798				Date 7/5/23		Time In		Time Out							
Establishment Dempster Snack Shop			License/Permit # 21FOOD-0027		No. of Risk Factor/Intervention Violations 0				No. of Repeat Risk Factor/Intervention Violations 0						
Street Address 1806 DEMPSTER ST				Permit Holder Dempster Snack Shop				Risk Category 3							
City/State EVANSTON/IL			Zip 60202		Purpose of Inspection Food Safety Request										
FOODBORNE ILLNESS RISK FACTORS AND PUBLIC HEALTH INTERVENTIONS															
Circle designated compliance status (IN, OUT, N/O, N/A) for each numbered item IN =in compliance OUT =not in compliance N/O =not observed N/A =not applicable Mark "X" in appropriate box for COS and/or R COS =corrected on-site during inspection R =repeat violation					Risk factors are important practices or procedures identified as the most prevalent contributing factors of foodborne illness or injury. Public health interventions are control measures to prevent illness or injury.										
Compliance Status			COS		R		Compliance Status			COS		R			
Supervision					Protection from Contamination										
1	In	Person in charge present, demonstrates knowledge, and performs duties			15	In	Food separated and protected			16	In	Food-contact surfaces; cleaned and sanitized			
2	In	Certified Food Protection Manager (CFPM)			17	In	Proper disposition of returned, previously served, reconditioned and unsafe food								
Employee Health					Time/Temperature Control for Safety										
3	In	Management, food employee and conditional employee; knowledge, responsibilities and reporting			18	In	Proper cooking time and temperatures			19	In	Proper reheating procedures for hot holding			
4	In	Proper use of restriction and exclusion			20	In	Proper cooling time and temperature			21	In	Proper hot holding temperatures			
5	In	Procedures for responding to vomiting and diarrheal events			22	In	Proper cold holding temperatures			23	In	Proper date marking and disposition			
Good Hygienic Practices					24	In	Time as a Public Health Control; procedures and records								
6	In	Proper eating, tasting, drinking, or tobacco use			Consumer Advisory										
7	In	No discharge from eyes, nose, and mouth			25	In	Consumer advisory provided for raw/undercooked food								
Preventing Contamination by Hands					Highly Susceptible Populations										
8	In	Hands clean and properly washed			26	In	Pasteurized foods used; prohibited foods not offered								
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Approved Source					Conformance with Approved Procedures										
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GOOD RETAIL PRACTICES															
Good retail practices are preventative measures to control the addition of pathogens, chemicals, and physical objects into foods. Mark "X" in box if numbered item is not in compliance Mark "X" in appropriate box for COS and/or R COS=corrected on-site during inspection R=repeat violation															
				COS		R						COS		R	
Safe Food and Water					Proper Use of Utensils										
30	In	Pasteurized eggs used where required			43	In	In-use utensils: properly stored			44	In	Utensils, equipment and linens: properly stored, dried, & handled			
31	In	Water and ice from approved source			45	In	Single-use/single-service articles: properly stored and used			46	In	Gloves used properly			
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Food Temperature Control					47	In	Food and non-food contact surfaces cleanable, properly designed, constructed, and used			48	In	Warewashing facilities: installed, maintained, & used; test strips			
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36	In	Thermometers provided & accurate			52	In	Sewage and waste water properly disposed			53	In	Toilet facilities: properly constructed, supplied, & cleaned			
Food Identification					54	In	Garbage and refuse properly disposed; facilities maintained			55	In	Physical facilities installed, maintained, and clean			
37	In	Food properly labeled; original container			56	In	Adequate ventilation and lighting; designated areas used								
Prevention of Food Contamination					Employee Training										
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Food Establishment Inspection Report

Establishment: Dempster Snack Shop

Establishment #: 21FOOD-0027

Water Supply: Public

Waste Water System: Public

Sanitizer Type: :

TEMPERATURE OBSERVATIONS	
Item/Location	Temp

HACCP TOPIC

GENERAL COMMENTS

Food Safety Request inspection to confirm risk 3 operations on site. Observed no unpackaged foods during inspection.

2017 Jackson Avenue

Major Variation
23ZMJV-0037

LUC Determining Body



Memorandum

To: Chair and Members of the Land Use Commission

From: Melissa Klotz, Zoning Administrator

CC: Sarah Flax, Interim Director of Community Development
Meagan Jones, Interim Planning Manager

Subject: Major Variation for Density
2017 Jackson Avenue | 23ZMJV-0037

Date: July 6, 2023

Request

John Cleary of TEMP Capital Inc., property owner, requests a Major Variation to construct a 4-story, 24 dwelling-unit residential building with 25 parking spaces. The applicant requests a density variation to allow 20 dwelling units where 14 dwelling units are allowed (Section 6-8-4-7) as well as 4 bonus units, for a total of 24 dwelling units in the R5 General Residential District. The Land Use Commission is the determining body for this case in accordance with Section 6-3-8-10 of the Evanston Zoning Code.

Notice

The Application has been filed in conformance with applicable procedural and public notice requirements including publication in the Evanston Review on June 22, 2023.

General Information

Applicant: John Cleary
TEMP Capital Inc.
1924 Asbury Ave.
Evanston, IL 60201

Owner: same

PINs: 10-13-204-022-0000, 10-13-204-023-0000

Analysis

2017 Jackson Avenue is a 14,504 sq. ft. lot with 97' of right-of-way frontage to the northeast of where the existing public street ends, between Foster Street and Simpson Street, in the R5 General Residential District. The property is currently undeveloped, and is surrounded by vacant land to the north and west, and existing low and moderate density multifamily dwelling units to the south and west.

Surrounding Zoning and Land Uses	Zoning District	Land Use
North	B2 Business District R4 General Residential District	Storage facility (Public Storage), vacant land
South	R5 General Residential District	Multifamily dwelling units
East	R5 General Residential District	Multifamily dwelling units
West	R4 General Residential District	Vacant (future Jackson Ave.), multifamily dwelling units

Property History

2017 Jackson Avenue was part of a previous development request by property owner John Cleary. In early 2020, the City Council approved a map amendment to remove adjacent parcels to the north and northeast from the West Evanston Overlay; the 2017 Jackson parcels were not within the Overlay and therefore were not a part of that request. In 2022, the property owner submitted an application for a planned development for Wesley Court, which included 19 townhomes on the north and northeast parcels and a 12-unit multifamily building on the 2017 Jackson Avenue parcels, as well as extended Jackson Avenue and a private connecting street along the townhomes' frontage to Wesley Avenue. The planned development request was withdrawn by the applicant and did not receive a final determination. Since the proposal no longer includes the townhomes or those parcels, the remaining two parcels that comprise 2017 Jackson Avenue do not trigger a planned development as long as the number of dwelling units proposed (excluding bonus units) is 24 or less.

Proposal

The applicant proposes construction of a new 4-story apartment building with enclosed ground-floor parking as well as open outdoor parking at the rear, and three floors of dwelling units. The proposal includes 10% on-site affordable units and then utilizes zoning bonuses so that the entire development complies with all zoning regulations except for density. The applicant proposes to maximize density to offset the cost of extending Jackson Avenue to the north (to City requirements), construction of the extended streetscape, and a final public benefit of dedication of the street extension to the City of Evanston as a public right-of-way.

Proposed Rendering:



Development details include the following:

- 24 total dwelling units (18 two-bedroom units and 6 one-bedroom units)
- 2 on-site affordable units to meet the 10% on-site IHO requirement (20 DUs proposed, 2 of which are affordable, plus 4 bonus units (2 per affordable unit) equals 24 total DUs.
- Ground floor is a parking garage accessed via the alley, and features 17 enclosed parking spaces (including one ADA space). 8 additional open parking spaces exist directly off of the alley behind the building. All parking spaces are compliant in size, and the two-way drive aisle within the garage is compliant at 24' in width which allows for full turnaround of vehicles to exit via the alley.
- Floors 2-4 feature the same floor plate with 6 two-bedroom units and 2 one-bedroom units. Five units per floor feature private terraces/balconies.
- The rooftop features an amenity deck in the middle portion of the roof. There is no enclosed area on the rooftop beyond the elevator and stairwell overrun and exit lobby.
- Building materials include black and white 4" x 12" brick with white mortar, grey metal cladding on the sides of the building and on the front porches, and windows that must comply with Bird Friendly requirements.
- A mural may be added to the front ground-floor façade since it features minimal windows or other architectural details as a parking garage wall.



Proposed Site Plan with Landscaping Plan and
Extended Jackson Avenue with Streetscape
improvements (future ROW)

Pertinent zoning regulations include:

- Density: 14 DUs permitted based on the lot size (1,500 sq. ft. for each of the first 4 DUs + 800 sq. ft. thereafter). 20 DUs requested by variation, plus 4 bonus DUs for a total of 24 DUs requested.
- Height: 4 stories, 47.5' to the roof where a mean building height of 50' is permitted (+ 12' zoning bonus is permitted); 51' to the top of the parapet; 62.7' to the top of the elevator overrun. Compliant.
- Building Lot Coverage: 59.5% where 45% + 15% zoning bonus is permitted. Compliant.
- Impervious Surface Coverage: 74.7% where 60% + 15% zoning bonus is permitted. Compliant.
- Parking: 25 parking spaces proposed where 25 are required based on .55 spaces per bedroom and utilizing zoning bonus of no parking requirement for the affordable bedrooms. One ADA stall is proposed and is required. All parking spaces and drive aisles are compliant in size so maneuverability of vehicles within the garage is acceptable. Compliant.
- Setbacks: 14.5' front yard setback where 11.9' (block average) is required; 12.5' front porch setback where a minimum 10' front porch setback is required. 5.9' south side yard setback and 7' north side yard setbacks where 3' is required. 25' rear yard setback where 25' is required. Compliant

Jackson Avenue Extension:

Since the property does not currently feature street frontage, the applicant will extend existing Jackson Avenue 130' to the north and create a new cul-de-sac. The applicant currently owns the property extended Jackson Avenue will exist on, and agrees to construct the street extension, sidewalk extension around both sides of the street, and other streetscape improvements including storm water control, curbs, and street trees, all to the requirements of the City so that the extended area may be deeded back to the City and made into public right-of-way.

The parcels underlying the Jackson Avenue extension are no longer within the West Evanston Overlay District (they were removed by a map amendment in early 2020), the West Evanston Master Plan does call for Jackson Avenue to extend north through to Simpson Street. The proposed street extension aligns with the West Evanston Master Plan and brings the street closer to a future connection to Simpson Street (which cannot occur unless multiple parcels with different property owners redevelop together to construct the street extension).

The parcels underlying the Jackson Avenue extension are not part of the zoning lot requesting zoning relief for density. However, the proposed development cannot occur unless the street is extended. The applicant specifically requests zoning relief to maximize density at the development site within the parameters of all other zoning regulations in order to accommodate the substantial cost of the Jackson Avenue extension. Since the Jackson Avenue extension will be deeded back to the City and made into public right-of-way, the street construction is a substantial public benefit.

Staff is not aware of any objections to the proposal as requested.

Department Recommendation

The applicant believes the proposed project is the minimum relief necessary for the success of the development. The additional density requested is needed to offset the extensive civil improvements (extended Jackson Avenue and streetscape) that are needed leading to the property. Following review and consideration of the surrounding built environment and the West Evanston Master Plan's vision for the area, staff recommends approval of the requested variation with conditions to construct the proposed Jackson Avenue extension to City-standards and deed the street and streetscape over to the City as public right-of-way within one year of building occupancy (FCO). If the Land Use Commission determines the Standards for Major Variations are met, the Commission should approve the requested zoning relief.

Standards for Approval

In order for the Land Use Commission to approve the requested variation, the proposed development must meet the Standards for Major Variation (Section 6-3-8-12-E):

1. The requested variation will not have a substantial adverse impact on the use, enjoyment or property values of adjoining properties.
2. The requested variation is in keeping with the intent of the zoning ordinance.

3. The alleged hardship or practical difficulty is peculiar to the property.
4. The property owner would suffer a particular hardship or practical difficulty as distinguished from a mere inconvenience if the strict letter of the regulations were to be carried out.
5. Either the purpose of the variation is not based exclusively upon a desire to extract additional income from the property, or, while the granting of the variation will result in additional income to the applicant and while the applicant for the variation may not have demonstrated that the application is not based exclusively upon a desire to extract additional income from the property, the Land Use Commission or the City Council, depending on final jurisdiction under Section 6-3-8-2 of this Chapter, has found that public benefits to the surrounding neighborhood and the City as a whole will be derived from approval of the variation, that include, but are not limited to, any of the standards of Section 6-3-6-3 of this Chapter.
6. The alleged difficulty or hardship has not been created by any person having an interest in the property.
7. The requested variation requires the least deviation from the applicable regulation among the feasible options identified before the Land Use Commission issues its decision or recommendation to the City Council regarding said variation.

Action by the Commission

After making findings of fact as to whether or not the requested density variation meets the aforementioned standards, the Land Use Commission may approve, approve with conditions, or deny the requested variation. The Land Use Commission is the determining body for this request pursuant to Section 6-3-8-10(C) of the Evanston City Code.

Attachments

Major Variation Application
Inclusionary Housing Application
Aerial Photo
Street View
Zoning Map
Plat of Survey
Development Plans – revised June 29, 2023
 Site Plan
 Floor Plans
 Color Elevations
 Landscape Plan
 Rendering
 Building Materials
Zoning Analysis
Public Notice
Review Letter and Response



MAJOR VARIATION APPLICATION

zoning office use only

CASE #: _____

1. PROPERTY

Address 2017 Jackson Avenue

Permanent Identification Number(s): 10-13-204-023-0000, 10-13-204-022-0000

PIN 1: ------- PIN 2: -------

(Note: An accurate plat of survey for all properties that are subject to this application **must** be submitted with the application.)

2. APPLICANT

Name: John Cleary

Organization: TEMP Capital Inc

Address: 1924 Asbury Ave, Evanston IL 60201

City, State, Zip: _____

Phone: Work: _____ Home: _____ Cell/Other: 773-8175646

Fax: Work: _____ Home: _____

E-mail: johnpcleary@mac.com

Please circle the primary means of contact.

What is the relationship of the applicant to the property owner?

☒ same

☐ builder/contractor

☐ potential purchaser

☐ potential lessee

☐ architect

☐ attorney

☐ lessee

☐ real estate agent

☐ officer of board of directors

☐ other: _____

3. PROPERTY OWNER (Required if different than applicant. All property owners must be listed and must sign below.)

Name(s) or Organization: _____

Address: _____

City, State, Zip: _____

Phone: Work: _____ Home: _____ Cell/Other: _____

Fax: Work: _____ Home: _____

E-mail: _____

Please circle the primary means of contact.

"By signing below, I give my permission for the Applicant named above to act as my agent in all matters concerning this application. I understand that the Applicant will be the primary contact for information and decisions during the processing of this application, and I may not be contacted directly by the City of Evanston. I understand as well that I may change the Applicant for this application at any time by contacting the Zoning Office in writing."

Property Owner(s) Signature(s) -- **REQUIRED**

Date

4. SIGNATURE

"I certify that all of the above information and all statements, information and exhibits that I am submitting in conjunction with this application are true and accurate to the best of my knowledge."

Applicant Signature -- **REQUIRED**

April 19th 2023

Date

5. REQUIRED DOCUMENTS AND MATERIALS

The following are required to be submitted with this application:

- | | | |
|-------------------------------------|--|---|
| <input checked="" type="checkbox"/> | (This) Completed and Signed Application Form | |
| <input checked="" type="checkbox"/> | Plat of Survey | Date of Survey: <u>Jan 14th 2021</u> |
| <input checked="" type="checkbox"/> | Project Site Plan | Date of Drawings: <u>April 20th 2023</u> |
| <input checked="" type="checkbox"/> | Plan or Graphic Drawings of Proposal (If needed, see notes) | |
| <input checked="" type="checkbox"/> | Non-Compliant Zoning Analysis | |
| <input checked="" type="checkbox"/> | Proof of Ownership | Document Submitted: <u>HUD from purchase</u> |
| <input checked="" type="checkbox"/> | Application Fee (see zoning fees) | Amount \$ _____ plus Deposit Fee <u>\$150</u> |

Note: Incomplete applications will not be accepted. Although some of these materials may be on file with another City application, individual City applications must be complete with their own required documents.

Plat of Survey

- (1) One copy of plat of survey, drawn to scale, that accurately reflects current conditions.

Site Plan

- (1) One copy of site plan, drawn to scale, showing all dimensions.

Plan or Graphic Drawings of Proposal

A Major Variance application requires graphic representations for any elevated proposal-- garages, home additions, roofed porches, etc. Applications for a/c units, driveways, concrete walks do not need graphic drawings; their proposed locations on the submitted site plan will suffice.

Proof of Ownership

Accepted documents for Proof of Ownership include: a deed, mortgage, contract to purchase, closing documents (price may be blacked out on submitted documents).

- **Tax bill will not be accepted as Proof of Ownership.**

Non-Compliant Zoning Analysis

This document informed you that the proposed project is non-compliant with the Zoning Code and is eligible to apply for a major variance.

Application Fee

*** IMPORTANT NOTE: Except for owner-occupied residents in districts R1, R2 & R3, a separate application fee will be assessed for each variation requested.**

The fee application fee depends on your zoning district (see zoning fees). Acceptable forms of payment are: Cash, Check, or Credit Card.

6. PROPOSED PROJECT

A. Briefly describe the proposed project:

New construction of 24 apartments (18 2 bed and 6 1 bed) over three floors above ground floor parking garage which has 17 parking spaces and 20 bike spaces, 8 exterior parking are also provided.

B. Have you applied for a Building Permit for this project? ☒ NO ☐ YES

(Date Applied: Building Permit Application #:

REQUESTED VARIATIONS

What specific variations are you requesting? For each variation, indicate (A) the specific section of the Zoning Ordinance that identifies the requirement, (B) the requirement (minimum or maximum) from which you seek relief, and (C) the amount of the exception to this requirement you request the City to grant. (See the Zoning Analysis Summary Sheet for your project's information)

(A) Section (ex. "6-8-3-4")	(B) Requirement to be Varied (ex. "requires a minimum front yard setback of 27 feet")	(C) Requested Variation (ex. "a front yard setback of 25.25 feet")
1		
6-8-7-4	Requires an increase in number of units from 20 to 24	Increase density to 24 units

* For multiple variations, see "IMPORTANT NOTE" under "Application Fee & Transcript Deposit" on Page 2.

2		
3		

- B.** A variation's purpose is to provide relief from specified provisions of the zoning ordinance that may unduly impact property due to the property's particular peculiarity and special characteristics. What characteristics of your property prevent compliance with the Zoning Ordinance requirements?

The project requires frontage to a public street, as we do not have one we have to create one which requires

extending Jackson Ave approximately 130 feet north for fire truck, pedestrian and vehicular access. The increased cost of providing this access represents a public benefit of providing a new section of street.

1. The requested variation will not have a substantial adverse impact on the use, enjoyment, or property values of adjoining (touching or joining at any point, line, or boundary) properties.

We have worked with City planners to design a building that will add to the value of the neighbourhood and is respectful to neighbouring properties, we increased the setback to 5ft 11 inches from a minimum of 3 feet as required. Applicant owns the adjacent property to the north and east.

2. The property owner would suffer a particular hardship or practical difficulty as distinguished from a mere inconvenience if the strict letter of the regulations were to be carried out.

The hardship and difficulty is the cost and requirement of the City to have the property facing a street. As a result we have to extend Jackson Ave over 130 feet at the applicant's cost.

3. Either...

- (a) the purpose of the variation is not based exclusively upon a desire to extract income from the property, or
- (b) while the granting of the variation will result in additional income to the applicant and while the applicant for the variation may not have demonstrated that the application is not based exclusively upon a desire to extract additional income from the property, the Zoning Board of Appeals or the City Council, depending upon final jurisdiction under §6-3-8-2, has found that public benefits to the surrounding neighborhood and the City as a whole will be derived from approval of the variation, that include, but are not limited to any of the standards of §6-3-6-3.

4. The alleged difficulty or hardship has not been self-created, if so, please explain.

The property was previously a railroad right of way and has never been built on or used for residential use.

5. Have other alternatives been considered, and if so, why would they not work?



City of Evanston
DISCLOSURE STATEMENT FOR ZONING HEARINGS

(This form is required for all Major Variances and Special Use Applications)

The Evanston City Code, Title 1, Chapter 18, requires any persons or entities who request the City Council to grant zoning amendments, variations, or special uses, including planned developments, to make the following disclosures of information. The applicant is responsible for keeping the disclosure information current until the City Council has taken action on the application. For all hearings, this information is used to avoid conflicts of interest on the part of decision-makers.

1. If applicant is an agent or designee, list the name, address, phone, fax, and any other contact information of the proposed user of the land for which this application for zoning relief is made:
Does not apply.

2. *If a person or organization owns or controls the proposed land user*, list the name, address, phone, fax, and any other contact information of person or entity having constructive control of the proposed land user. Same as number _____ above, or indicated below. (An example of this situation is if the land user is a division or subsidiary of another person or organization.)

3. List the name, address, phone, fax, and any other contact information of person or entity holding title to the subject property. Same as number _____ above, or indicated below.

4. List the name, address, phone, fax, and any other contact information of person or entity having constructive control of the subject property. Same as number _____ above, or indicated below.

If Applicant or Proposed Land User is a Corporation

Any corporation required by law to file a statement with any other governmental agency providing substantially the information required below may submit a copy of this statement in lieu of completing a and b below.

- a. Names and addresses of all officers and directors.

John Cleary, 2231 Wesley Ave Evanston IL 60201

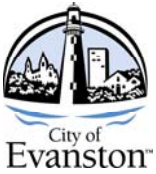
- b. Names, addresses, and percentage of interest of all shareholders. If there are fewer than 33 shareholders, or shareholders holding 3% or more of the ownership interest in the corporation or if there are more than 33 shareholders.

John Cleary, 2231 Wesley Ave Evanston IL 60201 70%

Dan Lauer, 1424 W Division St., Chicago IL 60642 30%

If Applicant or Proposed Land User is not a Corporation

Name, address, percentage of interest, and relationship to applicant, of each partner, associate, person holding a beneficial interest, or other person having an interest in the entity applying, or in whose interest one is applying, for the zoning relief.



MAJOR VARIATION INFORMATION

A. GENERAL INFORMATION

1. What projects are eligible for a Major Variation?

Property Owners may apply for a Major Variation from the following zoning regulations:

1. Yards and setbacks
2. Height
3. Lot size, width and depth (including flag lots).
4. Lot coverage including impervious surface and/or floor area ratio
5. Off street parking and loading
6. Home occupations. (Ord. 115-0-04)

2. Who can submit an application?

The applicant must either own, lease, or have legal or equitable interest in the subject property, or must be the representative of such a person. All persons or parties which have an ownership interest in the affected properties must be identified and must sign the application. The Property Owner(s) may, at their discretion, designate another person as Applicant to act on their behalf in processing this application. In that case, the designated Applicant will be considered the primary contact, until the application is closed or the Property Owner changes the designated Applicant by contacting the Zoning Office in writing. **Standing** (§6-3-8-4):

3. How do I submit an application?

Applications must be submitted in person to the Zoning Office, City of Evanston, Civic Center Room 3700, 2100 Ridge Avenue. Our office hours are Monday through Friday (excluding Holidays) from 8:30am until 5:00pm. Evanston.

Applications must be complete, including all required documentation and fee.

Applications are not accepted by mail or e-mail.

Application materials cannot be returned.

4. What forms of payment are accepted? Cash, Credit Card, Check.

5. Can I withdraw my application? Will my fee be returned?

Yes, an application may be withdrawn any time prior to the final publication of the ZBA Agenda (the Friday before the hearing). If the newspaper notice has not been published or mailed notices sent out, a full refund is general granted. If this has occurred, only the \$150 transcript deposit is returned.

6. Who has access to my application materials?

The application is a public document, and as such, may be reviewed by the general public upon request.

B. INFORMATION ABOUT MAJOR VARIATIONS

1. What is the timeframe?

The approximate time from when the Zoning Division receives a completed Major Variation application to when the applicant can reasonably expect a decision on that application is 30 -40 days.

2. What is the Process?

- Upon receipt of a complete application, the Zoning Department contacts the applicant via phone and with a letter detailing the next steps in the process
- The City publishes a notice of the hearing in a locally circulating newspaper, generally the Evanston Review, between 15 and 30 working days prior to a hearing;
- The City posts a sign announcing the date of the Zoning Board of Appeals hearing on the subject property no less than 10 working days before the hearing date;
- The City must mail notification of the public hearing and an overview of the proposed application to all properties that are within 500' of any point on the subject property;
- The project is heard before the Site Plan Appearance and Review Committee (SPAARC). This committee provides a recommendation to the Zoning Board of Appeals. This committee is made up of representatives from City departments such as Building, Police, Fire and Preservation. A representative of your project must attend. The committee meets every Wednesday at 2:30 at the Civic Center, room 2404.
- The Zoning Board of Appeals is a City Board made up of 7 members. You will present your case to the Board, who in turn will ask you questions to assist in their deliberation. Further, anyone in opposition may present their case and ask questions of you (as you may to them). It takes 4 yes votes to approve a submitted application.
- The City encourages all applicants to discuss their proposal with their neighbors prior to the public hearing.

3. What standards are used to decide? (§6-3-8-12(A)):

To grant a major variance, the Zoning Board of Appeals must find that the request meets the following 7 standards:

1. The requested variation will not have a substantial adverse impact on the use, enjoyment or property values of adjoining properties.
2. The requested variation is in keeping with the intent of the zoning ordinance.
3. The alleged hardship or practical difficulty is peculiar to the property.
4. The property owner would suffer a particular hardship or practical difficulty as distinguished from a mere inconvenience if the strict letter of the regulations were to be carried out.
5. (a) The purpose of the variation is not based exclusively upon a desire to extract additional income from the property, or
(b) While the granting of the variation will result in additional income to the applicant and while the applicant for the variation may not have demonstrated that the application is not based exclusively upon a desire to extract additional income from the property, the zoning board of appeals or the city council, depending on final jurisdiction under section [6-3-8-2](#) of this chapter, has found that public benefits to the surrounding neighborhood and the city as a whole will be derived from approval of the variation, that include, but are not limited to, any of the standards of section 6-3-6-3 of this chapter.
6. The alleged difficulty or hardship has not been created by any person having an interest in the property.
7. The requested variation requires the least deviation from the applicable regulation among the feasible options identified before the Zoning Board of Appeals issues its decision or recommendation to the City Council regarding said variation.

4. Can I Appeal?

An applicant may appeal the decision of the Zoning Board of Appeals to the Illinois Circuit Court. (§6-3-8-6(E)):

CONTACT INFORMATION

Community Development Department – Planning & Zoning Division

2100 Ridge Avenue, Room 3202 Evanston, Illinois 60201

P.847-448-4311 F.847-448-8126 E.zoning@cityofevanston.org www.cityofevanston.org/zoning



Community Development Department
2100 Ridge Avenue
Evanston, IL 60201-2798
Ph: 874-448-4311
Email: IHO@cityofevanston.org
www.cityofevanston.org

INCLUSIONARY HOUSING PROPOSAL – EFFECTIVE 01/01/2021

Submission Date: _____

Applicant Name: _____ Phone: _____

Applicant Address: _____

Applicant Phone: _____ Cell Phone: _____

E-Mail: _____ Website: _____

Property Owner Name: _____ Phone: _____

Property Owner Address: _____

Property Owner Phone: _____ Cell Phone: _____

E-Mail: _____ Website: _____

Project Name: _____

Project Address: _____

Parcel Identification Number (PIN): _____

Project Type: ☐ New Construction
☐ Conversion/Addition of Residential Units
☐ Reconfiguration of Residential Units (change in # of bedrooms)

Is the project a Planned Development, or does it require zoning variances/allowances?
☐ Yes ☐ No

Project Located in: ☐ Downtown Zoning District Please list: _____

☐ Non-Downtown Zoning District Please list: _____

Project Description: _____

Inclusionary Housing Compliance*: ☐ **On-site Units**

☐ **Fee in Lieu**

*If a project is a Planned Development or requires zoning variances/allowances, there is a mandatory requirement that 5% of the units be affordable with the exception of condominiums only.

Project Funding Type: ☐ **Private**

☐ **Public**

If publicly funded (Federal, State, Local), list all sources of governmental assistance, including TIF, low income housing tax credits, bond financing, public grants, land disposition programs and other:

Affordable Units: ☐ **Rental**

Market Rate Units:

☐ **Rental**

☐ **For Sale**

☐ **For Sale**

Residential Units

	Total # of Units	Affordable Units
Studio		
1 Bedroom		
2 Bedroom		
3 Bedroom		

Unit Square Footage

	Market Rate Units	Affordable Units
Studio		
1 Bedroom		
2 Bedroom		
3 Bedroom		

Describe general location of each affordable unit within the development (attach plans including floor plans, specify size and location of affordable units)

Pricing Schedule – Market Rate Units (Estimated Sale Price or Rent Amount)

	Sale Price	Rent Amount
Studio		
1 Bedroom		
2 Bedroom		
3 Bedroom		

On-site Affordable Rental Units – Number and Estimated Rents

Units at 60% AMI		
	# of Units	Rent
Studio		
1 Bedroom		
2 Bedroom		
3 Bedroom		

On-site Affordable For-Sale Units – Number and Estimated Sale Price

Units at 100% AMI		
	# of Units	Sale Price
Studio		
1 Bedroom		
2 Bedroom		
3 Bedroom		

For Development in Downtown Zoning Districts:

Fee in Lieu of On-site Rental Units: \$180,281 x _____ (number of units*) = \$ _____

Fee in Lieu of On-site Condo Units: (\$180,281 x 1.5) x _____ (number of units*) = \$ _____

For Development in Non-Downtown Zoning Districts:

Fee in Lieu of On-site Rental Units: \$154,526 x _____ (number of units*) = \$ _____

Fee in Lieu of On-site Condo Units: (\$154,526 x 1.5) x _____ (number of units*) = \$ _____

*If the percentage of units results in a fractional number, if 0.5 or greater, it rounds up to an onsite unit or full fee-in-lieu. If under 0.5, there is no onsite unit requirement and one half of the fee-in-lieu is paid. For example, 10% of 45 units is 4.5. This would round up to 5 onsite units or the applicable fee-in-lieu x 5. If 5% of the units were provided onsite, the requirement would be 2.25 onsite units, which would round down to 2 onsite units and a fee in lieu would be required of one half the applicable fee. The fee in lieu for the remaining 5%, or 2.25 units, would be the applicable fee-in-lieu x 2.5.

If the project construction will be done in phases, provide a construction schedule for market rate and affordable units.

☐ The developer proposes to meet the Inclusionary Housing Ordinance requirements through the attached alternative equivalent action. (The proposal must show that the alternative proposed will increase affordable housing opportunities in the City to an equal or greater extent than compliance with the express requirements of Inclusionary Housing Ordinance).

For further information visit: www.cityofevanston.org/IHO

I certify that the above information is true and correct:

Print Name: _____ Position/Title: _____

Signature:  _____ Date: _____



Simpson St

Ashland Ave

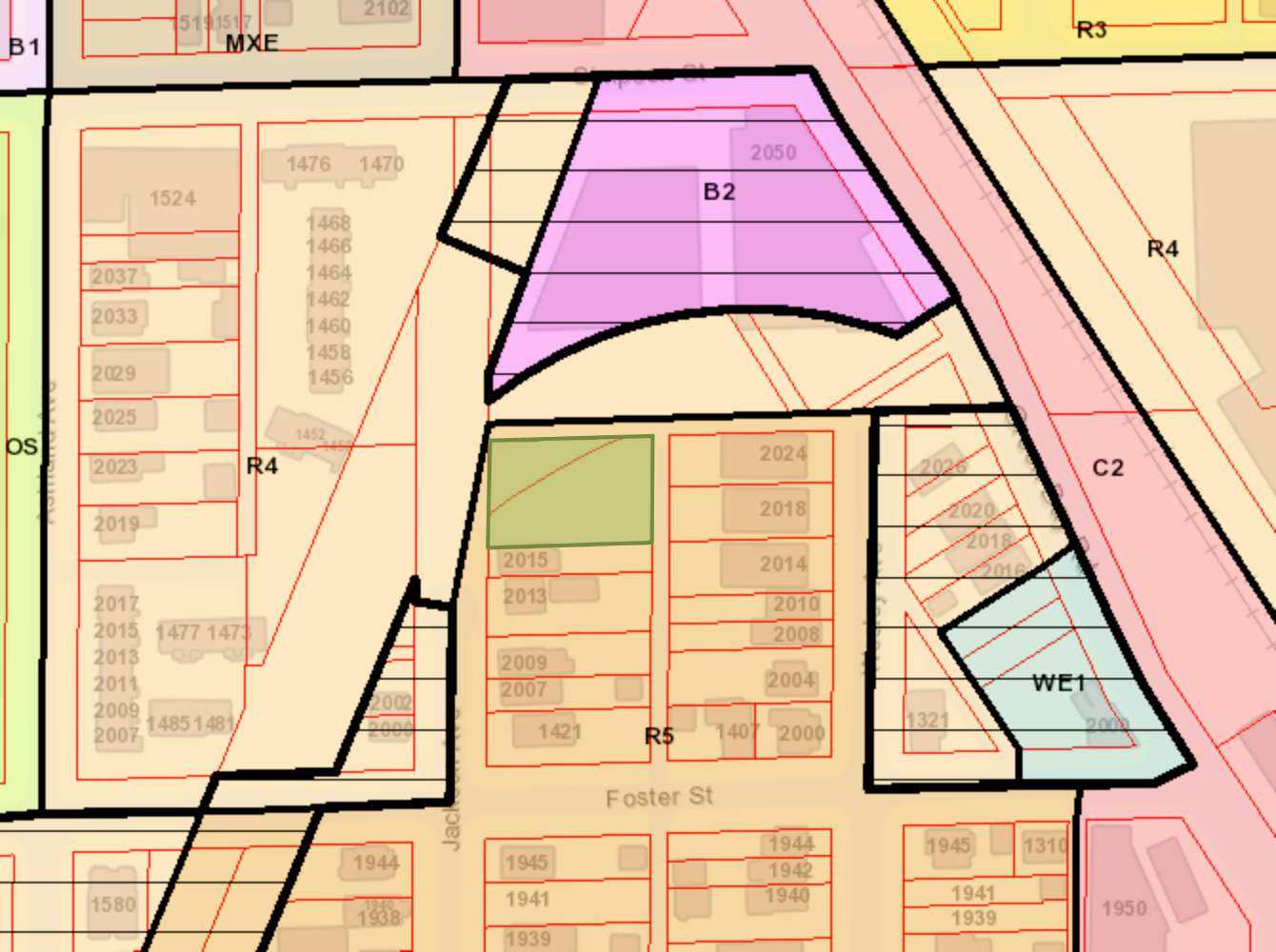
Jackson Ave

Foster St

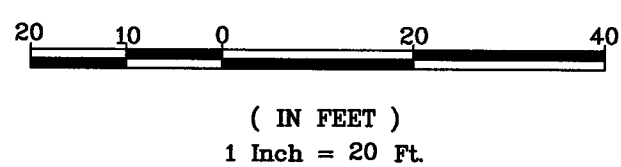
Wesley Ave

Green Bay Rd





OF



PARCEL 1:
THE PARTS OF LOTS 11 AND 12 IN BLOCK 2 OF GRANT AND JACKSON'S ADDITION TO EVANSTON, AND THE NORTHWEST CORNER OF VACATED JACKSON STREET, BEING DESCRIBED AS FOLLOWS: TO BEGIN AT THE SOUTHWESTERLY CORNER OF SAID LOT 10; THENCE EASTERLY ALONG THE WESTERLY LINE OF SAID LOT 10 TO A POINT BEING DISTANT 152 FEET; THENCE NORTHERLY THEREOF; THENCE NORTHERLY ALONG THE EASTERLY LINE OF SAID LOTS 11 AND 12, A DISTANCE OF 160 FEET; THENCE NORTHERLY ALONG THE EASTERN LINE OF SAID LOT 12 TO A POINT BEING DISTANT 152 FEET; THENCE NORTHERLY LINE OF BLOCK 2 TO A LINE DRAWN PARALLEL TO AND AT DISTANT 32 FEET FROM THE EASTERN LINE OF SAID LOT 12; THENCE EASTERLY ALONG SAID MOST SOUTHERLY MAIN TRACK OF THE EAST-WAY MAIN TRACKS OF THE MAYFAIR TO EVANSTON LINE; THENCE MOST SOUTHERLY MAIN TRACK OF THE WESTERN RAILROAD COMPANY; SAID TRACKS ARE NOW LOCATED AND ESTABLISHED; THENCE NORTHEAST ALONG SAID CENTERLINE WITH SAID CENTERLINE OF VACATED JACKSON STREET; THENCE SOUTHERLY ALONG SAID CENTERLINE OF VACATED JACKSON STREET TO A POINT BEING DISTANT 152 FEET; THENCE SOUTHERLY ALONG SAID CENTERLINE OF VACATED JACKSON STREET EXTENDING SOUTHWESTERLY TO A STRAIGHT LINE; THENCE SOUTHERLY ALONG SAID STRAIGHT LINE TO THE SOUTH LINE OF LOT 10; THENCE SOUTHERLY ALONG SAID SOUTHERLY LINE OF VACATED JACKSON'S ADDITION TO EVANSTON, SAID POINT BEING DISTANT 152 FEET; THENCE SOUTHERLY ALONG SAID SOUTHERLY LINE OF VACATED JACKSON STREET TO THE POINT OF BEGINNING, IN THE NORTHEAST CORNER OF SAID LOT 10, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

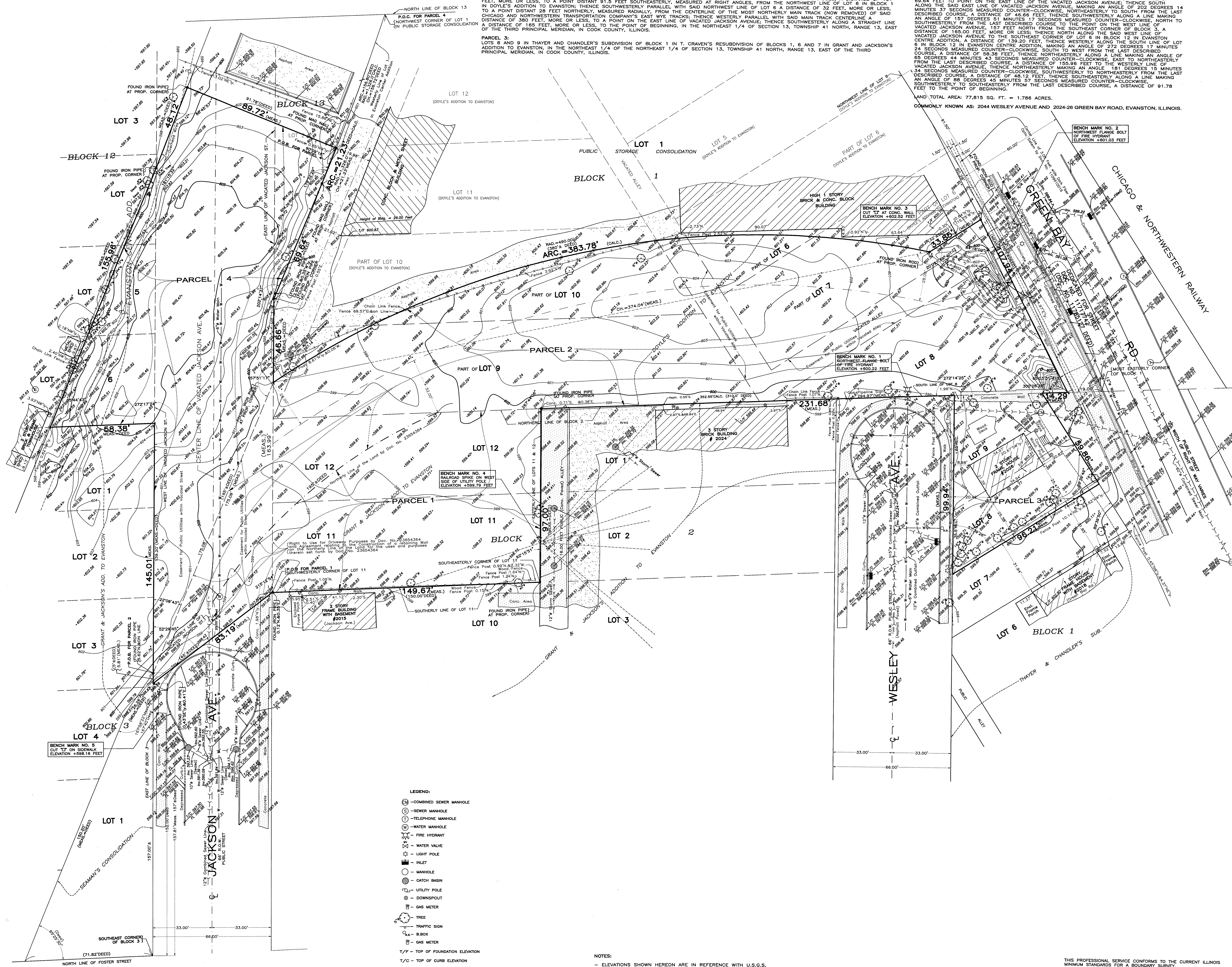
[illegible]

PARCEL 3:
LOTS 8 AND 9 IN THAYER AND CHANDLER'S SUBDIVISION OF BLOCK 1 IN T. CRAVEN'S RESUBDIVISION OF BLOCKS 1, 6 AND 7 IN GRANT AND JACKSON'S ADDITION TO EVANSTON, IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 13, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 4:
THOSE PARTS OF LOTS 4, 5 AND 6 IN BLOCKS 12, PART OF BLOCK 13 IN EVANSTON CENTRE
ADDITION, A SUBDIVISION IN SECTIONS 12 AND 13, TOWNSHIP 41 NORTH, RANGE 13 EAST OF THE
THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 12, 1874 IN
BOOK 1, PAGE 97 IN COX COUNTY, ILLINOIS ALONG WITH THAT PART OF VACATED JACKSON
AVENUE DESCRIBED AS FOLLOWS:

[illegible]

LAND TOTAL AREA: 77,815 SQ. FT. = 1.786 ACRES.
COMMONLY KNOWN AS: 2044 WESLEY AVENUE AND 2024-26 GREEN BAY ROAD, EVANSTON, ILLINOIS.



THE LEGAL DESCRIPTION SHOWN ON THE PLAT
HEREON DRAWN IS A COPY OF THE ORDER, AND
FOR ACCURACY SHOULD BE COMPARED WITH
THE TITLE OR DEED.

DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING.

BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED IN THE MAPS, OTHERWISE REFER TO YOUR DEED OR ABSTRACTS.

ORDER NO.: 19-95106-5

SCALE: 1 INCH = 20 FEET

DATE OF FIELD WORK: January 14, 2021.

ORDERED BY: JOHN CLEARY

NOTES:

- ELEVATIONS SHOWN HEREON ARE IN REFERENCE WITH U.S.G.S. (MEAN SEE LEVEL) DATUM OF 1983. ELEVATIONS WERE CONVERTED FROM EVANSTON CITY DATUM BENCH MARK NUMBER 40. ELEVATION 18.153 FEET LOCATED AT EAST SIDE OF ASBURY AVENUE, NORTH OF SIMPSON. (EVANSTON CITY DATUM 18.153+579.70=597.853 FEET)

- UTILITY DATA OTHER THAN PHYSICAL EVIDENCE VISIBLE ON THE GROUND IS SHOWN AS PER RECORDS OBTAINED FROM PRIVATE AND PUBLIC SOURCES AS INDICATED AND SHOULD BE ASSUMED TO BE APPROXIMATE.
- COPY OF CURRENT TITLE INSURANCE POLICY NOT PROVIDED

TO SURVEYOR.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS
MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
THIS SURVEY HAS BEEN ORDERED FOR SURFACE DIMENSIONS ONLY.
THIS IS NOT AN ALTA SURVEY.

COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE

REPORT ANY DIFFERENCE.

State of Illinois ss.
County of Cook

We, PROFESSIONALS ASSOCIATED SURVEY, INC., do hereby

to the best of our knowledge, the plat hereon drawn is an accurate representation of said survey.

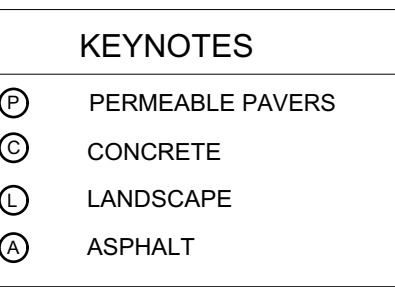
Date: January 14, 2022

John E. Walker

IL. PROF. LAND SURVEYOR - LICENSE EXP. DATE NOV. 30, 2022


Drawn by: J.V.





ALL WORK WILL BE CONSTRUCTED
TO THE CITY OF EVANSTON
PWA REQUIREMENTS



STORMWATER DETENTION
LOCATED BELOW REAR
ON GRADE PARKING AREA
to be detailed by Civil Eng

STORMWATER DETENTION
LOCATED BELOW REAR
ON GRADE PARKING AREA
to be detailed by Civil Eng

BUILDING LOT COVERAGE	
Buildings <i>(24) Apts</i> Principal Structure <i>including Attached Garage</i>	8,403.00
 Deck Overhangs at Front Front Porch Credit = 400 sf x 50%	200.00
Entry Overhang	32.00
<i>TOTAL Proposed Building Lot Coverage</i>	8,635.00

IMPERVIOUS LOT COVERAGE		
	Exterior Parking (<i>Permeable Pavers</i>) 1,224 total x .20 = 244.8	979.20
	Exterior Parking Apron (<i>Permeable Pavers</i>) 250 of x .20 = 50	200.00
	Driveway (<i>Permeable Pavers</i>) 476.5 sf x .20 = 95.3	381.20
	Walks (<i>Permeable Pavers</i>) FRONT 271. REAR 229. SIDE 351 TOTAL 851. x .20 = 170.2	680.80
Subtotal		2,241.20
+ Building Lot Coverage		8,635.00
TOTAL Proposed Impervious Surface Area		10,876.20

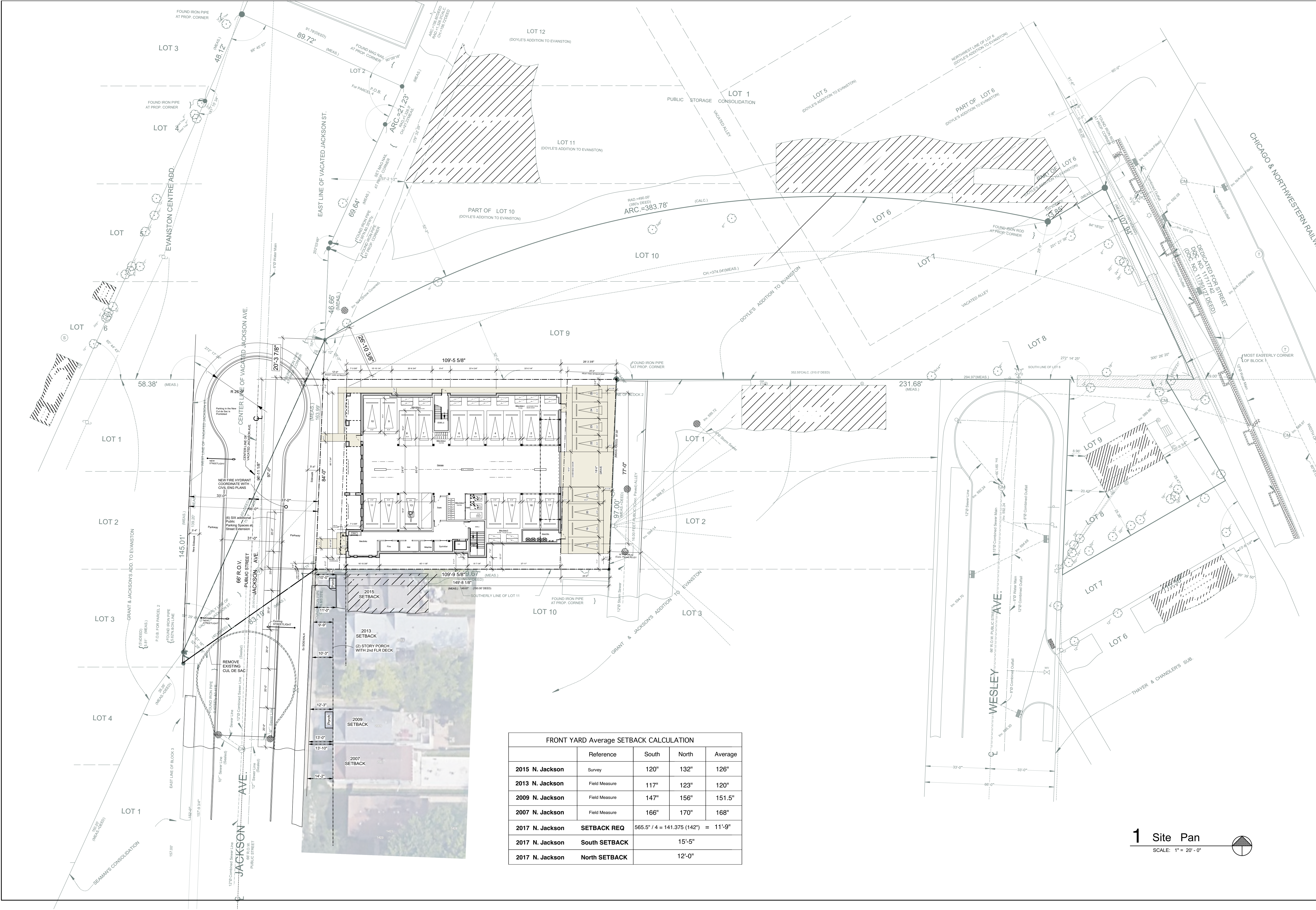
Dwelling Units Total					24
18 - Residential 2 - IHO 4 - Bonus					
Dwelling Unit Summary (3) Floors x 8 Units per flr = 24					
	Bedrooms		Baths		
	Floor	Total	Floor	Total	
Unit 1	2	6	1	3	
Unit 2	2	6	1	3	
Unit 3	2	6	1	3	
Unit 4	1	3	1	3	
Unit 5	2	6	1	3	
Unit 6	2	6	2	6	
Unit 7	2	6	1	3	
Unit 8	1	3	1	3	
Total	14	42	9	27	
Parking Total 17 Enclosed 8 On Grade on Site 6 On Grade on Street 10% EV - Installed 3 spaces EVI 20% EV - Ready 5 spaces EVR 70% EV - Capable 18 spaces					25 on site
Bike Parking					38
22	Flr Mounted 2' x 6'				
16	Wall Mounted 3'-4" x 1'-1"				

PROPERTY INFORMATION	
Zone Classification	R-5
Total sq ft Lot Area	14,504.0 sf
<i>45% Building Lot Coverage</i>	<i>6,526.8 sf</i>
<i>15% Bonus - Affordable</i>	<i>2,175.6 sf</i>
Total Max Building Lot Coverage	8,702.4 sf
<i>60% Impervious Surface Lot Coverage</i>	<i>8,702.4 sf</i>
<i>15% Bonus - Affordable</i>	<i>2,175.6 sf</i>
Total Max Impervious Surface Coverage	10,878.0 sf

1 Site Plan

SCALE: 1/8" =

[illegible]



FRONT YARD Average SETBACK CALCULATION				
	Reference	South	North	Average
2015 N. Jackson	Survey	120"	132"	126"
2013 N. Jackson	Field Measure	117"	123"	120"
2009 N. Jackson	Field Measure	147"	156"	151.5"
2007 N. Jackson	Field Measure	166"	170"	168"
2017 N. Jackson	SETBACK REQ	$565.5' / 4 = 141.375 (142'') = 11'-9''$		
2017 N. Jackson	South SETBACK	15'-5"		
2017 N. Jackson	North SETBACK	12'-0"		

1 Site Pan
SCALE: 1" = 20' - 0"

STONEBERG + GROSS ARCHITECTS

2017 N. JACKSON
New 24 Unit Residential Bldg
EVANSTON , Illinois

3320 NORTH RAVENSWOOD AVE.
CHICAGO, ILLINOIS 60657
ph. 773-281-1878 stoneberggross@sbcglobal.net

WE HEREBY CERTIFY THAT TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THIS SET OF PLANS WAS PREPARED BY AN ENGINEER OR ARCHITECT, AND THAT THE ENGINEER OR ARCHITECT IS A LICENSED PROFESSIONAL IN THE STATE OF ILLINOIS. THIS CERTIFICATION IS VALID FOR THE PROJECT AND CASE AS OF THE DATE OF THE PLANS.

LIC. EXPIRES 11/30/2024

RECORD

NO.	DATE	DESCRIPTION
	6-28-23	zoning
		BID PERMIT
		REV PERMIT

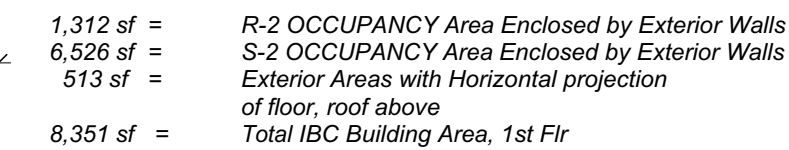
SCALE: 1" = 20'-0"

DRAWN BY: JS

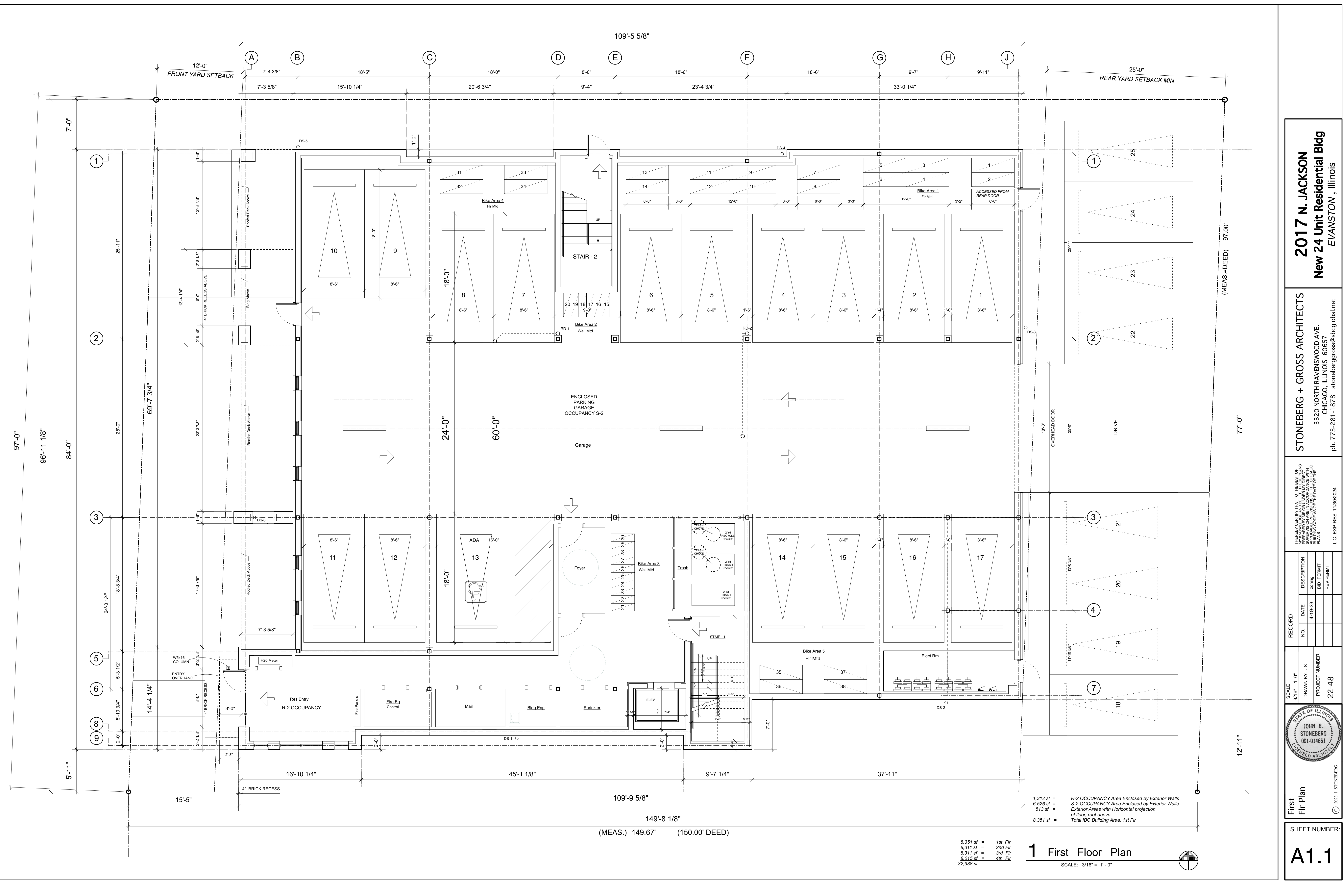
PROJECT NUMBER: 22-48

Site Plan

SHEET NUMBER: SP.2



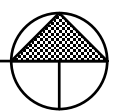
SP.3



8,351 sf = 1st Flr
8,311 sf = 2nd Flr
8,311 sf = 3rd Flr
8,015 sf = 4th Flr
32,988 sf

1 First Floor Plan

SCALE: 3/16" = 1' - 0"



2017 N. JACKSON
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ph. 773-281-1878 stoneberggross@sbcglobal.net

I HEREBY CERTIFY THAT THE SEALS OF ARCHITECTS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND IN ACCORDANCE WITH THE
APPLICABLE PROVISIONS OF THE CHICAGO
PLANS CODE AS OF THE DATE OF THE
PLANS.

RECORD		DESCRIPTION	
NO.	DATE	NO.	DESCRIPTION
1	4-19-23	1	zoning
2		2	BID PERMIT
3		3	REV PERMIT

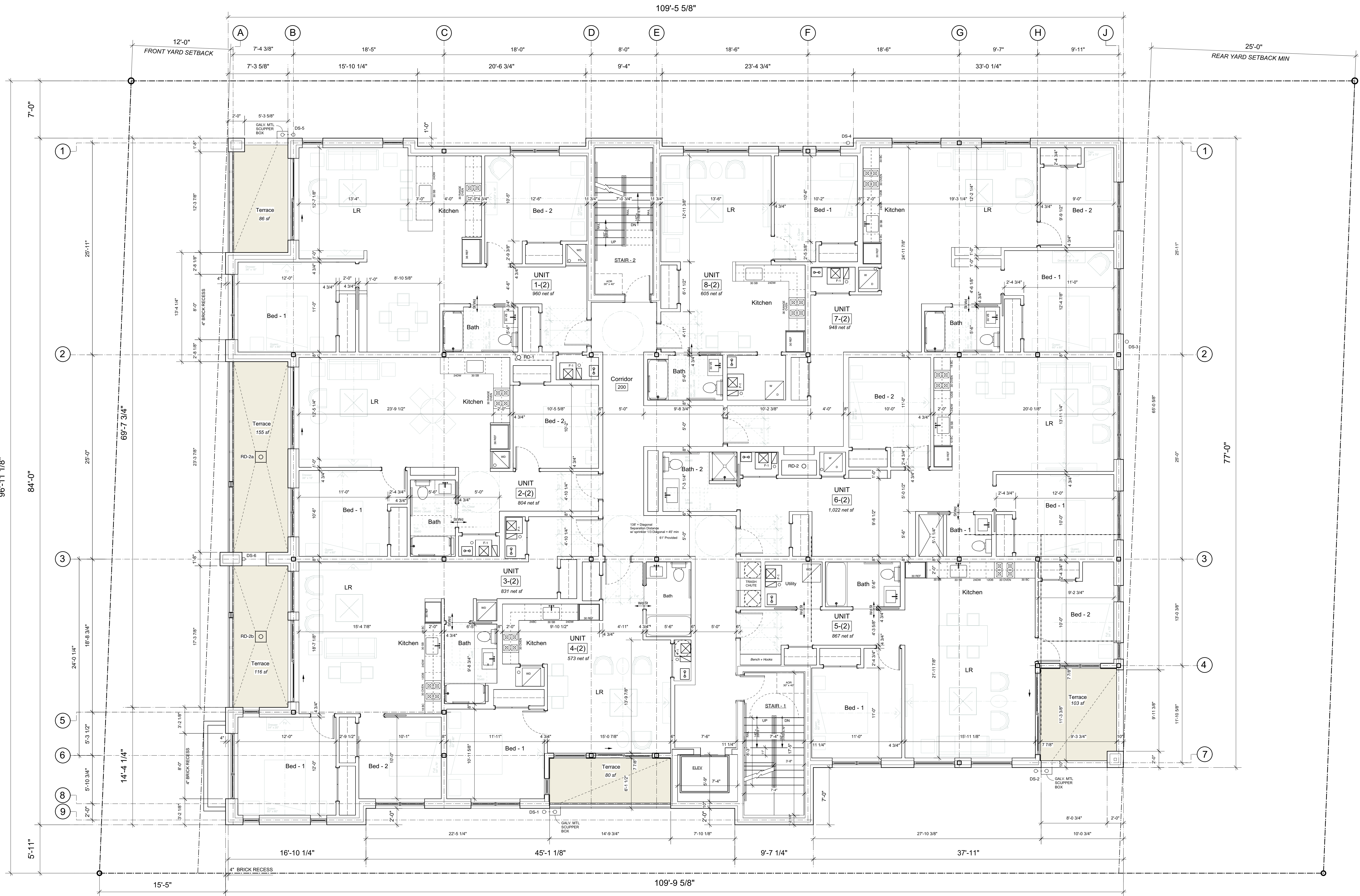
SCALE:
3/16" = 1'-0"
DRAWN BY: JS
PROJECT NUMBER:
22-48



First
Flr Plan
© 2023 J. STONEBERG

SHEET NUMBER:

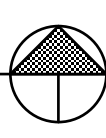
A1.1



7,699 sf = Area Enclosed by Exterior Walls
612 sf = Exterior Areas with Horizontal projection
8,311 sf = of floor, roof above
Total IBC Building Area, 2nd Flr

1 Second Floor Plan

SCALE: 3/16" = 1'-0"



Second
Flr Plan

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STONEBERG + GROSS ARCHITECTS

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CHICAGO, ILLINOIS 60657
ph. 773-281-1878 stoneberggross@sbcglobal.net

2017 N. JACKSON
New 24 Unit Residential Bldg
EVANSTON, Illinois

ph. 773-281-1878 stoneberggross@sbcglobal.net

STATE OF ILLINOIS
JOHN B. STONEBERG
001-014661
LICENSED ARCHITECT

2023 J. STONEBERG

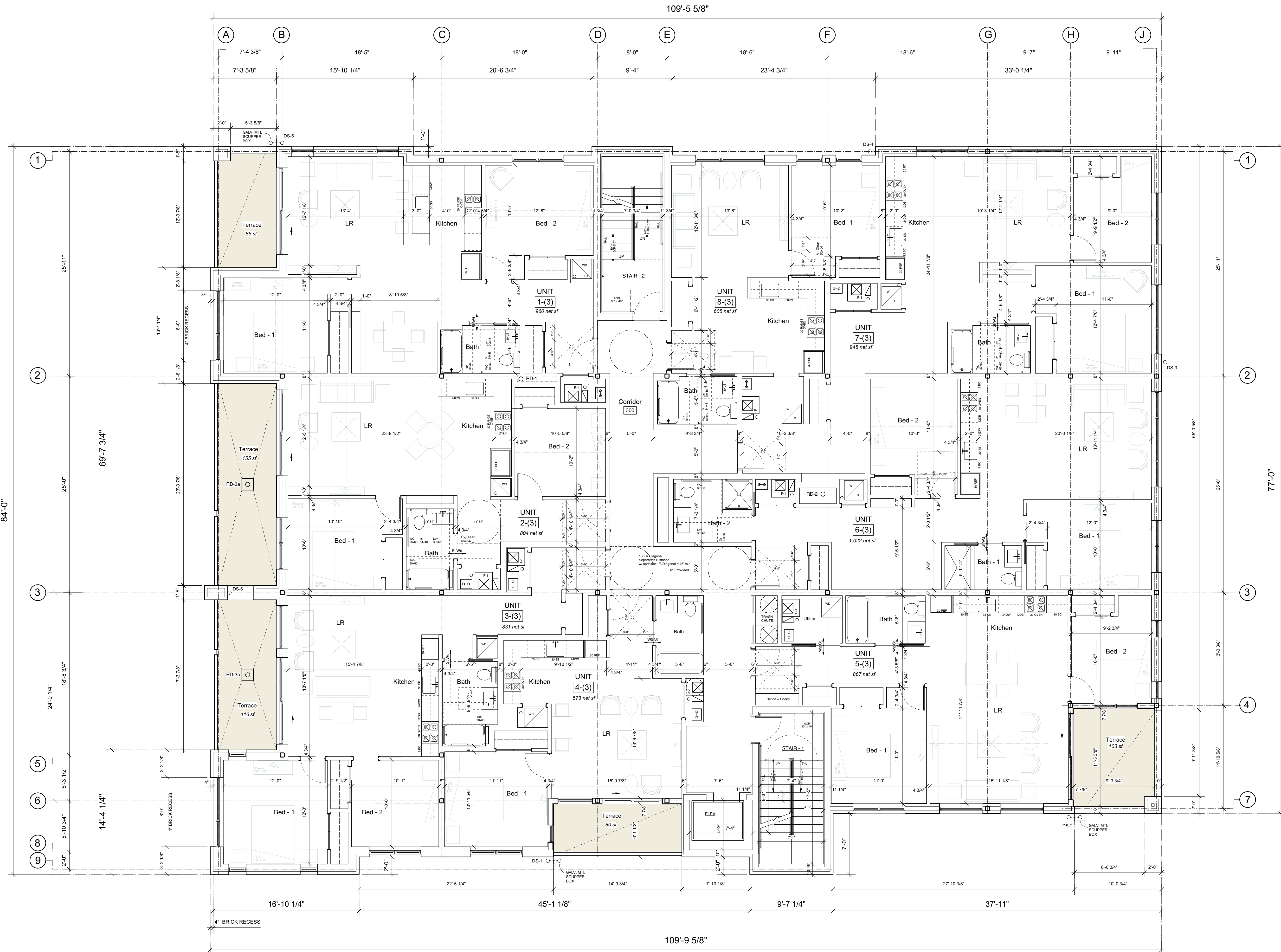
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		4-19-23	2000
			BID PERMIT
			REV PERMIT

SCALE: 3/16" = 1'-0"

DRAWN BY: JS

PROJECT NUMBER: 22-48

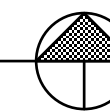
SHEET NUMBER:
A1.2



7,699 sf = Area Enclosed by Exterior Walls
612 sf = Exterior Areas with Horizontal projection
8,311 sf = Total IBC Building Area, 3rd Flr

1 Third Floor Plan

SCALE: 3/16" = 1' - 0"



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ph. 773-281-1878 stoneberggross@sbcglobal.net

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS AND SPECIFICATIONS COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS AND I AM A LICENSED ARCHITECT IN THE STATE OF ILLINOIS.
LIC. EXPIRES 11/30/2024

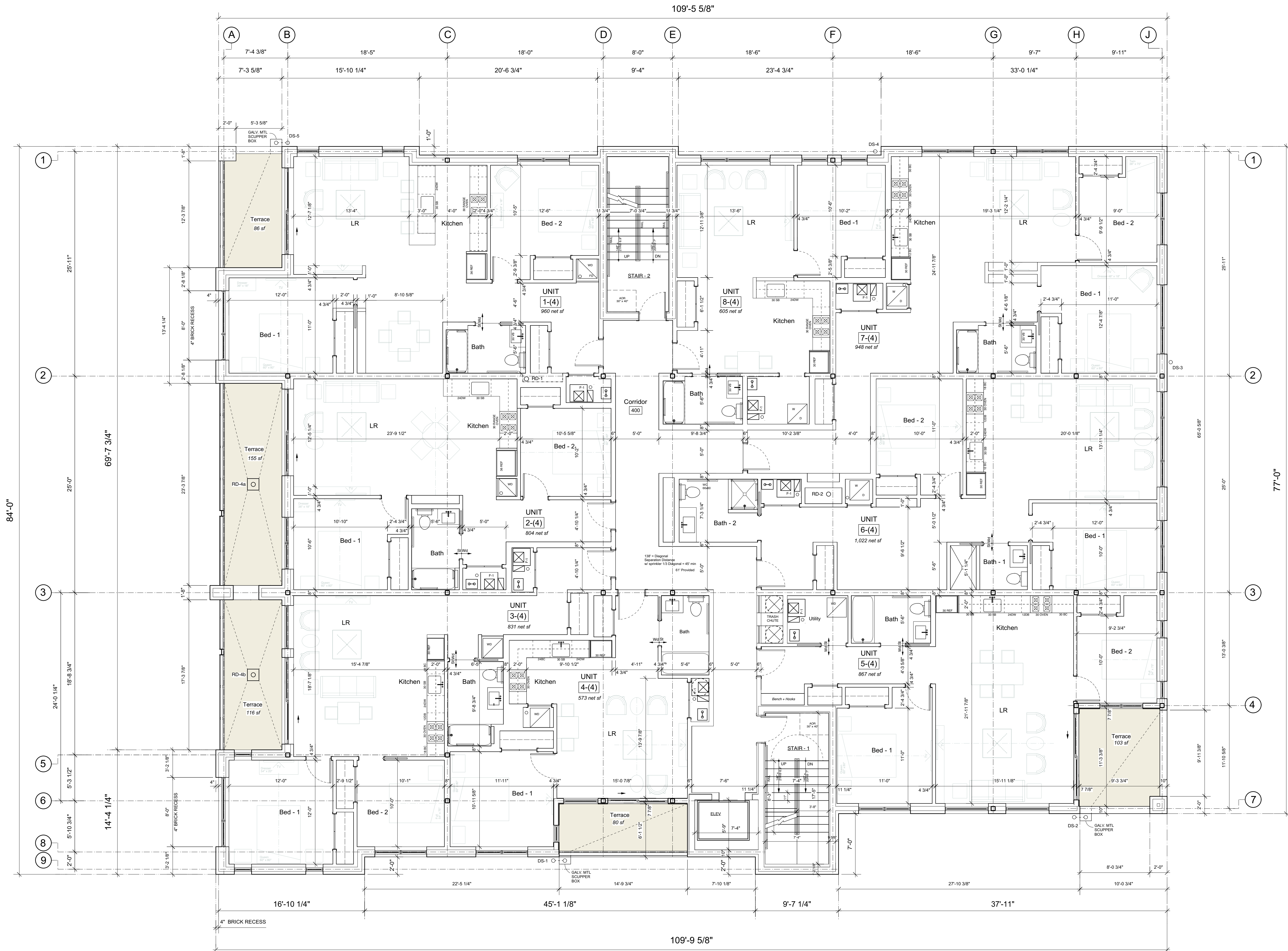
RECORD	NO.	DESCRIPTION	
		DATE	BY
		4-19-23	JD



Third
Flr Plan

SHEET NUMBER:

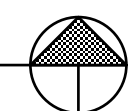
A1.3



7,699 sf = Area Enclosed by Exterior Walls
316 sf = Exterior Areas with Horizontal projection
of floor, roof above
8,015 sf = Total IBC Building Area, 4th Flr

1 Fourth Floor Plan

SCALE: 3/16" = 1' - 0"



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ph. 773-281-1878 stoneberggross@sbcglobal.net

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS SUPERVISION ARE IN ACCORDANCE WITH THE BUILDING CODE AND THE DATE OF THE PLANS
LIC. EXPIRES 11/30/2024

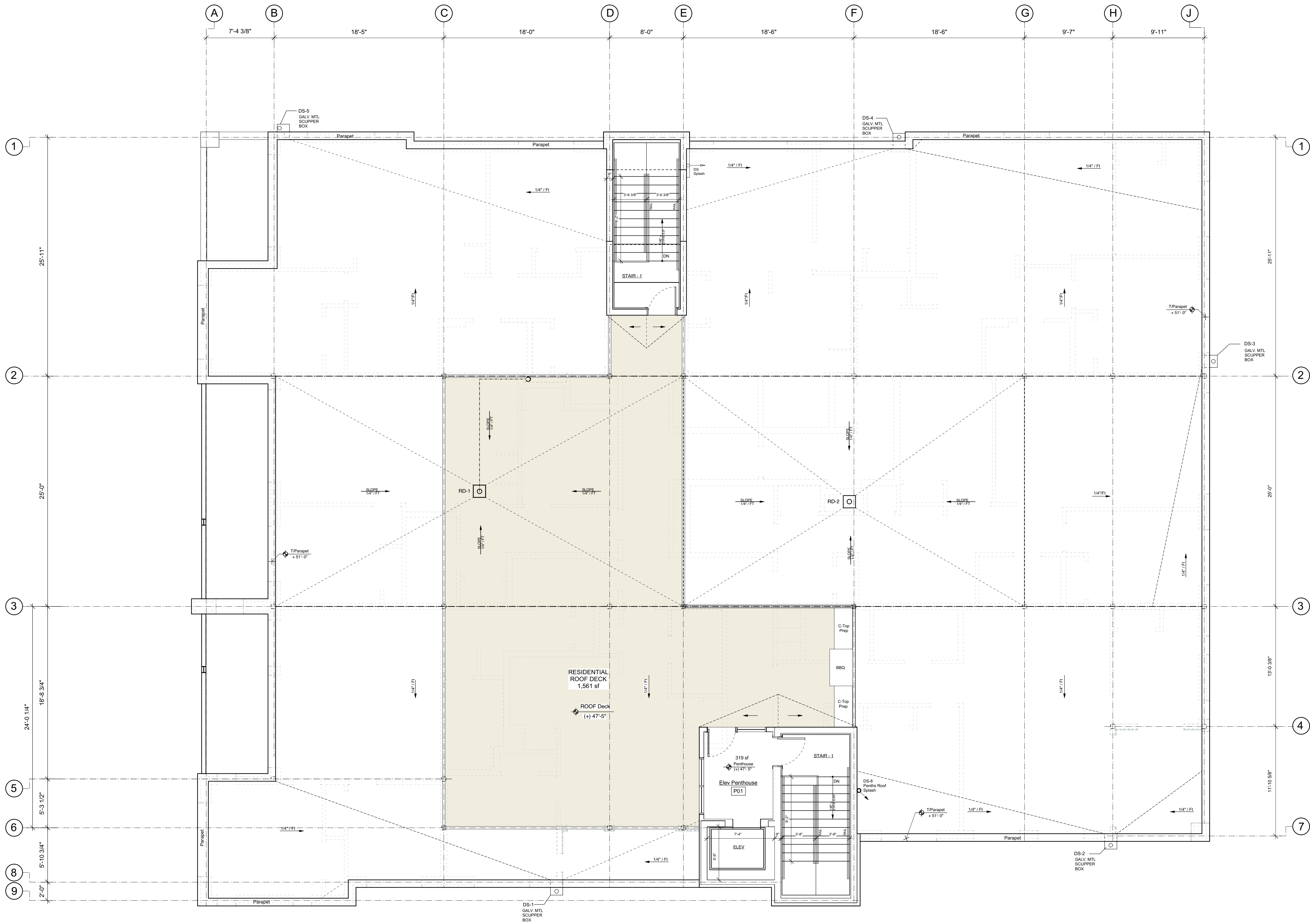
RECORD	NO.	DESCRIPTION	
		DATE	
		4-19-23	2090
			BID PERMIT
			REV PERMIT



Fourth
Flr Plan

SHEET NUMBER:

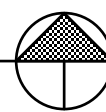
A1.4



ILLINOIS RAINFALL RATE: 3" PER HOUR
8,150 sf= TOTAL ROOF AREA

1 Roof Plan

SCALE: 3/16" = 1' - 0"



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LIC. EXPIRES 11/30/2024

RECORD	NO.	DESCRIPTION	
		DATE	REV
		4-19-23	

SCALE: 3/16" = 1'-0"
DRAWN BY: JS
PROJECT NUMBER: 22-48



Roof Plan

SHEET NUMBER:

A1.5

EXTERIOR MATERIAL KEYNOTES	
(A)	FACE BRICK VENEER, COLOR 'A' UTILITY SIZE 3 5/8" h x 11 5/8" L x 3 5/8" d ENDICOTT - MANGANESE IRONSPOT SMOOTH OR YANKEE HILL - FL MANGANESE SMOOTH
(B)	FACE BRICK VENEER, COLOR 'B' UTILITY SIZE 3 5/8" h x 11 5/8" L x 3 5/8" d ENDICOTT: DOVE GRAY - SMOOTH OR BELDEN- ALASKA WHITE - VELOUR
(C)	LIMESTONE SILL SLOPED TO DRAIN 3 5/8" HIGH
(D)	4" High BEVELED LIMESTONE PARAPET CAP Note: Verify Wall thickness in Field and Provide 3/4" Drip on each side of wall
(E)	3 5/8"x4 x 1-11 5/8"h x LIMESTONE VENEER PANELS
(F)	12" HIGH HORIZONTAL ALUM MTL WALL PANEL W/ REVEAL Prefinished Color A: WEATHERED ZINC MANF: PETERSEN ALUM - PAC CLAD MAX PANEL LENGTH = 25' See SHEET A4.3 for Details
(G)	4" High PARAPET CAP, ALUM MTL Prefinished Color: WEATHER ZINC PROVIDE DRIP EDGE, Flash and caulk Lap seams
(H)	4" High SILL, ALUM MTL Prefinished Color: WEATHER ZINC PROVIDE DRIP EDGE, Flash and caulk Lap seams
(K)	METAL DOWNSPOUT, 4" DIAMETER
(L)	5/8" PAINTED EXTERIOR GYP BD AT SOFFIT / OVERHANG
(M)	TEMPERED LAMINATED GLASS STAIR RAIL PANELS BIRD FRIENDLY PATTERNED ATTACHED TO STEEL RAILS WITH STAINLESS STEEL FRICTION COMPONENTS SEE DETAIL SPEC SHEET A4.4
(N)	12" HIGH HORIZONTAL ALUM MTL WALL PANEL BOXED RIB Prefinished Color A: WEATHERED ZINC MANF: PETERSEN ALUM - PAC CLAD See SHEET A4.3 for Details

COLOR 'A' BLACK
ENDICOTT - MANGANESE IRONSPOT SMOOTH
Alternate
YANKEE HILL - CAPTIAL IRONSPOT SMOOTH

COLOR 'B' WHITE
BELDEN- ALASKA WHITE - VELOUR
Alternate
ENDICOTT - DOVE GRAY VELOUR

BRICK SUPPLIER: BRICKWORKS aka
ILLINOIS BRICK
CONTACT: NATHAN KARAWAY
708 - 912- 8544

LIMESTONE NOTE:
ALL LIMESTONE
DETAILS AND MATERIAL SPECS TO BE
VERIFIED WITH OWNER-DEVELOPER.
STONE SUPPLIER TO PROVIDE
SHOP DRAWINGS ON ALL DETAILS
INCLUDING, BUT NOT LIMITED TO,
THE FASTENING - BASE, TRIM, PARAPET
CAPS AND OTHER MISC. DECORATIVE
AND STRUCTURAL ITEMS.

HOT DIPPED GALVANIZED
STL COLUMNS - TYPICAL
PROVIDE SLOTTED BOLT
CONNECTIONS TO BEAMS
WITH GALVANIZED BOLTS
REFER TO STRUCT PLANS
HOT DIPPED GALVANIZED
STL RAILS - TYPICAL AT
EACH FLOOR DECK
PROVIDE WEB
PLATES AT BEAM ENDS IN
FRONT OF FINISH WALL MAT'L
REFER TO STRUCT PLANS

LIMESTONE NOTE:
ALL LIMESTONE
DETAILS AND MATERIAL SPECS TO BE
VERIFIED WITH OWNER-DEVELOPER.
STONE SUPPLIER TO PROVIDE
SHOP DRAWINGS ON ALL DETAILS
INCLUDING, BUT NOT LIMITED TO,
THE FASTENING - BASE, TRIM, PARAPET
CAPS AND OTHER MISC. DECORATIVE
AND STRUCTURAL ITEMS.



Window / Dr 1,683
Brick 986
Metal Panels 1,802
Total Wall Area 4,471 sf

1 West Elevation

SCALE: 1/4" = 1' - 0"

2017 N. JACKSON
New 24 Unit Residential Bldg
EVANSTON, Illinois

STONEBERG + GROSS ARCHITECTS
3320 NORTH RAVENSWOOD AVE.
CHICAGO, ILLINOIS 60657
ph. 773-281-1878 stoneberggross@sbcglobal.net

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE CHICAGO BUILDING CODE AS OF THE DATE OF THE PLANS
LIC. EXPIRES 11/30/2024

RECORD		SCALE:		DRAWING BY: JS		PROJECT NUMBER: 22-48	
NO.	DATE	NO.	DESCRIPTION	DATE	DESCRIPTION	NO.	DESCRIPTION
	6-13-23		zoning				
			BID PERMIT				
			REV PERMIT				

West
Elevation

STATE OF ILLINOIS
JOHN B. STONEBERG
001-014661
LICENSED ARCHITECT

© 2023 J. STONEBERG

SHEET NUMBER:
A2.1



Window / Dr 1,088
Brick 2,074
Metal Panels 2,623
Total Wall Area 5,785 sf

1 South Elevation
SCALE: 1/4" = 1' - 0"

2017 N. JACKSON
New 24 Unit Residential Bldg
EVANSTON, Illinois

STONEBERG + GROSS ARCHITECTS
3320 NORTH RAVENSWOOD AVE.
CHICAGO, ILLINOIS 60637
ph. 773-281-1878 stoneberggross@sbcglobal.net

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS AND I AM A LICENSED ARCHITECT IN THE STATE OF ILLINOIS. THESE PLANS ARE IN ACCORDANCE WITH THE BUILDING CODE AS OF THE DATE OF THE PLANS.

LIC. EXPIRES 11/30/2024

RECORD		DESCRIPTION
NO.	DATE	
	6-13-23	zoning
		BID PERMIT
		REV PERMIT

SCALE: 1/4" = 1'-0"

DRAWN BY: JS

PROJECT NUMBER: 22-48

South Elevation

JOHN B. STONEBERG
001-014661
LICENSED ARCHITECT
STATE OF ILLINOIS

© 2023 J. STONEBERG

SHEET NUMBER:
A2.2



Window / Dr	1,088
Brick	2,308
Metal Panels	1,075
Total Wall Area	4,471 sf

1 East Elevation

SCALE: 1/4" = 1' - 0"

2017 N. JACKSON
New 24 Unit Residential Bldg
EVANSTON, Illinois

STONEBERG + GROSS ARCHITECTS
3320 NORTH RAVENSWOOD AVE.
CHICAGO, ILLINOIS 60657
ph. 773-281-1878 stoneberggross@sbcglobal.net

I HEREBY CERTIFY THAT TO THE BEST OF
MY KNOWLEDGE AND BELIEF, THESE PLANS
COMPLY WITH ALL CITY, STATE AND
FEDERAL REQUIREMENTS AND I AM A
LICENSED ARCHITECT IN ACCORDANCE WITH
BUILDING CODE AS OF THE DATE OF THE
PLANS.

LIC. EXPIRES 11/30/2024

RECORD	NO.	DATE	DESCRIPTION		
			NO.	BID PERMIT	REV PERMIT
SCALE: 1/4" = 1'-0"	DRAWN BY: JS	DATE: 6-13-23	PROJECT NUMBER:		
			22-48		



East
Elevation
© 2023 J. STONEBERG

SHEET NUMBER:

A2.3



SCALE: 1/4" = 1' - 0"

A2.4



Style and Color PRESENTATION

2017 Jackson Ave



4 x 12 brick colors And samples 2017 Jackson Ave



Ebonite Smooth 4 x 12 (black)

Manganese Ironspot Smooth 4 x 12 (black)

Yankee Hill Capital Ironspot smooth 4 x 12 (black)


Modular Glacier White 4x12 brick (white)

Modular Alaska Velour 4x12 brick (white)

Endicott Dove grey Velour 4x12 brick (white)

Subject to availability we will use a dark ebony brick with a similar color mortar and a white brick with a white mortar

MAC WALL, SIDING PB



Versa - Patricia Gray


Versa

With its 12-inch height and variable length, the **Versa** offers vitality and stature to any project. It can be installed horizontally, vertically or diagonally, offering **unmatched flexibility of design** to create the look of your dreams.

FEATURES


- Maintenance-free
- 40-year warranty
- No visible joints for a sleek and modern look

PROFILE




Versa
12 in x (3 ft to 60 ft) x 1 in

SIGNATURE COLLECTION



PS 1 MAC WALL, SIDING



Metal Block | Patricia Gray


Metal Block | Mini Metal Block

With a unique design, this siding offers great versatility for a distinctive and contemporary look. Choose the orientation, the type of installation, and **distance between the joints** to create a dream space that carries your unique signature.

FEATURES

- Maintenance-free
- 40-year warranty
- No visible joints for a sleek and modern look
- Offered in both 6 in and 12 in height
- Customizable false joint distance (16 in to 40 in)


PROFILE



Metal Block
12 in x (3 ft to 60 ft) x 1 in

Mini Metal Block
6 in x (3 ft to 60 ft) x 1 in

SIGNATURE COLLECTION



Style Metal block or Versa in Ash Grey ,
Patrician Bronze, Charcoal Grey
Subject to availability



Subject to availability we will use a dark ebony
brick with a similar color mortar and a white
brick with a white mortar

Sides of building and front porches
Grey Metal Cladding
2017 Jackson Ave



Roman Blue
PVDF

Patrician Bronze
PVDF

Tudor Brown
PVDF

Ash Gray
PVDF

Hartford Green
PVDF

Autumn Red
PVDF

Surrey Beige
PVDF

Patina Green
PVDF

Evergreen
PVDF

Charcoal
PVDF

Galvalume Plus
Bare - No paint

Ash Grey , Patrician Bronze, Charcoal Grey
Subject to availability we will bronze or
charcoal



Zoning Analysis Summary

Review Date:05.10.23
Reviewer: Melissa Klotz

Case Number:

23ZONA-0033

Case Status/Determination:

Noncompliant

Proposal:

Construct new apartment building with 24 total DUs (including 2 affordable units) with enclosed and open parking in the R5 District

Non-compliant:

Code Section	Proposed and Required	Recommendation
		Revision required, Apply for variation (if no alternative exists), Revision recommended (with simple correction), See additional comment # below.
6-8-7-4	Density: 14 dwelling units are permitted based on the lot size; 20 dwelling units are requested (plus 4 bonus units) for 24 total DUs (2 are affordable, meeting the 10% IHO requirement)	Apply for Major Variation

Additional Comments:

- IHO application confirms IHO units are both 2-bedroom units.

Principal Use and Structure:	
<i>Zoning Code Section</i>	<i>Use: Include standard, existing, and proposed; Indicate Compliant, Non-compliant, No change, Legal non-conforming</i>
	Lot width: 97'
	Lot size: 14,504
	Dwelling Units #: 1500 sq ft each for first 4, 800 each thereafter = 14 DUs permitted; 20 proposed (including 2 IHO) plus 4 IHO bonus units = 24 total
	Building Lot Coverage: 8,635 = 59.5%
	Impervious Surface Coverage: 11,002.1 = 74.7%
	Accessory Structure Rear Yard Coverage: <40%
	Gross Floor Area: NA
	Building Height: 47.5 to top of roof (not parapet or stair/elevator overrun); 62.7' peak height
	Yards: Front: Block average ~11.9'; proposed 12' to front porch; ~14.5' to building Street Side: NA Interior Side: (S) 3' required; 5.9' proposed Interior Side: (N) 3' required; 7' proposed Rear: 25' required; 25' proposed
Accessory Use and Structure 1: front porches	
	Location (Yard): building envelope
	Height:
	Distance from Principal Building:
	Yards: Front: building envelope Street Side: Interior Side: Interior Side: Rear:

Accessory Use and Structure 2: open parking	
	Location (Yard): rear
	Height:
	Distance from Principal Building:
	Yards: rear Front: Street Side: Interior Side: (N) 3' required; 3' proposed Interior Side: (S) 3' required; 7.9' proposed Rear: 3' required; 3' proposed at closest point
Parking Requirement:	
	Use 1: multifamily residential with 18 2-bedroom units and 6 1-bedroom units (assume 2 2-bedroom units are IHO units) Use 2: Use 3: Total Required: 16 2-bedrooms and 6 1-bedrooms = 25 stalls required where 25 are proposed (17 enclosed and 8 open)
	Handicapped Spaces: 1 required; 1 proposed
	Access: alley
	Vertical Clearance: 7'
	Surface: concrete/pavers
	Location: enclosed and open
	Parking Angle 1: 90 degree Parking Space Size: 8.5 x 18 Drive Aisle Width: 24 Module: 60 Parking Angle 2:
Loading Requirements:	

	Use 1: <30,000 sq ft of residential (parking excluded) = no loading required Use 2: Use 3: Total Number of Short/Long Loading Berths: 0
	Long Berth Size:
	Short Berth Size:
	Vertical Clearance:
	Location:
Miscellaneous:	
	Rooftop deck: located in building envelope and +3' setbacks all around

NOTICE OF A PUBLIC HEARING

Evanston Land Use Commission

Wednesday, July 12, 2023, 7:00 pm

Morton Civic Center, 2100 Ridge Avenue

Council Chambers

Please be advised, as you own, or otherwise may have interest in a property within 500 ft. of the address listed below, for which the following zoning application will be discussed:

Major Variation

2017 Jackson Ave. | 23ZMJV-0037

John Cleary of TEMP Capital Inc., property owner, requests a Major Variation to construct a 4-story, 24 dwelling-unit residential building with 25 parking spaces. The applicant requests a density variation to allow 20 dwelling units where 14 dwelling units are allowed (Section 6-8-4-7) as well as 4 bonus units, for a total of 24 dwelling units in the R5 General Residential District. The Land Use Commission is the determining body for this case in accordance with Section 6-3-8-10 of the Evanston Zoning Code. PINs: 10-13-204-022-0000, 10-13-204-023-0000



Those wishing to make public comments at the Land Use Commission meeting may attend in-person or submit written comments in advance by calling/texting 847-448-4311 or completing the Land Use Commission online comment form available online here: <https://bit.ly/lucpubliccomment>. Information about the Land Use Commission is available online at www.cityofevanston.org/government/boards-commissions-and-committees/land-use-commission. Questions can be directed to Melissa Klotz, Zoning Administrator, at 847-448-8153 or via e-mail at mklotz@cityofevanston.org. The City of Evanston is committed to making all public meetings accessible to persons with disabilities. Any citizen needing mobility or communications access assistance should contact the Community Development Department 48 hours in advance of the scheduled meeting so that accommodations can be made at 847-448-8170 (Voice) or 847-866-5095 (TDD). La ciudad de Evanston está obligada a hacer accesibles todas las reuniones públicas a las personas minusválidas o las quines no hablan inglés. Si usted necesita ayuda, favor de ponerse en contacto con la Oficina de Administración del Centro a 847-448-4311 (voz) o 847-866-5095 (TTY).



City of
EvanstonTM

Lorraine H. Morton Civic Center
Planning and Zoning Division
2100 Ridge Avenue
Evanston, IL 60201

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TAXPAYER MAILING ADDRESS



Melissa Klotz
Community Development Dept.
Planning & Zoning Division
2100 Ridge Avenue
Evanston, Illinois 60201
T 847.448.8153
TTY 847.448.8052
www.cityofevanston.org

June 5, 2023

John Cleary
TEMP Capital Inc.
1924 Asbury Avenue
Evanston, IL 60201

RE: **Zoning Analysis/Major Variation Application**
2017 Jackson Avenue – Wesley Court Apartments

Dear Mr. Cleary,

Staff has reviewed your zoning analysis and major variation application for the proposed apartment building at 2017 Jackson Avenue. Based on our review of your submittal, the following comments have been compiled:

Planning & Zoning

1. The proposed project does not trigger a planned development. Based on the most recent zoning analysis, a major variation for density is required. No other zoning relief is triggered.
2. A signed MOU from the developer is required for the intended deeding of newly extended Jackson Avenue to the City so that impervious surface coverage and other zoning regulations are not required. **Ok send me text of MOU**
3. Rendering and building elevation don't match in terms of materials and colors – please clarify. **We are updating the attached file shows the proposed brick colors Ok send me text**
4. Rendering only depicts (white) men; diversity is needed. **Changed**
5. Ground floor building elevations are basically solid walls on all four sides. Realizing the ground floor is parking, can those areas of the façade be broken up more, have architectural detailing added, fake windows or louvers, etc. especially on the front façade of the building? **Noted, we may do a mural**
6. Landscaping plan is needed before proceeding to the Land Use Commission.
Landscaping plan attached

Building & Inspection Services

7. Bird-friendly glass is required per the Building Code. **Noted, plan updated**
8. City requires the developer to create a Construction Management Plan to detail the management and execution of the project. An approved CMP is required prior to permit and construction/demolition activity. The CMP addresses:
 - Project Schedule **Noted, we will have for permitting**

- Staging and Logistics based on phase of construction
- Pedestrian and Traffic Controls/Closures
- Truck Routes/Deliveries
- Entrances/Crane/Office locations
- Site Security – fencing/lighting
- Construction Hours
- Contractor Parking
- Vibration Monitoring
- Photo/Video Survey of adjacent properties to document existing conditions
- Work Site Communication – Signage w/ 24 hr. contact information; Development website
- Hours of construction-site lighting after hours
- Stormwater management during construction

Parking

9. Parking within the cul-de-sac is prohibited. **Noted**
10. The on-street parking spaces will be available for public use and not just for the new building. **Noted**

Public Works/Engineering

11. Stormwater detention must be provided for this project. Discharge to be directed to the alley relief sewer if possible. **Noted**
12. MWRD permitting is necessary. **Noted**
13. Extension of the combined sewer in Jackson will be needed to pick up the street extension drainage. **Noted**
14. Extend the city street lighting network to cover the new cul de sac. **1 new light added**
15. Removal of the existing cul de sac is required. **Noted we plan to remove it**
16. Standard city sidewalk width is 5'4". **Noted, plans updated**
17. Water meter must be within 5' of the water service entering the building envelope. **Noted, we have changed location on plan**
18. Standard city street construction details will be provided. **Noted, please provide**
19. Public sidewalk should extend along the entire portion of Jackson Avenue on both sides. Site plan appears to show it ends just after rounding the new cul-de-sac. **Noted, plans updated**
20. A preliminary stormwater plan is needed. **Noted, plans show proposed location of stormwater detention**
21. A full streetscape plan is required that includes appropriate street trees etc.
22. Waste: In the plans there are listed 4 yard containers with chute systems for recycling and garbage. Those are not typically the containers that are offered for these types of locations they are usually apartment style compact receivers and are generally 2 yard dumpster dimensions. Staff encourage allocating space for future compost services and should have a plan for how the hauler will gain access to the area as they are technically alley service and per Code service should be conducted adjacent to the alley; if it is not they need to make the containers as available as possible for the hauler to easily access and service the containers. Trucks will likely have to park in the alley and pull the container out to be serviced as they are too big to turnaround in garage.

Landscape plan attached

Noted

Fire

23. The Fire Room Fire Dept. connection must be accessible and located at the front of the building near the front façade. Contact the Fire Dept. for additional location requirements. **Noted, plans location updated**

24. Where is the nearest fire hydrant? Is hydrant relocation needed?

Noted, additional hydrant added to plans

Sustainability

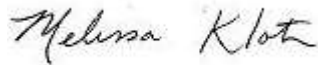
25. Must comply with Bird-Friendly Ordinance measures. Parking spaces must be 10% EV-Installed, 20% EV-Ready, 70% EV-Capable. **Noted and updated**

26. Explain how bike parking within the parking garage is accessed when vehicles are parked. Can a bike be removed if a car is in the way?

Noted plan updated. Garage has 30 readily accessible bike spaces and 8 private access spaces.

Please note additional comments may be provided at various points in the review and/or permitting process. If you have any questions or concerns about the above comments, please do not hesitate to contact me directly at mklotz@cityofevanston.org.

Sincerely,



Melissa Klotz
Zoning Administrator