

4/17/2017

**42-O-17**

**AN ORDINANCE**

**Granting An Amendment to the Approved Planned Developments  
Located at 1890 Maple Avenue and 1881 Oak Avenue**

**WHEREAS**, the City of Evanston is a home-rule municipality pursuant to Article VII of the Illinois Constitution of 1970; and

**WHEREAS**, as a home rule unit of government, the City has the authority to adopt ordinances and to promulgate rules and regulations that protect the public health, safety, and welfare of its residents; and

**WHEREAS**, Article VII, Section (6)a of the Illinois Constitution of 1970, which states that the “powers and functions of home rule units shall be construed liberally,” was written “with the intention that home rule units be given the broadest powers possible” (*Scadron v. City of Des Plaines*, 153 Ill.2d 164); and

**WHEREAS**, it is a well-established proposition under all applicable case law that the power to regulate land use through zoning regulations is a legitimate means of promoting the public health, safety, and welfare; and

**WHEREAS**, Division 13 of the Illinois Municipal Code (65 ILCS 5/11-13-1, *et seq.*) grants each municipality the power to establish zoning regulations; and

**WHEREAS**, pursuant to its home rule authority and the Illinois Municipal Code, the City has adopted a set of zoning regulations, set forth in Title 6 of the Evanston City Code of 2012, as amended, (“the Zoning Ordinance”); and

**WHEREAS**, on July 10, 2006, the City enacted Ordinance 80-O-06, attached hereto as Exhibit 1 and incorporated herein by reference, which, pursuant to

the provisions of the Zoning Ordinance, granted a Special Use Permit for a Planned Development in the RP Research Park Zoning District for the property located at 1881 Oak Avenue, Evanston, Illinois (the "First Subject Property"), which is legally described in Exhibit 1; and

**WHEREAS**, on October 1, 2007, the City enacted Ordinance 45-O-07, which, pursuant to the provisions of the Zoning Ordinance, granted a Special Use Permit for a Planned Development in the RP Research Park Zoning District for the property located at 1890 Maple Avenue, Evanston, Illinois (the "Second Subject Property"), which is legally described in Exhibit 2; and

**WHEREAS**, on August 11, 2008, the City enacted Ordinance 90-O-08, which amended certain terms of Ordinance 45-O-07; and

**WHEREAS**, on April 27, 2009, the City enacted Ordinance 30-O-09 which amended certain terms of Ordinances 45-O-07 and 90-O-08; and

**WHEREAS**, on January 28, 2013, the City enacted Ordinance 5-O-13, attached hereto as Exhibit 2 and incorporated herein by reference, which amended certain terms of Ordinances 30-O-09, 45-O-07 and 90-O-08; and

**WHEREAS**, 1890 Maple, LLC, owner of the Subject Properties ("the Applicant") requested a major adjustment by reducing the number of required parking spaces from three hundred fifty three (353) to two hundred sixty five (265) with the remaining eighty eight (88) spaces available for public use for the unified Planned Development on the Subject Properties; and

**WHEREAS**, in order to approve the major adjustment requested, the

Applicants request amendments to Ordinances 80-O-06, 45-O-07, 90-O-08, 30-O-09, and 5-O-13 (the "Previously Approved Ordinances"); and

**WHEREAS**, the Previously Approved Ordinances are pieces of legislation enacted by the City Council of the City of Evanston, subject to revision only by said City Council; and

**WHEREAS**, on April 24, 2017, the Planning and Development Committee ("P&D Committee") held a meeting, in compliance with the provisions of the Illinois Open Meetings Act (5 ILCS 120/1 *et seq*), during which it considered the Applicants' request and voted to retain jurisdiction over said request; and

**WHEREAS**, during said meeting, the P&D Committee received input from the public, carefully deliberated on the major adjustment, and recommended approval thereof by the City Council; and

**WHEREAS**, at its meetings of April 24, 2017 and May 22, 2017, held in compliance with the provisions of the Illinois Open Meetings Act, the City Council considered the P&D Committee's recommendation, heard public comment, made findings, and adopted said recommendation; and

**WHEREAS**, it is well-settled law in Illinois that the legislative judgment of the City Council must be considered presumptively valid (see *Glenview State Bank v. Village of Deerfield*, 213 Ill.App.3d 747) and is not subject to courtroom fact-finding (see *National Paint & Coating Ass'n v. City of Chicago*, 45 F.3d 1124),

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EVANSTON, COOK COUNTY, ILLINOIS, THAT:**

**SECTION 1:** The foregoing recitals are hereby found as fact and incorporated herein by reference.

**SECTION 2:** The City Council hereby accepts the major adjustment for the Planned Development on the Subject Properties in conformance therewith, pursuant to the Previously Approved Ordinances, as revised by this ordinance.

**SECTION 3:** Pursuant to Subsection 6-3-6-12-(C) of the Zoning Ordinance, the City Council hereby grants the following Major Adjustment to the Planned Developments approved by the Previously Approved Ordinances:

- (A) For the lifetime of the project, the Applicant shall require all residents to disclose their vehicle ownership. The Applicant shall provide a certified vehicle ownership report to the City of Evanston annually by January 31st of each calendar year. The City of Evanston's Department of Administrative Services will monitor the Applicant's certified vehicle ownership reports and may compare the report with any additional available data sources regarding Resident vehicle ownership. If at any time during the lifetime of the project the annual vehicle ownership report, in conjunction with any additional available data sources regarding Resident vehicle ownership, indicates that more than 250 vehicles are owned by Residents of the project, then the Zoning Administrator shall have the authority to reduce the number of parking spaces available for public use pursuant to this Major Adjustment to account for the total number of vehicles that are determined to be owned by Residents plus 5 parking spaces. This determination shall be made in the form of a letter and provided to the applicant 30 days following receipt of report. The maximum number of parking spaces that may be required is the capacity of the onsite parking, 353 spaces.

**SECTION 4:** Pursuant to Subsection 6-3-5-12 of the Zoning Ordinance, the City Council hereby imposes the following additional conditions on the Applicants' Special Use Permit, violation of any of which shall constitute grounds for penalties or revocation of said Permit pursuant to Subsections 6-3-10-5 and 6-3-10-6 of the Zoning Ordinance:

- (A) **Divvy Contribution:** The Applicant shall pay a one-time Divvy contribution in the amount of five thousand dollars (\$5,000.00) through the City of Evanston Divvy program.
- (B) **Recordation:** The Applicants shall, at their cost, record a certified copy of this ordinance, including all Exhibits attached hereto, with the Cook County Recorder of Deeds, and provide a copy thereof to the City, before it may apply to the City for any permits related to the Planned Development authorized by the Previously Approved Ordinances, as amended by this Ordinance 42-O-17.

**SECTION 5:** Except as otherwise provided for in this Ordinance 42-O-17, all applicable regulations of the Previously Approved Ordinances, the Zoning Ordinance, and the entire City Code shall apply to the Subject Properties and remain in full force and effect with respect to the use and development of the same. To the extent that the terms and/or provisions of any of said documents conflict with any of the terms herein, this Ordinance 42-O-17 shall govern and control.

**SECTION 6:** When necessary to effectuate the terms, conditions, and purposes of this ordinance, "Applicants" shall be read as "Applicants' agents, assigns, and successors in interest."

**SECTION 7:** The findings and recitals herein are declared to be prima facie evidence of the law of the City and shall be received in evidence as provided by the Illinois Compiled Statutes and the courts of the State of Illinois.

**SECTION 8:** All ordinances or parts of ordinances in conflict herewith are hereby repealed.

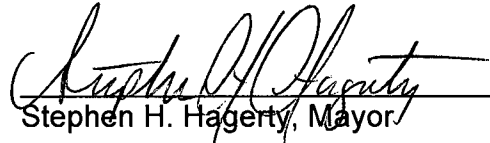
**SECTION 9:** This Ordinance 42-O-17 shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

Introduced: April 24th, 2017

Adopted: May 22nd, 2017

Approved:

June 2, 2017


  
Stephen H. Hagerty, Mayor

Attest:



Devon Reid, City Clerk

Approved as to form:



W. Grant Farrar, Corporation Counsel

**EXHIBIT 1**

**Ordinance 80-O-06**

7/13/2006  
7/17/2006  
6/30/2006  
6/21/2006  
6/20/2006  
6/16/2006

**80-0-06**

**AN ORDINANCE**

**Granting a Special Use for a Mixed-Use Residential and  
Retail Planned Development at  
1881 Oak Avenue in the  
Research Park Zoning District  
("Carroll Place")**

WHEREAS, Carroll Place LLC (the "Applicant"), owner of the property at 1881 Oak Avenue (the "Subject Property"), submitted an application on August 16, 2005, pursuant to the Zoning Ordinance (the "Ordinance") provisions of Section 6-3-5, "Special Uses", Section 6-3-6, "Planned Developments", Section 6-12-2-3, "Special Uses in the Research Park District", Section 6-12-1-7(D), "Mandatory Planned Development Minimum Thresholds", Section 6-12-2-6, "Floor Area Ratio", Section 6-12-2-7, "Yard Requirements", Section 6-12-2-8, "Building Height", Section 6-16-4, "General Off-Street Loading Requirements", and Section 6-16-4-5, "Vertical Clearance", for a special use to permit construction and operation of a mixed-use residential and retail planned development at the Subject Property located in the Research Park Zoning District ("Research Park District"); and



WHEREAS, the Applicant sought approval for a maximum defined building height of approximately two hundred ten feet (210'), a defined gross floor area of approximately two hundred ninety-seven thousand four hundred fourteen square feet (297,414 sq. ft.), a floor area ratio of approximately nine and eighty-nine hundredths feet (9.89), one hundred seventy-five (175) dwelling units, seven thousand five hundred square feet (7,500 sq. ft.) of retail space, and one hundred seventy-five (175) off-street parking spaces, and

WHEREAS, the Applicant amended its application on September 29, 2005 to seek approval for a maximum defined building height of approximately one hundred ninety-five feet (195'), a defined gross floor area of approximately two hundred sixty-one thousand six hundred fifty-four square feet (261,654 sq. ft.), a floor area ratio of approximately eight and thirty-six hundredths feet (8.36), one hundred seventy-two (172) dwelling units, and two hundred seventy (270) off-street parking spaces, and

WHEREAS, after the Plan Commission hearing of January 30, 2006, the Applicant amended its application on March 29, 2006, with the major changes being a reduction in the number of dwelling units from one hundred seventy-two (172) to one hundred sixty-five (165), retail space of approximately one thousand three hundred seventy square feet (1,370 sq. ft.), a reduction in the floor area ratio from approximately eight and thirty-six hundredths (8.36) to approximately eight and sixteen hundredths (8.16), a reduction in the number of off-street parking spaces from two hundred seventy (270) to two hundred forty-

seven (247), and a reduction in the maximum defined building height from approximately one hundred ninety-five feet (195) to one hundred eighty-five feet (185), and

WHEREAS, the Plan Commission held public hearings on the application, case no. ZPC 06-03 PD, pursuant to proper notice on January 11, 2006, January 30, 2006 at a special meeting, and on the amended application on May 10, 2006, heard testimony and received other evidence, made a *verbatim* transcript, written findings, and recommended that the City Council deny the application, as amended, and

WHEREAS, construction of the Planned Development, as proposed in the application filed on March 29, 2006, requires exceptions from the strict application of the Ordinance pertaining to floor area ratio and maximum mean building height, and

WHEREAS, the Planning and Development Committee of the City Council considered the record and recommendation of the Plan Commission on the amended application at its June 12, 2006 meeting and voted to reject the Plan Commission's recommendation and to recommend City Council approval of the amended application, and

WHEREAS, the Planning and Development Committee considered the record of the Plan Commission on the amended application at its June 26, 2006 meeting and voted to recommend City Council approval of Ordinance 80-

0-06, with modifications, and referral back to the Committee for further consideration at its July 10, 2006 meeting, and

WHEREAS, the Planning and Development Committee conducted a public hearing, modified the record of the Plan Commission, adopted it as modified, considered and adopted the traffic signal optimization and timing analysis prepared by the City's Traffic Engineers, made written findings that the amended application met all applicable standards, and recommended City Council approval of the amended application at its July 10, 2006 meeting, and

WHEREAS, the City Council considered the record of the Plan Commission, as modified by the Planning and Development Committee, and the record and recommendation of the Planning and Development Committee at its June 26, 2006, and July 10, 2006 meetings, and adopted same at its July 10, 2006 meeting, and

**NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EVANSTON, COOK COUNTY, ILLINOIS:**

**SECTION 1:** That the foregoing recitals are found as facts and made a part hereof

**SECTION 2:** That the City Council hereby finds as follows with respect to the standards for special uses in Section 6-3-5-10 and for planned developments in the Research Park District in Section 6-12-1-7 as applied to the special use for a planned development for a mixed-use retail and multi-family

residential development in the Research Park District applied for in case no. ZPC 05-08 PD, as amended by the Applicant on March 29, 2006.

(A) The planned development, as approved, meets the standards for special uses in Section 6-3-5-10 and the standards for special uses in the Research Park District in Section 6-12-1-7 of the Ordinance, in that, among other reasons:

(1) Planned developments are a listed special use in the Research Park District.

(2) The requested special use is in keeping with purposes and policies of the Comprehensive General Plan (CGP) and the Zoning Ordinance in that the property is located in the Research District. The planned development is consistent with the goal of making downtown Evanston an attractive, convenient and economically vital center of diverse activity. The proposed use will develop a vacant site and provide new housing and business activity to this area, adding to the viability and success of the downtown. The Subject Property is located in the Central Business District identified by the Comprehensive General Plan as having a "mixture of office, retail, entertainment, institutional, and residential uses".

(3) It will not cause a negative cumulative effect on various special uses of all types in the immediate neighborhood and the City as a whole in that it will enhance the tax base.

(4) It will not interfere with or diminish the value of property in the neighborhood in that it will enhance the tax base.

(5) It can be adequately served by public facilities and services.

(6) It will not cause undue traffic congestion in that it is located near existing commuter rail and public transit lines. All parking and loading facilities will be accessed from Oak Avenue and no curb cuts will be added along Emerson Street. The planned development will reduce potential vehicle traffic by locating vehicular access along the public way which has less pedestrian traffic. The City's Traffic Analysis indicates that added left turns from Oak Avenue onto Emerson Street can be accommodated by adding extra green time to the east-west Emerson Street corridor, and by prohibiting parking on the north side of Emerson between Oak Avenue and Ridge Avenue during the afternoon peak hours. The long-range solution is to upgrade the Emerson Street signals.

(7) The standard that the requested special use preserves significant historical and architectural resources is inapplicable. The Subject Property is not a landmark, nor is it in a Historic District.

(8) The standard that the requested special use preserves significant natural and environmental features is inapplicable.

(9) It will comply with all other applicable requirements, except as modified by this Ordinance 80-O-06, in that this Ordinance is conditioned upon construction and operation of the subject planned development in accordance with all applicable requirements.

**SECTION 3:** That the City Council hereby grants the application in case no. ZPC 05-08 PD, as amended by the Applicant, for a special use for planned development to allow construction and operation of a mixed-use retail and multi-family residential planned development with accessory parking at 1881 Oak Avenue, legally described in Exhibit A attached hereto and made a part hereof, of one hundred sixty-five (165) dwelling units, two hundred forty-seven (247) enclosed off-street parking spaces, a maximum of approximately one thousand three hundred seventy square feet (1,370 sq.ft.) of retail space, a maximum defined building height of approximately one hundred eighty-five feet (185), a floor area ratio of approximately eight and sixteen one hundredths (8.16), and a side yard along Emerson Street of three feet (3); and

**SECTION 4:** That the authority to exceed site development allowances in excess of the requirements set forth in Section 6-12-1-7(C)1, and Section 6-12-7-1(C)2 is, among other reasons, essential to achieve one or more of the public benefits set forth in Section 6-3-6-3 in that the Council hereby finds that granting the development tax revenue will enhance the tax base, the Subject Property has been vacant for many years, the Applicant will make a donation to the Mayor's Special Affordable Housing Fund, and the addition of approximately

one hundred sixty-five (165) residences to the downtown area will further enhance the tax base and the local economy.

**SECTION 5:** Pursuant to the terms and conditions of this Ordinance, the following authority to exceed site development allowances is hereby granted:

(A) To allow a building of approximately two hundred feet (200') tall as measured from grade to the top of the mechanical penthouse, with a maximum defined building height of approximately one hundred eighty-five feet (185') as measured from grade to the top of the roof. Section 6-12-2-8 of the Zoning Ordinance otherwise permits a maximum height in the Research Park District of eighty-five feet (85'). Section 6-12-1-7(C) allows for a height increase over that otherwise permitted to achieve the building density desired in the Research Park Master Plan.

(B) To allow a floor area ratio of approximately eight and sixteen hundredths (8.16). Section 6-12-2-6 otherwise permits a maximum floor area ratio of five and eighteen hundredths (5.18). The site development allowance in Section 6-12-1-7(C)2 allows the maximum permitted floor area ratio, five and eighteen hundredths (5.18), to increase by a maximum of two and zero hundredths (2.0), for a total of seven and eighteen hundredths (7.18) otherwise allowed.

**SECTION 6:** That, pursuant to Section 6-3-5-12 of the Zoning Ordinance which provides that the City Council may impose conditions on the grant of a special use, the following conditions are hereby imposed:

(A) Construction of the planned development approved hereby shall be in substantial conformance with the approved Development Plan, attached hereto as Exhibit B and made a part hereof, the terms and conditions of this Ordinance, all other applicable legislation and requirements, and in accordance with representations of the Applicant to the Site Plan and Appearance Committee, Plan Commission, Planning and Development Committee.

(B) That the Applicant voluntarily agrees to make the following donations prior to the issuance of a building permit:

(1) One hundred sixty-five thousand dollars (\$165,000.00), which represents the sum of one thousand dollars (\$1,000.00) per each of the

approved maximum one hundred sixty-five (165) dwelling units, to the Mayor's Special Housing Fund, consistent with the Policy of the Comprehensive General Plan to "encourage proposals from the private sector that will maintain the supply of moderately-priced housing, both rental and owner-occupied" and

(2) Thirty-five thousand dollars (\$35,000.00) to the City to fund existing and proposed City of Evanston youth job training programs; to repair the viaduct at the intersection of Emerson Street and Ridge Avenue; or to improve traffic flow along Emerson Street between Ridge and Maple Avenues.

(C) That the Applicant will have, as a primary goal, the employment of twenty-five (25) Evanston residents. Said residents, without regard to sex, race, or ethnicity, can be sub-contractors or vendors to the development. The Applicant will hire as many competent minority and/or women Evanston subcontractors, workers, and residents as possible for the construction of this project.

(D) That the Developer will incorporate the cornerstones of the Emerson YMCA and Butler buildings into the plaza along Emerson Street.

SECTION 7: When necessary to effectuate the terms, conditions and purposes of this Ordinance, "Applicant" shall read as "Applicant's agents, assign and successors in interest".

SECTION 8: That the Applicant is required to record a certified copy of this Ordinance, at its cost, including all Exhibits attached hereto, with the Cook County Recorder of Deeds, before any City permits may be obtained.

SECTION 9: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 10: That this Ordinance shall be in full force and effect from on and after its passage, approval, and publication in the manner provided by law.

Ayes: 6

Nays: 3

Introduced June 26 2006

Approved

Adopted July 10 2006

July 14 2006

Lorraine H. Morton  
Lorraine H. Morton, Mayor

Attest:

Mary P. Morris  
Mary P. Morris, City Clerk

Approved as to form

Herbert D. Hill  
Herbert D. Hill  
First Assistant Corporation Counsel



## EXHIBIT A

## LEGAL DESCRIPTION OF 1881 OAK AVENUE

**PARCEL 1:**

LOTS 6, 7, 8 AND LOT 9 (EXCEPT THE WEST 26 FEET THEREOF) IN BLOCK 1 IN CIRCUIT COURT SUBDIVISION IN PARTITION OF LOT 22 IN THE COUNTY CLERK'S DIVISION OF UNSUBDIVIDED LANDS IN THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS, ALSO, THE NORTH HALF OF THE VACATED 16 FOOT ALLEY LYING SOUTH OF AND ADJOINING SAID LOTS 6, 7, 8, AND LOT 9 (EXCEPT THE WEST 26 FEET THEREOF).

**PARCEL 2:**

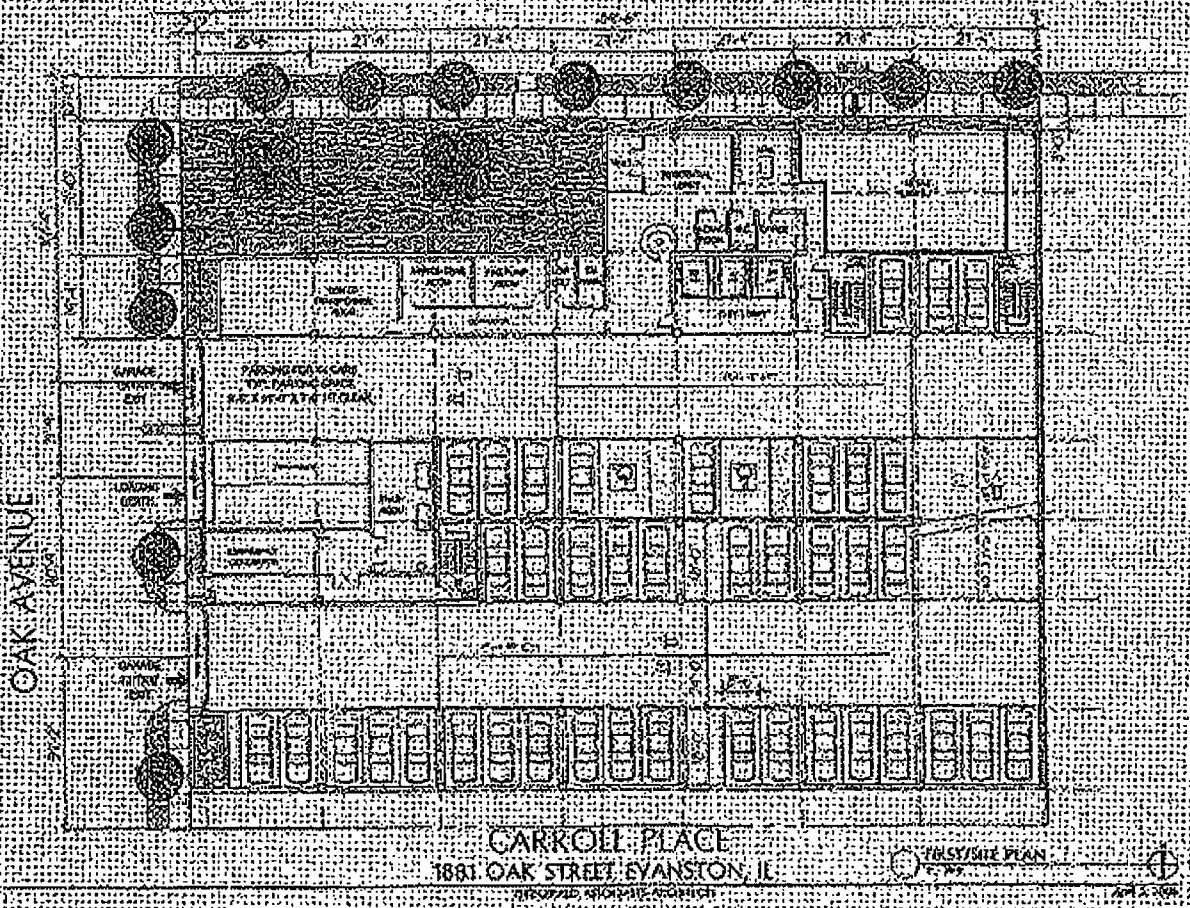
THE WEST 20 FEET OF LOT 1 IN CITY CONSOLIDATION NO. 1 OF LOTS 1, 2, 3, 4 AND 5 IN CIRCUIT COURT SUBDIVISION IN PARTITION OF LOT 22 BEING THAT TRIANGULAR PIECE OF LAND BOUNDED ON THE NORTH BY EMERSON STREET, ON THE SOUTHWESTERLY BY EAST RAILROAD AVENUE AND ON THE EAST BY MAPLE AVENUE (EXCEPT 1 ACRE IN THE NORTHWEST CORNER THEREOF) IN COUNTY CLERK'S DIVISION, IN THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY ILLINOIS, TOGETHER WITH THE WEST 20 FEET OF THE NORTH HALF OF THE VACATED 16 FOOT ALLEY LYING SOUTH OF AND ADJOINING SAID LAND.

EXHIBIT B

**Carroll Place Development Plan at 1881 Oak Avenue**

EXHIBIT B

Carroll Place Development Plan at 1881 Oak Avenue



CARROLL PLACE  
1881 OAK STREET, EVANSTON, IL

FIRST SITE PLAN

A-02

**EXHIBIT 2**

**Ordinance 5-O-13**

1/14/2013  
1/11/2013

**5-0-13**

**AN ORDINANCE**

**Granting Amendments to the Approved Planned Developments  
Located at 1890 Maple Avenue and 1881 Oak Avenue**

**WHEREAS**, the City of Evanston is a home-rule municipality pursuant to Article VII of the Illinois Constitution of 1970; and

**WHEREAS**, as a home rule unit of government, the City has the authority to adopt ordinances and to promulgate rules and regulations that protect the public health, safety, and welfare of its residents; and

**WHEREAS**, Article VII, Section (6)a of the Illinois Constitution of 1970, which states that the "powers and functions of home rule units shall be construed liberally," was written "with the intention that home rule units be given the broadest powers possible" (*Scadron v. City of Des Plaines*, 153 Ill.2d 164); and

**WHEREAS**, it is a well-established proposition under all applicable case law that the power to regulate land use through zoning regulations is a legitimate means of promoting the public health, safety, and welfare; and

**WHEREAS**, Division 13 of the Illinois Municipal Code (65 ILCS 5/11-13-1, et seq.) grants each municipality the power to establish zoning regulations; and

**WHEREAS**, pursuant to its home rule authority and the Illinois Municipal Code, the City has adopted a set of zoning regulations, set forth in Title 6 of the Evanston City Code of 2012, as amended, ("the Zoning Ordinance"); and

**WHEREAS**, on July 10, 2006, the City enacted Ordinance 80-O-06, attached hereto as Exhibit 1 and incorporated herein by reference, which, pursuant to the provisions of the Zoning Ordinance, granted a Special Use Permit for a Planned Development in the RP Research Park Zoning District for the property located at 1881 Oak Avenue, Evanston, Illinois (the "First Subject Property"), which is legally described in Exhibit 1; and

**WHEREAS**, on October 1, 2007, the City enacted Ordinance 45-O-07, which, pursuant to the provisions of the Zoning Ordinance, granted a Special Use Permit for a Planned Development in the RP Research Park Zoning District for the property located at 1890 Maple Avenue, Evanston, Illinois (the "Second Subject Property"), which is legally described in Exhibit 2; and

**WHEREAS**, on August 11, 2008, the City enacted Ordinance 90-O-08, which amended certain terms of Ordinance 45-O-07; and

**WHEREAS**, on April 27, 2009, the City enacted Ordinance 30-O-09, attached hereto as Exhibit 2 and incorporated herein by reference, which amended certain terms of Ordinances 45-O-07 and 90-O-08; and

**WHEREAS**, Robert C. King, owner of the Subject Properties, and Steven Fifield ("the Applicants") proposed a new site plan ("Revised Site Plan"), attached hereto as Exhibit 3 and incorporated herein by reference, that would govern the construction and operation of a unified Planned Development on the Subject Properties; and

**WHEREAS**, in order to develop the Subject Properties in accord with the Revised Site Plan, the Applicants request amendments to Ordinances 80-O-06, 45-O-07, 90-O-08, and 30-O-09 (the "Previously Approved Ordinances"); and

**WHEREAS**, the Previously Approved Ordinances are pieces of legislation enacted by the City Council of the City of Evanston, subject to revision only by said City Council; and

**WHEREAS**, on November 26, 2012, the Planning and Development Committee ("P&D Committee") held a meeting, in compliance with the provisions of the Illinois Open Meetings Act (5 ILCS 120/1 *et seq*), during which it considered the Applicants' request and voted to retain jurisdiction over said request; and

**WHEREAS**, on January 14, 2013, the P&D Committee held a meeting, in compliance with the provisions of the Illinois Open Meetings Act, during which it considered the Revised Site Plan; and

**WHEREAS**, during said meeting, the P&D Committee received input from the public, carefully deliberated on the Revised Site Plan, and recommended approval thereof by the City Council; and

**WHEREAS**, at its meetings of January 14 and January 28, 2013, held in compliance with the provisions of the Illinois Open Meetings Act, the City Council considered the P&D Committee's recommendation, heard public comment, made findings, and adopted said recommendation; and

**WHEREAS**, it is well-settled law in Illinois that the legislative judgment of the City Council must be considered presumplively valid (see *Glenview State Bank v. Village of Deerfield*, 213 Ill.App.3d 747) and is not subject to courtroom fact-finding (see *National Paint & Coating Ass'n v. City of Chicago*, 45 F.3d 1124),

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EVANSTON, COOK COUNTY, ILLINOIS, THAT:**

**SECTION 1:** The foregoing recitals are hereby found as fact and incorporated herein by reference.

**SECTION 2:** The City Council hereby accepts the Revised Site Plan in order to allow the construction of a Planned Development on the Subject Properties in conformance therewith, pursuant to the Previously Approved Ordinances, as revised by this ordinance.

**SECTION 3:** Pursuant to Subsection 6-3-6-12-(C) of the Zoning Ordinance, the City Council hereby grants the following Major Adjustments to the Planned Developments approved by the Previously Approved Ordinances:

- (A) The maximum area of retail space is decreased from twenty-one thousand, seventy square feet (21,070 ft<sup>2</sup>) to four thousand square feet (4,000 ft<sup>2</sup>).
- (B) The maximum number of dwelling units is increased from not more than three hundred forty-two (342) to not more than three hundred sixty-eight (368).
- (C) The number of enclosed off-street parking spaces is reduced from five hundred forty-one (541) to three hundred seventy-one (371).
- (D) The maximum heights of the residential towers are reduced from one hundred eighty-five feet (185') to one hundred sixty-five feet (165') for the West Tower (1881 Oak) and from one hundred fifty-eight feet (158') to one hundred forty-six feet (146') for the East Tower (1890 Maple).
- (E) The maximum floor area ratio ("FAR") for development on the combined Subject Properties is reduced from six and four tenths (6.4) to five and three tenths (5.3).

**SECTION 4:** The schedules set forth in Subsections 6-3-6-4-(D) and 6-12-1-7-(A) of the Zoning Ordinance, and in Section 4 of Ordinance 30-O-09 notwithstanding, the Applicants shall have until December 31, 2013 to begin construction and December 31, 2015 to complete construction of the Planned Development on the Subject Properties pursuant to this Ordinance 5-O-13.



**SECTION 5:** Pursuant to Subsection 6-3-5-12 of the Zoning Ordinance, the City Council hereby imposes the following conditions on the Applicants' Special Use Permit, violation of any of which shall constitute grounds for penalties or revocation of said Permit pursuant to Subsections 6-3-10-5 and 6-3-10-6 of the Zoning Ordinance:

- (A) The Applicants shall build, at their expense, new streetscapes for Maple Avenue, Emerson Street, and Oak Avenue adjacent to the proposed development and consistent with the City's specifications.
- (B) Recordation: The Applicants shall, at their cost, record a certified copy of this ordinance, including all Exhibits attached hereto, with the Cook County Recorder of Deeds, and provide a copy thereof to the City, before it may apply to the City for any permits related to the Planned Development authorized by the Previously Approved Ordinances, as amended by this Ordinance 5-O-13.

**SECTION 6:** Except as otherwise provided for in this Ordinance 5-O-13, all applicable regulations of the Previously Approved Ordinances, the Zoning Ordinance, and the entire City Code shall apply to the Subject Properties and remain in full force and effect with respect to the use and development of the same. To the extent that the terms and/or provisions of any of said documents conflict with any of the terms herein, this Ordinance 5-O-13 shall govern and control.

**SECTION 7:** When necessary to effectuate the terms, conditions, and purposes of this ordinance, "Applicants" shall be read as "Applicants' agents, assigns, and successors in interest."

**SECTION 8:** The findings and recitals herein are declared to be prima facie evidence of the law of the City and shall be received in evidence as provided by the Illinois Compiled Statutes and the courts of the State of Illinois.

**SECTION 9:** All ordinances or parts of ordinances in conflict herewith are hereby repealed.

**SECTION 10:** This Ordinance 5-O-13 shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

Introduced: January 14, 2013

Approved:

Adopted: January 28, 2013

January 30, 2013

Elizabeth B. Tisdahl

Elizabeth B. Tisdahl, Mayor

Attest:

Approved as to form:

Rodney Greene  
Rodney Greene, City Clerk

W. Grant Farrar  
W. Grant Farrar, Corporation Counsel

**1881 OAK AVENUE – APPLICATION FOR MAJOR ADJUSTMENT  
TO PLANNED DEVELOPMENT**

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<b>SECTION 1</b>	<b>PROJECT NARRATIVE</b>
<b>SECTION 2</b>	<b>STATEMENTS ADDRESSING RELIEF STANDARDS</b>
	<b>STATEMENT OF COMPLIANCE WITH ZONING ORDINANCE AND OTHER PERTINENT CITY POLICIES</b>
	<b>STATEMENT OF SITE CONTROLS AND STANDARDS FOR PLANNED DEVELOPMENTS</b>
	<b>STATEMENT OF DEVELOPMENT ALLOWANCES FOR PLANNED DEVELOPMENTS</b>
<b>SECTION 3</b>	<b>APPLICATION FORMS</b>
	<b>PLANNED DEVELOPMENT APPLICATION FORM</b>
	<b>CERTIFICATE OF DISCLOSURE OF OWNERSHIP INTEREST FORM</b>
<b>SECTION 4</b>	<b>ZONING ANALYSIS</b>
<b>SECTION 5</b>	<b>PARKING UTILIZATION STUDY</b>
<b>SECTION 6</b>	<b>DEVELOPMENT PLAN/SITE PLAN</b>

## SECTION 1      **PROJECT NARRATIVE**

The Applicant, 1890 Maple, LLC (“Fifield”), is an affiliate of Fifield Companies, a real estate development company based in Chicago, Illinois. Fifield is a leader in both residential and commercial developments.

The requested major adjustment relates to the existing E2 building located at 1881 Oak Avenue, which was approved as a Planned Development pursuant to an ordinance approved by the Evanston City Council on January 28, 2013. The site is surrounded by both mixed-use residential and commercial buildings and retail stores in the downtown area.

The Applicant is requesting a major adjustment to the approved planned development in order to allow up to 25% of the existing parking spaces to be available for public use. These spaces would be permitted to be utilized by shoppers who come to the downtown shops and other visitors to surrounding area businesses.

The existing building contains 353 dwelling units and 353 parking spaces. Less than half of the parking spaces are utilized despite the building being approximately 94% occupied. The building has been stabilized since March 2016 and this level of parking utilization has been consistent throughout its operation. These levels of parking utilization have been confirmed by KLOA, as shown in the enclosed Parking Utilization Study.

The Applicant seeks to make 25% of the parking spaces available to the public. This would leave ample parking remaining for residents and other visitors to the building, even if parking utilization was to increase to 150% of current levels. Further, it will allow for underutilized parking spaces to fulfill community demand generated by other businesses in the area without having any impact on the building’s design, massing or aesthetic. Finally, it is anticipated that putting the underutilized parking spaces to use will generate approximately \$17,500 annually in parking tax revenue for the City of Evanston.

## SECTION 2

## STATEMENTS ADDRESSING RELIEF STANDARDS

### STATEMENT OF COMPLIANCE WITH ZONING ORDINANCE AND OTHER PERTINENT CITY POLICIES

Statement addressing the development's compliance/any other pertinent city planning and development policies regarding the following:

a) Downtown Evanston Plan

The requested major adjustment is in compliance with the Downtown Evanston Plan in the following ways:

- It “balance[s] the need for off-street parking with the city’s desire to promote a compact and walkable downtown.” (pg. 2)
- The proposed adjustment would create new parking spaces for use by the community without creating a new parking structure or utilizing street parking.
- The project is in compliance with the “downtown’s compact, walkable, mixed-used, and transit-oriented character.” (pg. 4)
- The existing building is located in close proximity to both bus stops and CTA stations, making it a transit-oriented development. It seeks to serve the downtown’s walkable character while still providing sufficient parking for visitors to the area.

b) Evanston Comprehensive General Plan

The proposed major adjustment is in compliance with the Evanston Comprehensive General Plan in the following ways:

- The existing building is a transit-oriented development, in compliance with Evanston’s goal of having “a ‘traditional’ pedestrian and transit oriented pattern of neighborhoods with tree-lined streets and convenient business districts, including a diverse Downtown area.” (pg. 7)
- The existing building’s proximity to a CTA El stop contributes to Evanston’s plan for a “convenient mix of land use [that] promotes walking, bicycling, and mass transit ridership.” (pg. 6)
- Simultaneously, the building also fulfills “the needs of drivers [that] should be supported through both effective traffic management and creative neighborhood-based strategies to ease parking difficulties.” (pg. 8)

## **STATEMENT OF SITE CONTROLS AND STANDARDS FOR PLANNED DEVELOPMENTS**

Statement addressing the site controls and standards for planned developments in the subject property's zoning district regarding the following:

The requested major adjustment is to a previously-approved planned development. The only requested change is to the parking requirements reflected in the approval ordinance. The requested modification will allow for an already existing and underutilized parking garage to be used to meet community parking needs. As shown in in the enclosed parking utilization study, the garage is only 47% occupied, despite the building being 94% occupied since March 2016. Therefore, there is excessive parking available on the property.

All other site controls and standards – minimum area, tree preservation, landscaped strip, open space, walkways, utilities and storm water treatment- will not be impacted by the requested modification. The requested relief will have no adverse effects on residential uses within or adjoining the development or the overall neighborhood.

## **STATEMENT OF DEVELOPMENT ALLOWANCES FOR PLANNED DEVELOPMENTS**

Statement addressing the development allowances for planned developments in the subject property's zoning district regarding the following:

a) Height increases

The requested modification is to an existing building that is 185 feet in accordance with the previously-approved planned development. The proposed project will not impact the height of the existing building.

b) Density increases

The requested adjustment is part of an existing, approved building and will not have an impact on the density of the existing building.

c) The location and placement of buildings varying from that otherwise permitted in the district

The requested adjustment is part of an existing building that will have no impact on the setbacks of the existing building.

d) Floor area ratio increases

The requested adjustment is part of an existing building and will not have an impact on the FAR of the existing building.

e) Parking

The requested adjustment is to a previously-approved planned development. The only requested change is to the parking requirements reflected in the approval ordinance. The requested modification will allow for an already existing and underutilized parking garage to be used to meet a community parking need. The requested relief will have no adverse effects on residential uses within or adjoining the development or the overall neighborhood.

SECTION 3

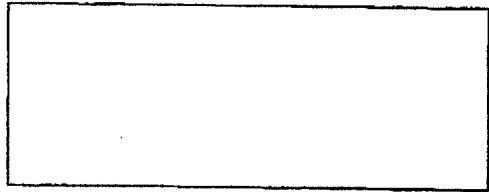
APPLICATION FORMS



**PLANNED DEVELOPMENT APPLICATION FORM**



# PLANNED DEVELOPMENT APPLICATION



Case Number: \_\_\_\_\_

## 1. PROPERTY

Address(es)/Location(s)

1881 Oak Avenue, Evanston, IL 60201

Brief Narrative Summary of Proposal:

See enclosed project narrative.

## 2. APPLICANT

Name: 1890 Maple, LLC Organization: \_\_\_\_\_

Address: 600 W Jackson Blvd., Ste 600 City, State, Zip: Chicago, IL 60661

Phone: Work: (312) 424-6225 Home: \_\_\_\_\_ Cell/Other: (262) 237-0330

Fax: Work: \_\_\_\_\_ Home: \_\_\_\_\_

E-mail: jpease@fifieldco.com




What is the relationship of the applicant to the property owner?

- same
- architect
- officer of board of directors
- builder/contractor
- attorney
- other: \_\_\_\_\_
- contract purchaser
- lessee
- potential lessee
- real estate agent

## 3. SIGNATURE

"I certify that all of the above information and all statements, information and exhibits that I am submitting in conjunction with this application are true and accurate to the best of my knowledge."

  
Applicant Signature - REQUIRED

2.2.17  
Date

**OTHER PROFESSIONAL REPRESENTATIVE INFORMATION**

**Attorney**

Name: Richard F. Klawiter / Katie Jahnke Dale Organization: DLA Piper, LLP  
Address: 203 North LaSalle Street, Suite 1900 City, State, Zip: Chicago, IL 60601  
Phone: (312) 368-7243 / -2153 Fax: (312) 630-7337/-2856 Email: richard.klawiter@dlapiper.com/  
katie.dale@dlapiper.com

**Architect**

Name: \_\_\_\_\_ Organization: \_\_\_\_\_  
Address: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_

**Surveyor**

Name: \_\_\_\_\_ Organization: \_\_\_\_\_  
Address: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_

**Civil Engineer**

Name: \_\_\_\_\_ Organization: \_\_\_\_\_  
Address: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_

**Traffic Engineer**

Name: Luay Aboona, PE Organization: Kenig, Lindgren, O'Hara, Aboona, Inc.  
Address: 9575 West Higgins Road, Suite 400 City, State, Zip: Rosemont, IL. 60018  
Phone: (847) 518-9990 Fax: \_\_\_\_\_ Email: laboona@kloainc.com

**Other Consultant**

Name: \_\_\_\_\_ Organization: \_\_\_\_\_  
Address: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_

---

## 5. PRE-SUBMISSION REQUIREMENTS

Prior to submitting an application for Planned Development, you must:

A. Complete a Zoning Analysis of the Development Plan

The Zoning Office staff must review the development plan and publish a written determination of the plan's level of compliance with the zoning district regulations. Apply at the Zoning Office.

B. Present the planned development at a pre-application conference

Contact the Zoning Office to schedule a conference with the Site Plan and Appearance Review Committee, the alderman of the ward, and the chairman of the Plan Commission.

---

## 6. REQUIRED SUBMISSION DOCUMENTS AND MATERIALS

(This) Completed Application Form

Application Fee, including postage for required mailing

Two (2) Copies of Application Binder

Your application must be in the form of a binder with removable pages for copying.

You must submit two application binders for initial review. The Application Binder must include:

Certificate of Disclosure of Ownership Interest

Plan drawing illustrating development boundary and individual parcels and PINs

N/A  Plat of Survey of Entire Development Site

N/A  Preliminary Plat of Subdivision.

N/A  Pre-application Conference Materials.

Zoning Analysis Results Sheet.

Development Plan/Site Plan

N/A  Landscape Plan.

N/A  Statement addressing how the planned development's approval will further public benefits

N/A  Statement describing the relationship with the Comprehensive General Plan and other City land use plans.

Statement describing the developments compliance any other pertinent city planning and development policies.

Statement addressing the site controls and standards for planned developments.

N/A  Statement of proposed developments compatibility with the surrounding neighborhood.

N/A  Statement of proposed developments compatibility with the design guidelines for planned developments.

N/A  Statement describing provisions for care and maintenance of open space and recreational facilities and proposed articles of incorporation and bylaws.

N/A  Restrictive Covenants.

N/A  Schedule of Development.

~~Market Feasibility Statement.~~ Parking Utilization Study

Traffic Circulation Impact Study.

Statement addressing development allowances for planned developments.

### Notes:

- Plats of survey must be drawn to scale and must accurately and completely reflect the current conditions of the property.
- Building plans must be drawn to scale and must include interior floor plans and exterior elevations.
- Application Fees may be paid by cash, check, or credit card.

**8. MULTIPLE PROPERTY OWNERS**

Use this page if the petition is on behalf of many property owners.

*"I understand that the regulations governing the use of my property may change as a result of this petition. By signing below, I give my permission for the named petitioner on page 1 of this form to act as my agent in matters concerning this petition. I understand that 1) the named petitioner will be the City of Evanston's primary contact during the processing of this petition, 2) I may not be contacted directly by City of Evanston staff with information regarding the petition while it is being processed, 3) I may inquire the status of this petition and other information by contacting the Zoning Office, and 4) the property owners listed below may change the named petitioner at any time by delivering to the Zoning Office a written statement signed by all property owners and identifying a substitute petitioner."*

NAME and

ADDRESS(es) or PIN(s)

CONTACT INFORMATION

of PROPERTY OWNED

SIGNATURE

(telephone or e-mail)

1890 Maple, LLC

680 W Jackson Blvd., Ste 600

jpease@ffieldco.com

1890 Maple Ave.

Justin Pease



Copy this form if necessary for a complete listing.

### Submittal Requirements

- 1) Planned Development Application Form.
- 2) Certificate of Disclosure of Ownership Interest Form listing each individual lot contained within the proposed development identified by parcel identification number and each owner having legal or equitable interest in each individual parcel. Connection to the ownership interest in the property must be documented in the form of a title insurance policy, deed, lease or contract to lease or purchase.
- 3) Exhibit illustrating the boundaries of each individual parcel contained within the property(ies) proposed for development with coincide parcel identification numbers.
- 4) Plat of Survey, drawn to scale, showing dimensions and areas of the parcel(s), lot(s), block(s), or portions thereof, according to the recorded plat of the subject property(ies).
- 5) Preliminary Plat of Subdivision, if necessary, showing the development consists of, and is coterminous with, a single lot legally described in a recorded plat of subdivision or proposed subdivision or consolidation.
- 6) Pre-application Conference Materials:
  - a) Conceptual site plan, showing parking and bicycle facilities where appropriate;
  - b) Plat of survey showing location of utilities;
  - c) Elevations;
  - d) Photographs of the subject and surrounding properties;
  - e) Description of adjacent land uses and neighborhood characteristics; and
  - f) Description of critical historical structures, details or characteristics.
- 7) Zoning Analysis Results Sheet, if available.
- 8) Development Plan showing:
  - a) Location, dimensions and total area of site;
  - b) Location, dimensions, floor area, construction type and use of each structure;
  - c) Number, type and size of dwelling units, and the overall dwelling unit density;
  - d) Number and location of parking spaces and loading docks, with means of ingress and egress;
  - e) Traffic circulation pattern, location and description of public improvements, streets and access easements to be installed or created;

- f) All existing and proposed dedications and easements;
  - g) Drainage plan;
  - h) Locations, dimensions and uses of adjacent properties, rights of way, easements and utilities serving the site;
  - i) Significant topographical or physical features, including trees;
  - j) Soil or subsurface conditions; and
  - k) Historical structures or features.
- 9) Landscape Plan, including:
- a) Location, dimensions and total area of site;
  - b) Locations, dimensions and uses of adjacent properties, rights of way, easements and utilities serving the site;
  - c) Landscaping location and treatment, plant material types, size and quantity, open spaces, and exterior surfaces of all structures with sketches of proposed landscaping;
  - d) Topographic and physical site features including soils and existing trees and vegetation;
  - e) Location, type and size of trees to be removed, and preservation plan for existing trees to remain through construction; and
  - f) Location, type, height and material of all fences and walls.
- 10) Statement addressing how the planned development's approval will further public benefits including:
- a) Preservation and enhancement of desirable site characteristics, open space, topographic and geologic features, and historic and natural resources;
  - b) Use of design, landscape, and architectural features to create a pleasing environment;
  - c) Provide a variety of housing types in accordance with the City's housing goals;
  - d) Eliminate blighted structures or incompatible uses through redevelopment or rehabilitation;
  - e) Business, commercial, and manufacturing development to enhance the local economy and strengthen the tax base;
  - f) Efficiently use land resulting in more economic networks of utilities, streets, schools, public grounds, and other facilities; and
  - g) Incorporate recognized sustainable design practices and building materials to promote energy conservation and improve environmental quality.
- 11) Statement describing the relationship between the proposed development and the Comprehensive General Plan and other City land use plans.
- 12) Statement describing the developments compliance with the Zoning Ordinance and any other pertinent city planning and development policies.
- 13) Statement addressing the site controls and standards for planned developments in the subject property's zoning district regarding the following:
- a) Minimum area
  - b) Tree preservation
  - c) Landscaped strip
  - d) Open space
  - e) Walkways
  - f) Parking and loading
  - g) Utilities
  - h) Stormwater treatment
- 14) Statement of proposed developments compatibility with the surrounding neighborhood.
- 15) Statement of proposed developments compatibility with the design guidelines for planned developments.
- 16) Statement describing provisions for care and maintenance of open space and recreational facilities and, if owned by an entity other than a government authority, proposed articles of incorporation and bylaws.
- 17) Restrictive Covenants to be recorded against proposed development.
- 18) Schedule of Development phases or stages stating beginning and completion time for each phase.
- 19) Market Feasibility Statement indicating the consumer market areas for all proposed uses in the development, the population potential of the area to be served by the proposed uses and other pertinent information concerning the demand for such uses of land.
- 20) Traffic Circulation Impact Study showing the effect of the development upon adjacent roadways, anticipated vehicular trips and traffic flow, and what road improvements and traffic control upgrading might be necessary.

- 21) Statement addressing the development allowances for planned developments in the subject property's zoning district regarding the following:
- a) Height increases
  - b) Density increases
  - c) The location and placement of buildings varying from that otherwise permitted in the district
  - d) Floor area ratio increases

**Standing**

The applicant must own, lease, or have legal or equitable interest in the subject property. The Zoning Division requires the applicant to demonstrate his or her connection to the ownership interest in the property. Documentation can be in the form



### **Application Procedure**

- (A) **Pre-Application Conference:** Prior to application submittal, an applicant shall meet with the Zoning Administrator, the Plan Commission chair and the Alderman of the ward in which the proposed planned development is located, and the Site Plan and Appearance Review Committee (SPAARC). Where applicable, a representative of the Preservation Commission shall be present. The purpose of the conference is to present the concept of the proposed plan and discuss procedures and standards for approval. No representation made by the Zoning Administrator, SPAARC member or the representative of the Preservation Commission or Plan Commission during such conference or at any other time shall be binding upon the City with respect to the application subsequently submitted. The pre-application conference with SPAARC shall be scheduled within 15 calendar days after receiving the applicant's request.
- (B) **Information Needed for Pre-Application Conference:** The applicant shall include the following information at the time of request for the meeting:
1. Narrative summary of proposal.
  2. Conceptual site plan.
  3. Plat of survey (including the location of utilities).
  4. Proposed elevations.
  5. Photographs of the subject and surrounding properties
  6. Description of adjacent land uses and neighborhood characteristics.
  7. Description of critical historical structures, details or characteristics (if applicable).
- (C) **Zoning Analysis Application:** Prior to review of the project, the applicant must submit the project for "zoning analysis." The Zoning Division's response to this application is a Zoning Analysis Review Sheet addressing specific regulatory areas, and indicating compliance or deficiency.
- (D) **Results of Pre-Application Conference and Zoning Analysis:** Following the pre-application conference, the Zoning Administrator and SPAARC shall be available to suggest modifications to the site plan as discussed during the pre-application conference. Within 7 calendar days, minutes of the pre-application conference shall be sent to the applicant and Plan Commission and shall be available upon request to interested parties by the Zoning Administrator.

### **Review Procedure - Decision**

- (A) **Review Procedure:** Upon the review of an application for a planned development the Zoning Administrator shall notify the developer of any deficiencies or modifications necessary to perfect the planned development application.
- (B) **Public Hearing:** After determining that the application is complete, the Zoning Administrator shall schedule a public hearing to be held by the Plan Commission at which time a formal presentation of the planned development application will be presented. The public hearing shall be held not less than 15 calendar days and no more than 30 calendar days from the date of receipt of the complete application. In addition, a sign shall be posted on the property for a minimum of 10 working days prior to the public hearing indicating the place, time and date of the hearing.
- (C) **Mailed Notices Required:** Notice shall also be given by first class mail to all owners of property within a 1,000-foot radius of the subject property as provided by the applicant. The failure of delivery of such notice, however, shall not invalidate any such hearing. The City, through its Geographic Information System, can supply the names and addresses of the owners of property within the 1,000-foot radius. The applicant is responsible for the accuracy of the list provided to the City. The City mails notice of the hearing to the neighboring property owners and publishes a notice of the hearing in a locally circulating newspaper, generally the Evanston Review, no less than 15 days nor more than 30 days prior to hearing.
- (D) **Recommendation:** The Plan Commission holds a public hearing and makes a recommendation, based on findings of fact, to the City Council within 60 days of the close of the public hearing. The Planning and Development Committee of the City Council considers the Plan Commission's recommendation and forwards it to the full Council with or without a recommendation. The City Council considers the Plan Commission's recommendation and may introduce an ordinance granting the planned development. The City Council may adopt an ordinance granting the planned development at the following or any subsequent City Council meeting. The developer shall record the ordinance granting the planned development and the development plan with the Cook County Recorder.

### **Standing**

The applicant must own, lease, or have legal or equitable interest in the subject property. The Zoning Division requires the applicant to demonstrate his or her connection to the ownership interest in the property. Documentation can be in the form of a title insurance policy or a deed, and a lease or contract to lease or purchase.

**CERTIFICATE OF DISCLOSURE OF OWNERSHIP INTEREST FORM**

**8. MULTIPLE PROPERTY OWNERS**

Use this page if the petition is on behalf of many property owners.

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NAME and CONTACT INFORMATION  
(telephone or e-mail)

ADDRESS(es) or PIN(s)  
of PROPERTY OWNED

SIGNATURE

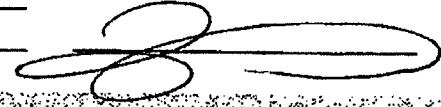
1890 Maple, LLC

600 W Jackson Blvd., Ste 600

jpeace@ffieldco.com

1890 Maple Ave.

Justin Peace



Copy this form if necessary for a complete listing.

SECTION 4

**ZONING ANALYSIS**

# City of Evanston

## ZONING ANALYSIS REVIEW SHEET

**APPLICATION STATUS:** Closed/Compliant September 25, 2015

**RESULTS OF ANALYSIS:** Compliant

**Z.A. Number:** 15ZONA-0138  
**Address:** 1881 oak  
**Applicant:** Jim Clementi  
**Phone:**

**Purpose:** Zoning Analysis with Bld Permit App  
**District:** RP      **Overlay:**      **Preservation**  
**Reviewer:** Melissa Klotz      **District:**

**THIS APPLICATION PROPOSES (select all that apply):**

- |   |  |
|---|--|
| <input type="checkbox"/> New Principal Structure            | <input type="checkbox"/> Change of Use             |
| <input type="checkbox"/> New Accessory Structure            | <input type="checkbox"/> Retention of Use          |
| <input type="checkbox"/> Addition to Structure              | <input type="checkbox"/> Plat of Resubdiv./Consol. |
| <input checked="" type="checkbox"/> Alteration to Structure | <input type="checkbox"/> Business License          |
| <input type="checkbox"/> Retention of Structure             | <input type="checkbox"/> Home Occupation           |

**ANALYSIS BASED ON:**

**Plans Dated:** 08.14.15  
**Prepared By:** Fitzgerald Arch  
**Survey Dated:**  
**Existing Improvements:** 2 mixed use towers (PD)

**Proposal Description:**

Existing Planned Development under construction - proposed modification to convert 20 1BR units into 10 3BR units. Interior changes only.

### ZONING ANALYSIS

**PRINCIPAL USE AND STRUCTURE**

	Standard	Existing	Proposed	Determination
<b>USE:</b>			Mixed Use	Compliant with Variance

**Comments:**

<b>Minimum Lot Width (LF)</b>	No Requirement	424	424	Compliant
-------------------------------	----------------	-----	-----	-----------

**USE:** Multi Family

**Comments:**

<b>Minimum Lot Area (SF)</b>		68579	68579	Compliant
------------------------------	--	-------	-------	-----------

**USE:** Multi Family

**Comments:**

<b>Dwelling Units:</b>		356	346	Compliant
------------------------	--	-----	-----	-----------

**Comments:**

**Rooming Units:**

**Comments:**

<b>Building Lot Coverage (SF) (defined, including subtractions&amp; additions):</b>	None			
---	------	--	--	--

**Comments:**

**Impervious Surface Coverage (SF, %)**

**Comments:**

<b>Accessory Structure Rear Yard Coverage:</b>	40% of rear yard			
--	------------------	--	--	--

**Comments:**

**Comments:**

	Standard	Existing	Proposed	Determination
Gross Floor Area (SF)		337561	337561	Compliant with Variance
Use:		4.9	4.9	
Comments:				
Height (FT)		165	165	Compliant with Variance
Comments:				
Front Yard(1) (FT)	3	8.25	8.25	Compliant
Direction: N				
Street: Emerson				
Comments:				
Front Yard(2) (FT)	3	11.28	11.28	Compliant
Direction: E				
Street: Maple				
Comments:				
Street Side Yard (FT)	0	2.33	2.33	Compliant
Direction:				
Street:				
Comments:				
Interior Side Yard(1) (FT)				
Direction:				
Comments:				
Interior Side Yard(2) (FT)				
Direction:				
Comments:				
Rear Yard (FT)	0	8	8	Compliant
Direction:				
Comments:				

**PARKING REQUIREMENTS**

	Standard	Existing	Proposed	Determination
Use(1):	477.5 = 478	353 + 6 (previous modification)	359	Compliant with Variance
Comments:				
Use(2):				
Comments:				
Use(3):				
Comments:				
TOTAL REQUIRED:				
Comments:				
Handicap Parking Spaces:	Sec. 6-16-2-6	8	8	Compliant
Comments:				
Access:	Sec. 6-16-2-2			
Comments:				

	Standard	Existing	Proposed	Determination
Vertical Clearance (LF)	7'			
Comments:				

Surfacing:	Sec. 6-16-2-8 (E)			
Comments:				

Location:	Sec. 6-4-6-2	within building	within building	Compliant
-----------	--------------	-----------------	-----------------	-----------

Comments:

Angle(1):	Comments:			
-----------	-----------	--	--	--

Width(W) (FT)

Comments:

Depth(D) (FT)

Comments:

Aisle(A) (FT)

Comments:

Module (FT)

Comments:

Angle(2):	Comments:			
-----------	-----------	--	--	--

Width(W) (FT)

Comments:

Depth(D) (FT)

Comments:

Aisle(A) (FT)

Comments:

Module (FT)

Comments:

Garage Setback from Alley Access (FT)

Comments:

**LOADING REQUIREMENTS**

	Standard	Existing	Proposed	Determination
--	----------	----------	----------	---------------

Loading Use: Multi-family	1 short 30K to 100K, 1 short each addtl. 200K.	2	2	Compliant
------------------------------	--	---	---	-----------

Comments:

TOTAL (long):

TOTAL (short): 2

Long Berth Size (FT)	12' wide x 50' deep			
----------------------	---------------------	--	--	--

Comments:

Short Berth Size (FT)	10' wide x 35' deep	10 x 35	10 x 35	Compliant
-----------------------	---------------------	---------	---------	-----------

Comments:

Vertical Clearance (FT)	14'			
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Comments:

Location:	Sec. 6-16-4-1	1 rear, 1 off Oak	1 rear, 1 off Oak	Compliant
-----------	---------------	-------------------	-------------------	-----------

Comments:

**MISCELLANEOUS REQUIREMENTS**

	Standard	Existing	Proposed	Determination
--	----------	----------	----------	---------------

	Standard	Existing	Proposed	Determination
Requirement (1): Landscaping	23 street trees	17 (per SPAARC)	17	Compliant with Variance

Comments:

Requirement (2): curb cut		via Oak (for loading dock)	via Oak (for loading dock)	Compliant with Variance
------------------------------	--	----------------------------	----------------------------	-------------------------

Comments:

Requirement (3):

Comments:

**COMMENTS AND/OR NOTES**

Analysis Comments

**RESULTS OF ANALYSIS**

Results of Analysis: This Application is **Compliant**

Site Plan & Appearance Review Committee approval is: **Not Required**

See attached comments and/or notes.

\_\_\_\_\_  
SIGNATURE

\_\_\_\_\_  
DATE



SECTION 5

**PARKING UTILIZATION STUDY**



9575 West Higgins Road, Suite 400, Rosemont, Illinois 60018  
P: 847-518-9200 F: 847-518-9287

MEMORANDUM TO: Justin Pense  
Fifield Companies

FROM: Brendan S. May  
Consultant

Luay R. Aboona, PE  
Principal

DATE: February 1, 2017

SUBJECT: Parking Study  
E2 Apartment Development  
Evanston, Illinois

This memorandum presents the findings and recommendations of a parking occupancy survey conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for the E2 Apartment Development located at 1890 Maple Avenue in Evanston, Illinois. The development provides 353 apartment units, a three-level parking garage with a total of 353 parking spaces and ground floor retail space that is occupied by Exhale Barre, Cardio, Yoga Studio. The purpose of this evaluation was to determine the utilization of the E2 parking garage.

### **E2 Parking Occupancy Surveys**

Parking occupancy surveys were conducted at the E2 parking garage on Thursday through Saturday, January 5 through 7, 2017. The counts were conducted in one-hour intervals from 8:00 A.M. to 10:00 P.M. and the parking occupancy surveys were classified by type of space. It should be noted that at the time the parking occupancy surveys were conducted, the E2 apartment development was 94 percent occupied. The parking occupancy surveys are summarized in **Tables 1** through **3** for each day, respectively.

### **Parking Occupancy Results**

The results of the parking occupancy surveys indicated the following:

- Peak occupancy on Thursday was 157 vehicles (44 percent) occurring at 10:00 P.M. resulting in a surplus of 196 parking spaces.
- Peak occupancy on Friday was 163 vehicles (46 percent) occurring at 10:00 P.M. resulting in a surplus of 190 parking spaces.
- Peak occupancy on Saturday was 161 vehicles (46 percent) occurring at 8:00 A.M. resulting in a surplus of 192 parking spaces.
- The parking occupancy on Thursday ranged from 135 to 157 vehicles (38 to 44 percent occupied)
- The parking occupancy on Friday ranged from 128 to 163 vehicles (36 to 46 percent occupied)
- The parking occupancy on Saturday ranged from 132 to 161 vehicles (37 to 46 percent occupied)

Table 1A

## PARKING OCCUPANCY BY PARKING SPACE TYPE - THURSDAY, JANUARY 5, 2017

Garage Total								
	Non-Reserved	Fuel Efficient Vehicle	Handicap	Electric Car	E2 Reserved	Zip Car	Leasing Center Guest	Total
8:00 AM	141	8	0	1	3	1	0	154
9:00 AM	138	9	0	1	3	1	0	152
10:00 AM	133	7	0	1	6	1	1	149
11:00 AM	133	7	0	1	5	1	1	148
12:00 PM	137	7	1	1	4	1	1	152
1:00 PM	131	6	0	1	4	1	1	144
2:00 PM	131	7	0	1	4	1	1	145
3:00 PM	125	7	0	1	2	0	0	135
4:00 PM	129	8	0	1	2	0	0	140
5:00 PM	126	8	0	1	1	1	0	137
6:00 PM	120	11	0	1	2	1	0	135
7:00 PM	123	10	1	2	3	0	0	139
8:00 PM	128	10	2	1	4	0	0	145
9:00 PM	134	10	1	1	5	0	0	151
10:00 PM	139	10	1	1	6	0	0	157
<b>Inventory</b>	<b>287</b>	<b>15</b>	<b>8</b>	<b>6</b>	<b>33</b>	<b>1</b>	<b>3</b>	<b>353</b>

Table 1B

## PERCENT OCCUPIED BY PARKING SPACE TYPE - THURSDAY, JANUARY 5, 2017

Garage Total								Total
	Non-Reserved	Fuel Efficient Vehicle	Handicap	Electric Car	E2 Reserved	Zip Car	Leasing Center Guest	
8:00 AM	49%	53%	0%	17%	9%	100%	0%	44%
9:00 AM	48%	60%	0%	17%	9%	100%	0%	43%
10:00 AM	46%	47%	0%	17%	18%	100%	33%	42%
11:00 AM	46%	47%	0%	17%	15%	100%	33%	42%
12:00 PM	48%	47%	13%	17%	12%	100%	33%	43%
1:00 PM	46%	40%	0%	17%	12%	100%	33%	41%
2:00 PM	46%	47%	0%	17%	12%	100%	33%	41%
3:00 PM	44%	47%	0%	17%	6%	0%	0%	38%
4:00 PM	45%	53%	0%	17%	6%	0%	0%	40%
5:00 PM	44%	53%	0%	17%	3%	100%	0%	39%
6:00 PM	42%	73%	0%	17%	6%	100%	0%	38%
7:00 PM	43%	67%	13%	33%	9%	0%	0%	39%
8:00 PM	45%	67%	25%	17%	12%	0%	0%	41%
9:00 PM	47%	67%	13%	17%	15%	0%	0%	43%
10:00 PM	48%	67%	13%	17%	18%	0%	0%	44%
<b>Inventory</b>	<b>287</b>	<b>15</b>	<b>8</b>	<b>6</b>	<b>33</b>	<b>1</b>	<b>3</b>	<b>353</b>

Table 2A  
 PARKING OCCUPANCY BY PARKING SPACE TYPE - FRIDAY, JANUARY 6, 2017

Garage Total								
	Non-Reserved	Fuel Efficient Vehicle	Handicap	Electric Car	E2 Reserved	Zip Car	Leasing Center Guest	Total
8:00 AM	125	10	1	2	3	0	0	141
9:00 AM	123	10	1	2	5	1	0	142
10:00 AM	119	10	1	2	7	1	0	140
11:00 AM	116	10	1	2	5	1	0	135
12:00 PM	123	10	0	2	3	1	0	139
1:00 PM	128	10	0	1	2	0	0	141
2:00 PM	117	11	0	1	2	0	0	131
3:00 PM	115	10	1	1	1	0	0	128
4:00 PM	116	10	1	1	3	0	0	131
5:00 PM	117	11	1	0	1	0	0	130
6:00 PM	116	9	0	0	2	1	0	128
7:00 PM	127	9	1	0	4	1	0	142
8:00 PM	129	9	1	1	6	1	0	147
9:00 PM	142	10	0	0	5	1	0	158
10:00 PM	144	10	0	1	7	1	0	163
<b>Inventory</b>	<b>287</b>	<b>15</b>	<b>8</b>	<b>6</b>	<b>33</b>	<b>1</b>	<b>3</b>	<b>353</b>

Table 2B

## PERCENT OCCUPIED BY PARKING SPACE TYPE - FRIDAY, JANUARY 6, 2017

Garage Total								
	Non-Reserved	Fuel Efficient Vehicle	Handicap	Electric Car	E2 Reserved	Zip Car	Leasing Center Guest	Total
8:00 AM	44%	67%	13%	33%	9%	0%	0%	40%
9:00 AM	43%	67%	13%	33%	15%	100%	0%	40%
10:00 AM	41%	67%	13%	33%	21%	100%	0%	40%
11:00 AM	40%	67%	13%	33%	15%	100%	0%	38%
12:00 PM	43%	67%	0%	33%	9%	100%	0%	39%
1:00 PM	45%	67%	0%	17%	6%	0%	0%	40%
2:00 PM	41%	73%	0%	17%	6%	0%	0%	37%
3:00 PM	40%	67%	13%	17%	3%	0%	0%	36%
4:00 PM	40%	67%	13%	17%	9%	0%	0%	37%
5:00 PM	41%	73%	13%	0%	3%	0%	0%	37%
6:00 PM	40%	60%	0%	0%	6%	100%	0%	36%
7:00 PM	44%	60%	13%	0%	12%	100%	0%	40%
8:00 PM	45%	60%	13%	17%	18%	100%	0%	42%
9:00 PM	49%	67%	0%	0%	15%	100%	0%	45%
10:00 PM	50%	67%	0%	17%	21%	100%	0%	46%
<b>Inventory</b>	<b>287</b>	<b>15</b>	<b>8</b>	<b>6</b>	<b>33</b>	<b>1</b>	<b>3</b>	<b>353</b>

Table 3A

## PARKING OCCUPANCY BY PARKING SPACE TYPE - SATURDAY, JANUARY 7, 2017

	Garage Total							Total
	Non-Reserved	Fuel Efficient Vehicle	Handicap	Electric Car	E2 Reserved	Zip Car	Leasing Center Guest	
8:00 AM	142	10	1	1	6	1	0	161
9:00 AM	137	10	1	1	6	1	0	156
10:00 AM	130	10	0	1	7	0	0	148
11:00 AM	127	10	0	1	7	0	0	145
12:00 PM	124	10	1	1	6	0	0	142
1:00 PM	114	8	1	2	8	0	0	133
2:00 PM	116	9	0	2	7	0	0	134
3:00 PM	123	10	0	1	6	0	0	140
4:00 PM	127	10	0	0	5	0	0	142
5:00 PM	126	9	0	0	5	1	0	141
6:00 PM	117	6	1	1	6	1	0	132
7:00 PM	126	9	1	1	6	1	0	144
8:00 PM	129	7	1	1	5	1	0	144
9:00 PM	135	8	1	1	6	1	0	152
10:00 PM	140	9	1	1	7	1	0	159
<b>Inventory</b>	<b>287</b>	<b>15</b>	<b>8</b>	<b>6</b>	<b>33</b>	<b>1</b>	<b>3</b>	<b>353</b>

Table 3B

## PERCENT OCCUPIED BY PARKING SPACE TYPE - SATURDAY, JANUARY 7, 2017

Garage Total								
	Non-Reserved	Fuel Efficient Vehicle	Handicap	Electric Car	E2 Reserved	Zip Car	Leasing Center Guest	Total
8:00 AM	49%	67%	13%	17%	18%	100%	0%	46%
9:00 AM	48%	67%	13%	17%	18%	100%	0%	44%
10:00 AM	45%	67%	0%	17%	21%	0%	0%	42%
11:00 AM	44%	67%	0%	17%	21%	0%	0%	41%
12:00 PM	43%	67%	13%	17%	18%	0%	0%	40%
1:00 PM	40%	53%	13%	33%	24%	0%	0%	38%
2:00 PM	40%	60%	0%	33%	21%	0%	0%	38%
3:00 PM	43%	67%	0%	17%	18%	0%	0%	40%
4:00 PM	44%	67%	0%	0%	15%	0%	0%	40%
5:00 PM	44%	60%	0%	0%	15%	100%	0%	40%
6:00 PM	41%	40%	13%	17%	18%	100%	0%	37%
7:00 PM	44%	60%	13%	17%	18%	100%	0%	41%
8:00 PM	45%	47%	13%	17%	15%	100%	0%	41%
9:00 PM	47%	53%	13%	17%	18%	100%	0%	43%
10:00 PM	49%	60%	13%	17%	21%	100%	0%	45%
<b>Inventory</b>	<b>287</b>	<b>15</b>	<b>8</b>	<b>6</b>	<b>33</b>	<b>1</b>	<b>3</b>	<b>353</b>



SECTION 6

**DEVELOPMENT PLAN/SITE PLAN**

**SHEET NOTES**

1. LAYOUT ALL DIMENSIONS AND COORDINATES FOR ALL UNITS BEING "FOOTED" INTERIORS.
2. SEE DISAPPOINTMENT PLANS FOR LUMBER DIMENSIONS, NOTES AND TO FINISHES.
3. ARCHITECTURAL FINISHES SHALL BE 2015 CPD OF EVANSTON ON-SITE.

**KEYNOTES**

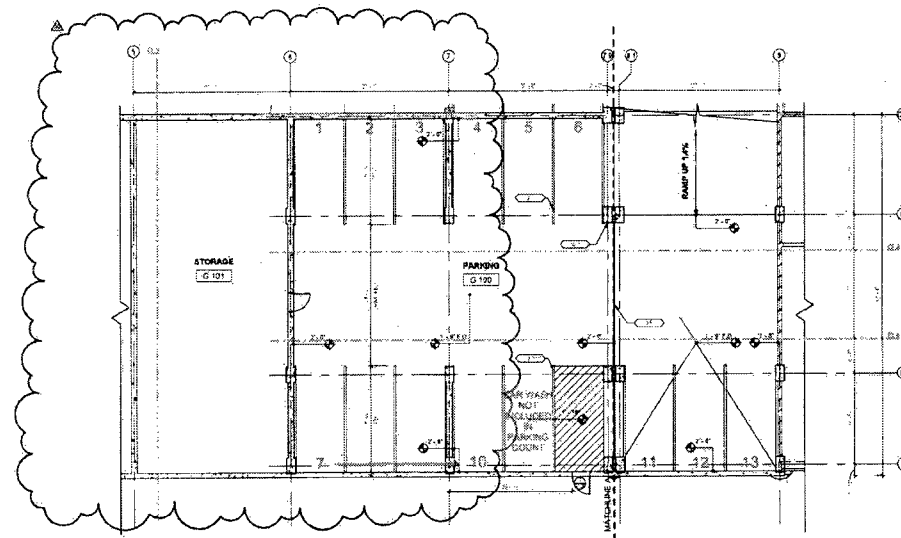
1. SEE DISAPPOINTMENT PLANS FOR LUMBER DIMENSIONS, NOTES AND TO FINISHES.
2. SEE DISAPPOINTMENT PLANS FOR LUMBER DIMENSIONS, NOTES AND TO FINISHES.
3. SEE DISAPPOINTMENT PLANS FOR LUMBER DIMENSIONS, NOTES AND TO FINISHES.

PARKING COUNT SUMMARY:

LOWER LEVEL 13 PARKING SPACES  
 LEVEL 1 WEST 46 PARKING SPACES  
 LEVEL 1 EAST 25 PARKING SPACES  
 LEVEL 2 WEST 83 PARKING SPACES  
 LEVEL 2 EAST 75 PARKING SPACES  
 LEVEL 3 WEST 54 PARKING SPACES  
 LEVEL 3 EAST 77 PARKING SPACES  
 TOTAL 353 PARKING SPACES

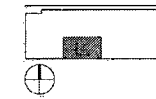
**PLAN LEGEND**

- [Symbol] WALL-METAL STUD
- [Symbol] WALL-BRICK
- [Symbol] WALL-CMU
- [Symbol] 1/2" O.C. GEAR TURNING FLOOR AREA THAT IS REQUIRED FOR ACCESSIBILITY.
- [Symbol] 48" WIDE CLEAR FLOOR AREA REQUIRED FOR ACCESSIBILITY.
- [Symbol] 36" WIDE DOOR OPENING WITH 18" MINIMUM CLEAR FLOOR AREA ON EITHER SIDE IN THE DIRECTION OF DOOR SWING.
- [Symbol] 48" WIDE CLEAR FLOOR AREA FOR PARALLEL APPROACH TO WHEELCHAIR ACCESSIBLE ENTRY. APPROACH TO WHEELCHAIR ACCESSIBLE ENTRY SHALL BE 48" WIDE. APPROACH TO WHEELCHAIR ACCESSIBLE ENTRY SHALL BE 48" WIDE. APPROACH TO WHEELCHAIR ACCESSIBLE ENTRY SHALL BE 48" WIDE.
- [Symbol] 36" WIDE CLEAR FLOOR AREA FOR PARALLEL APPROACH TO WHEELCHAIR ACCESSIBLE ENTRY. APPROACH TO WHEELCHAIR ACCESSIBLE ENTRY SHALL BE 36" WIDE. APPROACH TO WHEELCHAIR ACCESSIBLE ENTRY SHALL BE 36" WIDE.
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- [Symbol] 36" WIDE CLEAR FLOOR AREA FOR PARALLEL APPROACH TO WHEELCHAIR ACCESSIBLE ENTRY. APPROACH TO WHEELCHAIR ACCESSIBLE ENTRY SHALL BE 36" WIDE. APPROACH TO WHEELCHAIR ACCESSIBLE ENTRY SHALL BE 36" WIDE.



**LOWER LEVEL PLAN**  
1/8" = 1'-0"

**KEY PLAN**



**FitzGerald**  
 ASSOCIATES ARCHITECTS  
 912 W. Lake St. Chicago, Illinois

**E2**  
 1890 MAPLE AVE  
 EVANSTON, IL 60201

CLIENT  
**1890 MAPLE, LLC**

222 S. RIVERSIDE PLAZA, SUITE 600  
 CHICAGO, IL 60606

WITH  
**CARROLL PROPERTIES, INC.**

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/11/19
2	ISSUED FOR PERMITS	11/11/19
3	ISSUED FOR PERMITS	11/11/19
4	ISSUED FOR PERMITS	11/11/19
5	ISSUED FOR PERMITS	11/11/19
6	ISSUED FOR PERMITS	11/11/19
7	ISSUED FOR PERMITS	11/11/19
8	ISSUED FOR PERMITS	11/11/19
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**LOWER LEVEL PLAN**  
13 SPACES

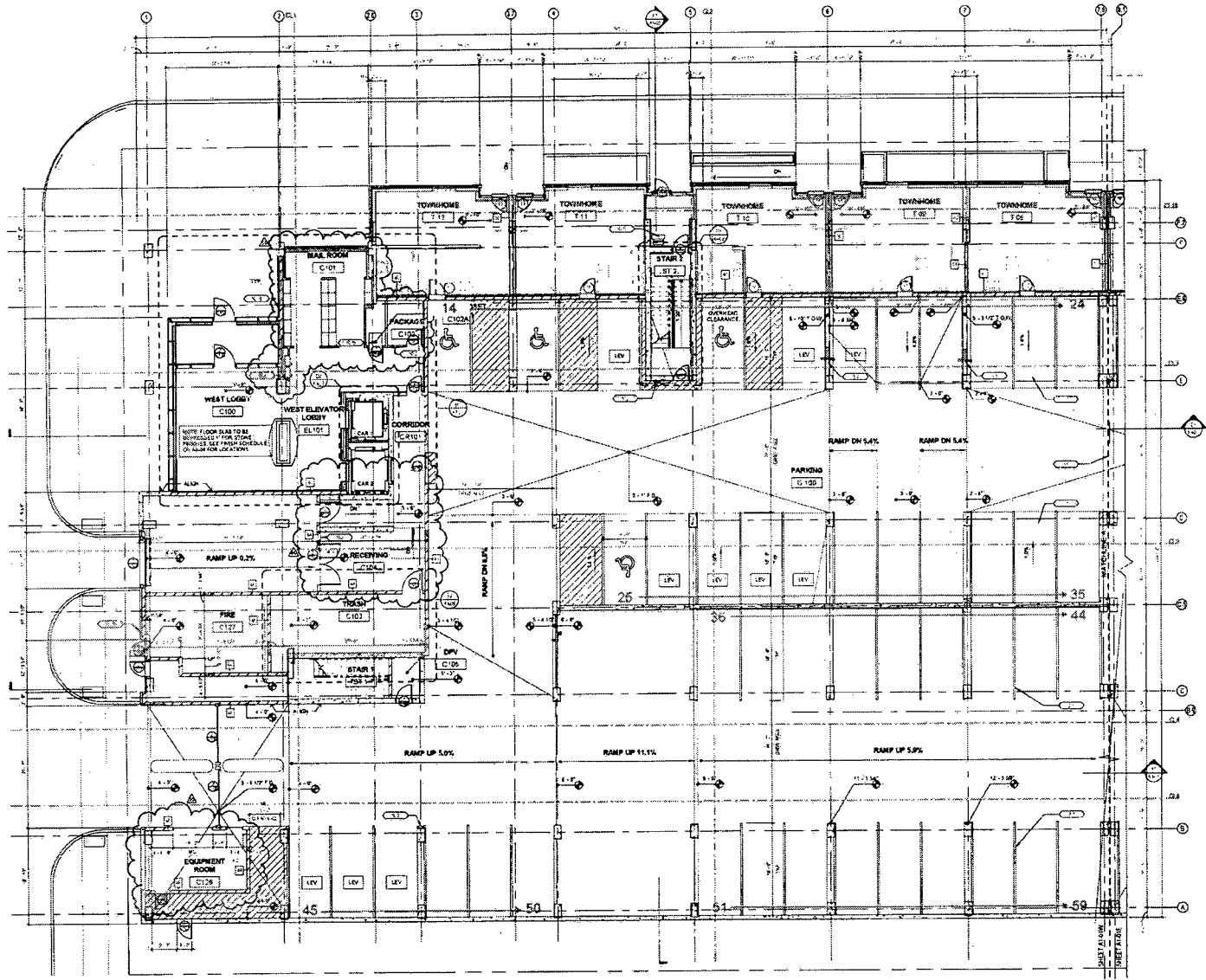
**A1-00**

**SHEET NOTES**

1. LAYOUT ALL DIMENSIONS INTO CORNER WALLS FOR ALL UNITS FROM TO UNIT APERTURES.
2. SEE MEASURED UNIT PLANS FOR UNIT DIMENSIONS, NOTES AND REFERENCES.
3. ARCHITECTURAL SECTION # OF EQUALS IS IN CITY OF EVANSTON JURISDICTION.

**KEYNOTES**

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. SEE MEASURED UNIT PLANS FOR UNIT DIMENSIONS, NOTES AND REFERENCES.
3. ARCHITECTURAL SECTION # OF EQUALS IS IN CITY OF EVANSTON JURISDICTION.
4. SEE MEASURED UNIT PLANS FOR UNIT DIMENSIONS, NOTES AND REFERENCES.
5. SEE MEASURED UNIT PLANS FOR UNIT DIMENSIONS, NOTES AND REFERENCES.
6. SEE MEASURED UNIT PLANS FOR UNIT DIMENSIONS, NOTES AND REFERENCES.
7. SEE MEASURED UNIT PLANS FOR UNIT DIMENSIONS, NOTES AND REFERENCES.
8. SEE MEASURED UNIT PLANS FOR UNIT DIMENSIONS, NOTES AND REFERENCES.
9. SEE MEASURED UNIT PLANS FOR UNIT DIMENSIONS, NOTES AND REFERENCES.
10. SEE MEASURED UNIT PLANS FOR UNIT DIMENSIONS, NOTES AND REFERENCES.



1 GROUND FLOOR WEST  
1/8" = 1'-0"

**FitzGerald**  
ASSOCIATES ARCHITECTS  
942 W. Lake St. 1312-268-9100  
Chicago, Illinois 773-268-3159  
www.fitzgeraldarch.com

CONSULTANT  
  
OWNER  
**1890 MAPLE, LLC**  
222 S. RIVERSIDE PLAZA, SUITE 600  
CHICAGO, IL 60606

E2  
**1890 MAPLE AVE**  
EVANSTON, IL 60201  
FAR Project # 12119

OWNER  
**1890 MAPLE, LLC**

222 S. RIVERSIDE PLAZA, SUITE 600  
CHICAGO, IL 60606

WITH  
**CARROLL PROPERTIES, INC.**

**PLAN LEGEND**

- WALL-METAL STUD
- WALL-CONC
- WALL-CM
- 1/4" CLEAR FLOOR SPACE AROUND FLOOR AREA NOT IN REQUISITION FOR ACCESSIBILITY
- 30" x 48" CLEAR FLOOR AREA REQUIRED FOR ACCESSIBILITY
- 38" WIDE DOOR OPENING WITH 18" MINIMUM CLEAR FLOOR AREA IN LATCH SIDE IN THE DIRECTION OF DOOR TRAVEL DEEP
- 36" x 48" CLEAR FLOOR AREA FOR PARALLEL APPROACH TO ENTRY DOORWAY TO ENTRY DOORWAY. THE WATER VALVE SHALL BE PERMITTED TO OVERLAP
- THIS 48" x 60" SIGNATURE UNIT USE ACCESSIBLE UNIT SIGNATURE ON SIGNET ONLY FOR LOCATIONS
- LOW ENTICING AND FALL PREVENTION (IF TOTAL)
- CHANGING STATION AT 10%

**KEY PLAN**



**GROUND FLOOR PLAN - WEST**  
46 SPACES

A1-01W

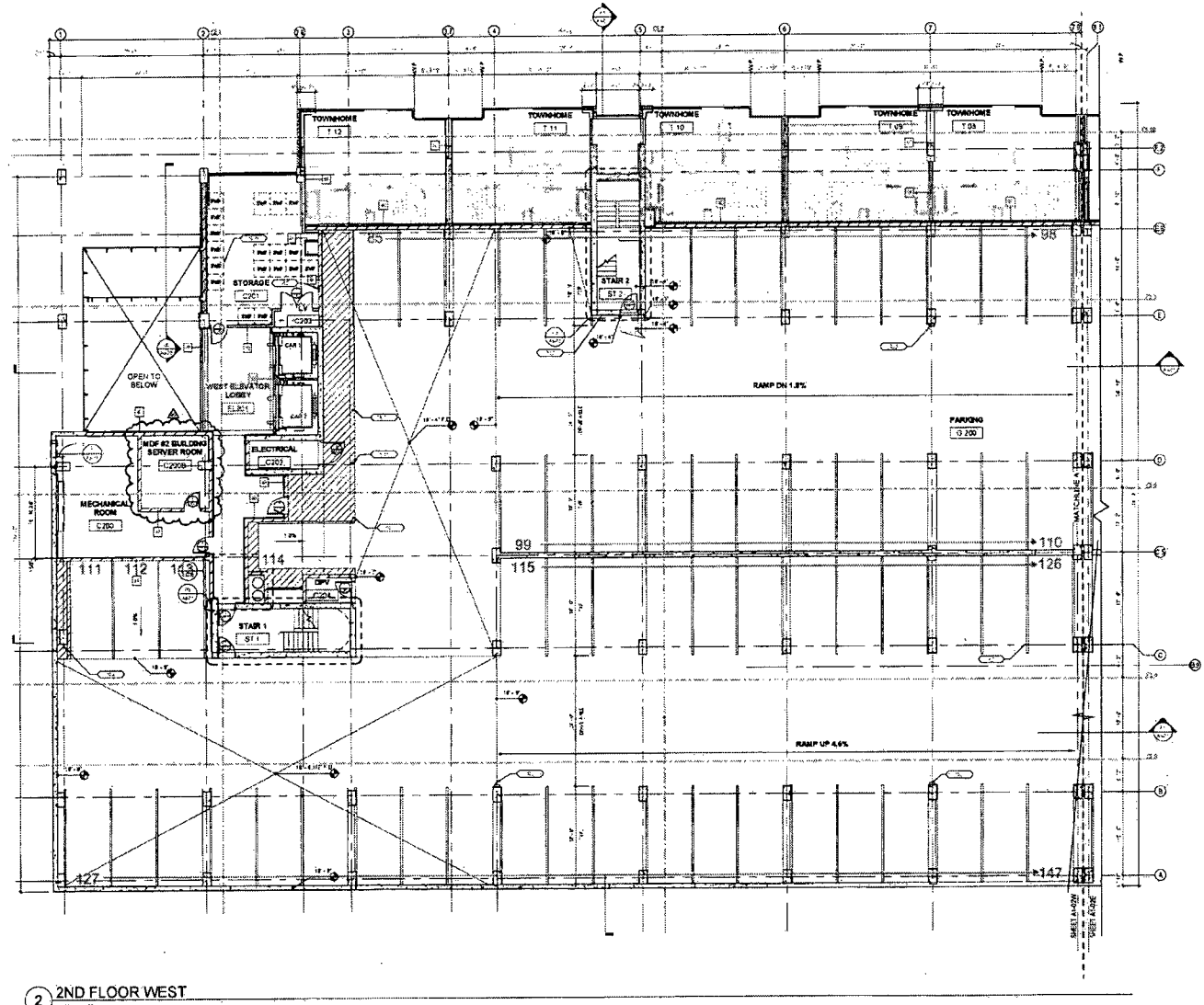


**SHEET NOTES**

- LAYOUT ALL COMMON AND CORRIDOR WALLS FOR ALL UNITS FROM TO UNIT INTERFACES.
- SEE BUILDING UNIT PLANS FOR UNIT DIMENSION NOTES AND REFERENCES.
- ARCHITECTURAL ELEVATION REFERENCE ELEVATION OF FINISH FLOOR AT 100.00.

**KEYNOTES**

- SEE UNIT INTERFACES FOR UNIT PLANS FOR UNIT DIMENSIONS.
- SEE UNIT INTERFACES FOR UNIT PLANS FOR UNIT DIMENSIONS.
- SEE UNIT INTERFACES FOR UNIT PLANS FOR UNIT DIMENSIONS.
- SEE UNIT INTERFACES FOR UNIT PLANS FOR UNIT DIMENSIONS.
- SEE UNIT INTERFACES FOR UNIT PLANS FOR UNIT DIMENSIONS.



**2 2ND FLOOR WEST**  
18" = 1'-0"

**PLAN LEGEND**

- WALL - METAL STUD
- WALL - BRICK
- WALL - CMU
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**KEY PLAN**



**FitzGerald**  
ARCHITECTS  
9127 N. Lake St. | (312) 663-9100  
Chicago, Illinois | (312) 663-1919

**E2**  
1890 MAPLE AVE  
EVANSTON, IL 60201  
FAM Project # 12119  
  
CLIENT  
**1890 MAPLE, LLC**  
  
222 S. RIVERSIDE  
PLAZA, SUITE 600  
CHICAGO, IL 60606

WITH  
**CARROLL PROPERTIES, INC.**

**SECOND FLOOR PLAN - WEST**  
63 SPACES

**A1-02W**

1890 Maple, E2, E2W  
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**SHEET NOTES**

- 1. LAYOUT ALL EXISTING AND EXCEPTED WALLS OF ALL UNITS PRIOR TO UNIT INTERIORS.
- 2. SEE APPLICABLE UNIT PLANS FOR UNIT DIMENSION NOTES AND REFERENCES.
- 3. ARCHITECTURAL ELEMENTS NOT SHOWN IN 2018 CITY OF EVANSTON DATA (SCALE)

**KEYNOTES**

- 1. ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE.
- 2. FINISH TO FACE UNLESS NOTED OTHERWISE.
- 3. ON THE BASIS OF THE INFORMATION PROVIDED TO THE ARCHITECT BY THE CLIENT.

**FitzGerald**  
Associates Architects

912 W. LAW ST. | 312-566-9410  
Chicago, IL 60610 | 312-566-1049

CONTRACT # \_\_\_\_\_

**E2**  
1890 MAPLE AVE  
EVANSTON, IL 60201  
EAM Project # 12118

CLIENT  
**1890 MAPLE, LLC**  
222 S. RIVERSIDE  
PLAZA, SUITE 600  
CHICAGO, IL 60606

BY  
**CARROLL PROPERTIES, INC.**

**PLAN LEGEND**

- [Symbol] WALL WITH STUD
- [Symbol] WALL-BLOCK
- [Symbol] WALL-CMU
- [Symbol] 3'-0" CLEAR TOWNHOME FLOOR AREA (REQUIRED FOR ACCESSIBILITY)
- [Symbol] 36" MIN. CLEAR FLOOR AREA (REQUIRED FOR ACCESSIBILITY)
- [Symbol] 36" MIN. CLEAR FLOOR AREA FOR APPROX. CLEAR FLOOR AREA (REQUIRED FOR ACCESSIBILITY)
- [Symbol] 4'-0" MIN. CLEAR FLOOR AREA FOR PARALLEL APPROACH TO STAIR
- [Symbol] 4'-0" MIN. CLEAR FLOOR AREA FOR PERPENDICULAR APPROACH TO STAIR
- [Symbol] 3'-0" MIN. CLEAR FLOOR AREA FOR PARALLEL APPROACH TO STAIR
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- [Symbol] 3'-0" MIN. CLEAR FLOOR AREA FOR PERPENDICULAR APPROACH TO STAIR

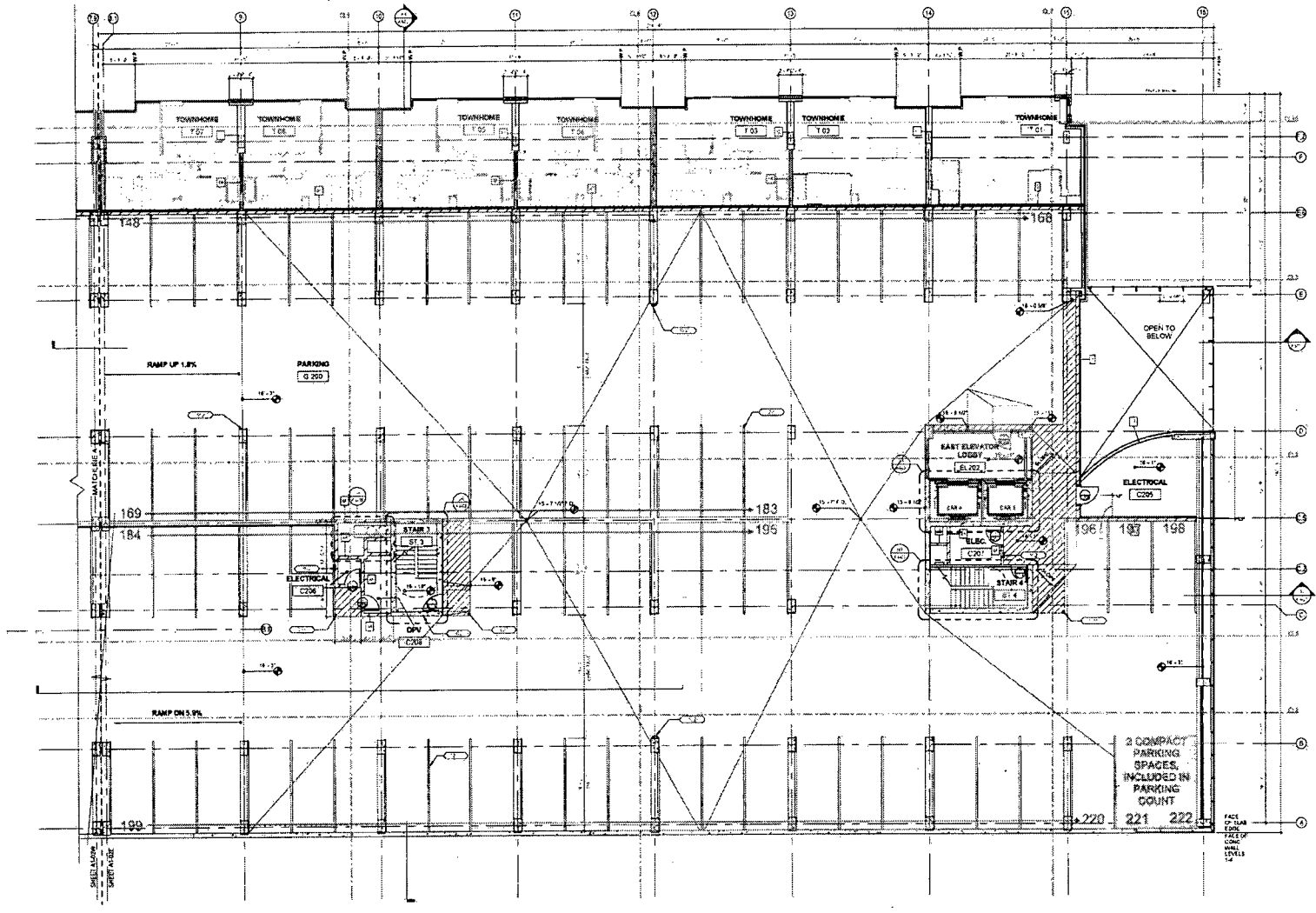
#	DESCRIPTION	DATE

**KEY PLAN**



SECOND FLOOR PLAN  
- EAST  
75 SPACES

A1-02E



**2ND FLOOR EAST**  
1/8" = 1'-0"

04/2023 1:43 PM  
C:\projects\1890 Maple\1890 Maple.dwg - Sheet E2 - A1-02E

**SHEET NOTES**

1. LAYOUT ALL DIMENSIONS AND COMMON WALLS FOR ALL UNITS PRIOR TO UNIT INTERIOR.
2. SEE CHANGED UNIT PLANS FOR UNIT DIMENSIONS, NOTES AND REFERENCES.
3. AN APPROXIMATE ELEVATION OF EQUALS TO THE CITY OF EVANSTON (SEE PLAN).

**KEYNOTES**

1. ALL UNITS SHALL BE FINISHED TO THE FINISH LEVEL SHOWN.
2. SEE CHANGED UNIT PLANS FOR UNIT DIMENSIONS, NOTES AND REFERENCES.
3. AN APPROXIMATE ELEVATION OF EQUALS TO THE CITY OF EVANSTON (SEE PLAN).

**FitzGerald**  
 Associates Architects  
 132 W Lake St. 132-2663-0100  
 Chicago, Ill. 60601 312-266-3199

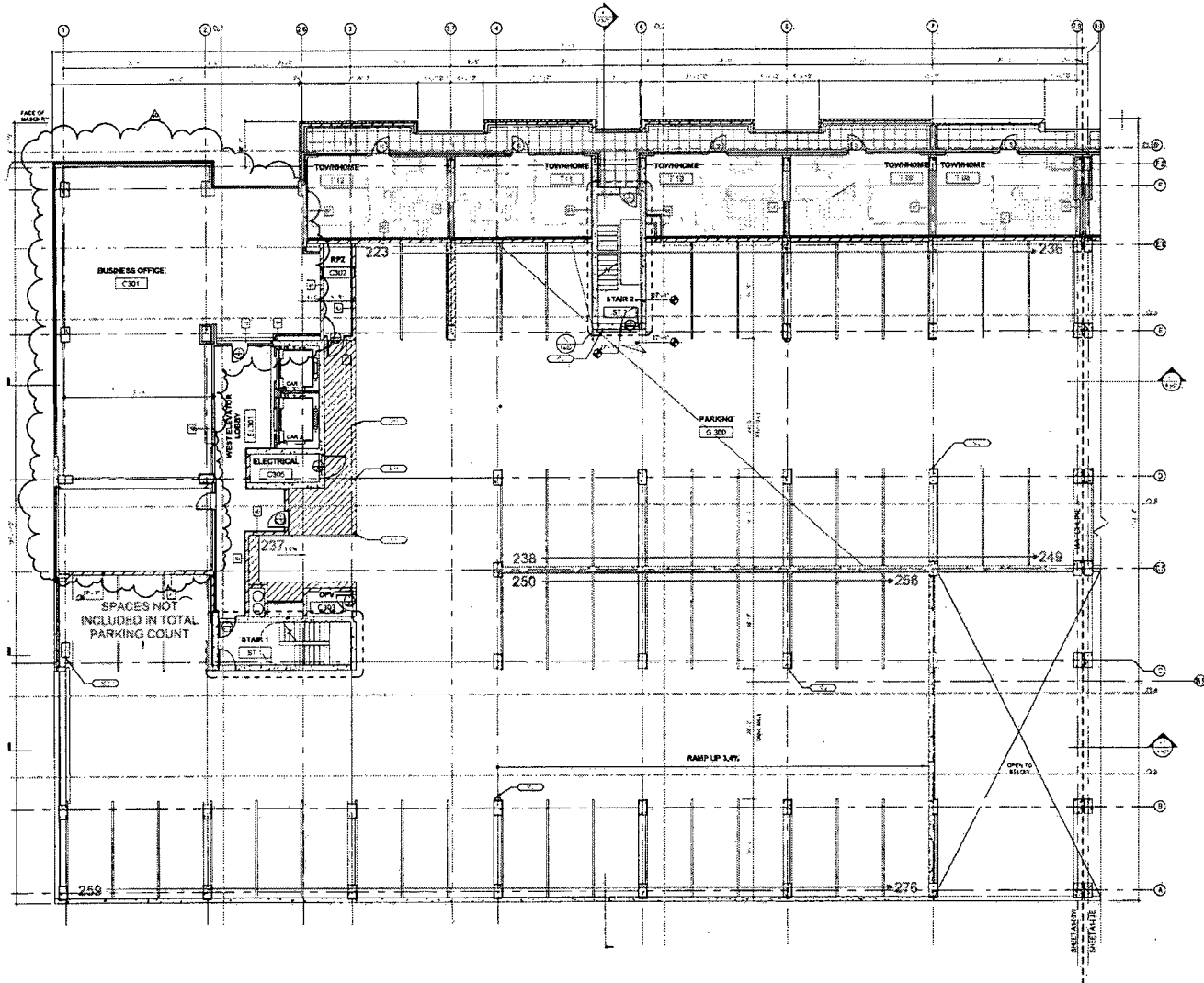
CONSULTANT

**E2**  
 1890 MAPLE AVE  
 EVANSTON, IL 60201  
 CA# Project # 12116

CLIENT  
**1890 MAPLE, LLC**

222 S. RIVERSIDE PLAZA, SUITE 600  
 CHICAGO, IL 60606

WITH  
**CARROLL PROPERTIES, INC.**



**PLAN LEGEND**

- WALL - METAL STUD
- WALL - BRICK
- WALL - CMU
- 4'-0" CLEAR TURNING RADIUS FOR WHEELCHAIR ACCESSIBILITY
- 4'-0" CLEAR FLOOR AREA FOR WHEELCHAIR ACCESSIBILITY
- 4'-0" CLEAR DOOR OPENING WIDTH OF OPENING CLEAR FLOOR AREA ON EACH SIDE IN THE DIRECTION OF TRAVEL
- 4'-0" CLEAR FLOOR AREA FOR WHEELCHAIR APPROACH AT ENTRY TO ROOMS BY THE WHEELCHAIR USER. THE WHEELCHAIR USER SHALL BE PERMITTED TO OVERLAP.
- TYPE A UNITS ADAPTABLE UNIT RAMP UP ON SHEET INDICATED FOR LOCATION.

#	DESCRIPTION	DATE
1	REVISION FOR THE CITY OF EVANSTON	10/20/11
2	REVISION FOR THE CITY OF EVANSTON	10/20/11
3	REVISION FOR THE CITY OF EVANSTON	10/20/11
4	REVISION FOR THE CITY OF EVANSTON	10/20/11
5	REVISION FOR THE CITY OF EVANSTON	10/20/11
6	REVISION FOR THE CITY OF EVANSTON	10/20/11
7	REVISION FOR THE CITY OF EVANSTON	10/20/11
8	REVISION FOR THE CITY OF EVANSTON	10/20/11
9	REVISION FOR THE CITY OF EVANSTON	10/20/11
10	REVISION FOR THE CITY OF EVANSTON	10/20/11

**KEY PLAN**



**3** 3RD FLOOR WEST  
 1/8" = 1'-0"

THIRD FLOOR PLAN - WEST  
 54 SPACES

A1-03W

10/20/11 1:43 PM  
 C:\projects\1890 Maple\1890 Maple.dwg - Project 1890 Maple

**SHEET NOTES**

1. LAYOUT ALL DIMENSIONS AND CORNER WALLS FOR ALL UNITS FROM TO-CUT FINISHES
2. SEE FINISHES UNIT PLAN FOR UNIT DIMENSION NOTES AND REFERENCES
3. ARCHITECTURAL ELEVATION FOR EQUATIONS OF ELEVATION FROM FLOOR

**KEYNOTES**

1. SEE FINISHES UNIT PLAN FOR UNIT DIMENSION NOTES AND REFERENCES
2. SEE FINISHES UNIT PLAN FOR UNIT DIMENSION NOTES AND REFERENCES
3. ARCHITECTURAL ELEVATION FOR EQUATIONS OF ELEVATION FROM FLOOR

**FitzGerald**  
 Associates Architects  
 912 W. Lake St. 1312-683-0100  
 Chicago, IL 60606 1312-663-1919  
 www.fitzgeraldarch.com

CONTRACT

**E2**  
 1890 MAPLE AVE  
 EVANSTON, IL 60201  
 FAAR Project # 12119

OWNER  
**1890 MAPLE, LLC**

222 S. RIVERSIDE  
 PLAZA, SUITE 600  
 CHICAGO, IL 60606

WITH  
**CARROLL  
 PROPERTIES,  
 INC.**

**PLAN LEGEND**

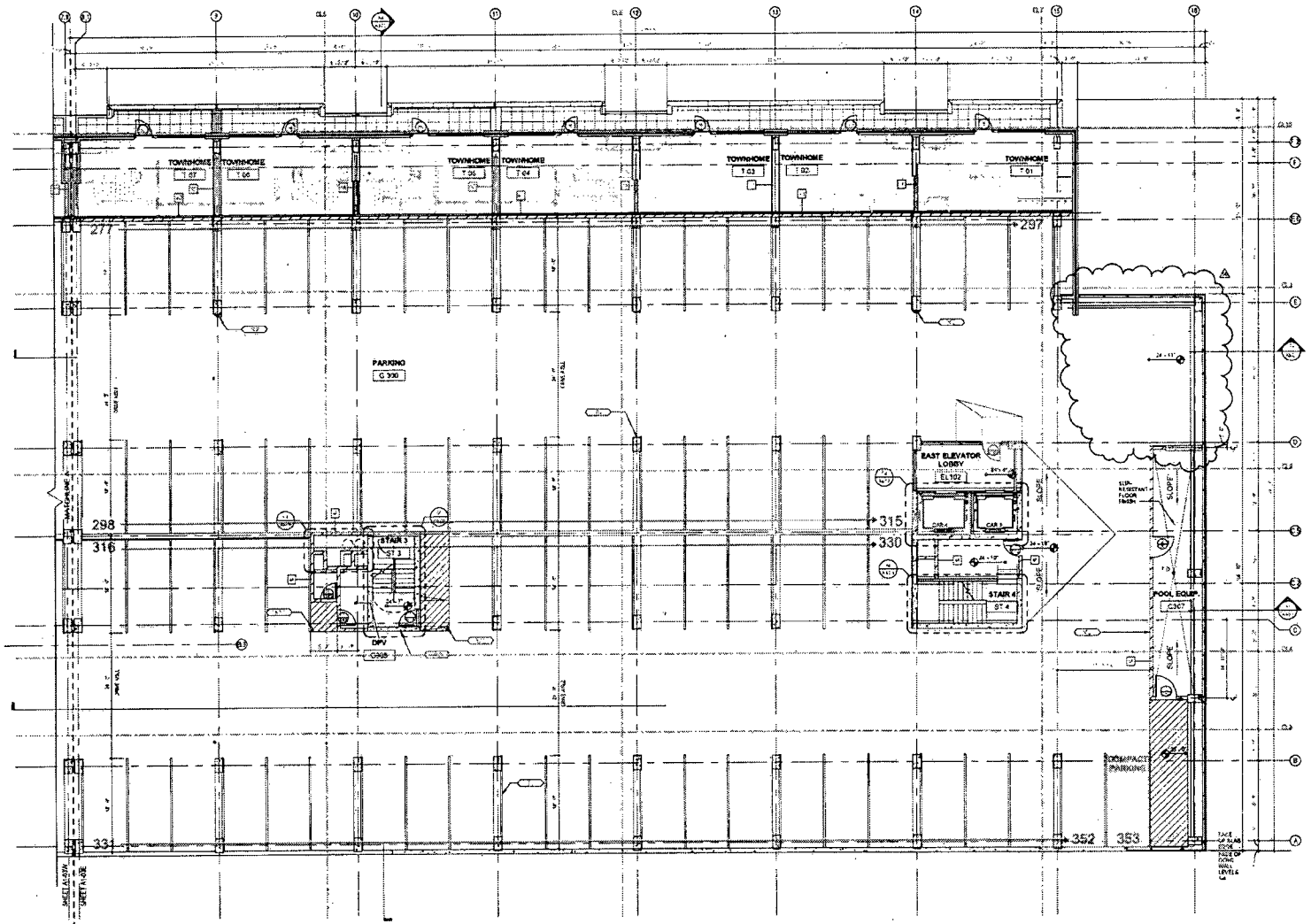
- WALL-METAL STUD
- WALL-BLOCK
- WALL-CONC.
- 
- 
- 
- 
- 
- 
- 

**KEY PLAN**



**THIRD FLOOR PLAN - EAST**  
 77 SPACES

**A1-03E**



**3 3RD FLOOR EAST**  
 1/8" = 1'-0"

11/20/10 10:14 AM  
 C:\Users\jacob.1231\Documents\1890 Maple\1890 Maple.dwg - Carroll Properties





DLA Piper LLP (US)  
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Chicago, Illinois 60606-0089  
www.dlapiper.com

Katie C. Jahnke Dale  
katie.dale@dlapiper.com  
T 312.368.2153  
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March 9, 2017  
VIA E-MAIL

Meagan Jones  
Neighborhood and Land Use Planner  
Community Development Department  
2100 Ridge Avenue  
Evanston, Illinois 60201  
mmjones@cityofevanston.org

**Re: Application for Major Adjustment to Planned Development at 1881 Oak Avenue –  
Response to City of Evanston E-mail dated February 20, 2017**

Dear Mr. Mangum:

As you know, we represent 1890 Maple, LLC (the “**Applicant**”) in connection with an application for a major adjustment to a planned development located at 1881 Oak Avenue submitted February 3, 2017 (the “**Application**”). We are in receipt of your e-mail dated February 20, 2017 regarding the Application. On behalf of the Applicant, please see the responses below addressing the comments contained therein.

1. What method will be used to lease the surplus parking spaces?

***Response: The surplus parking spaces would be marketed by the Applicant's parking manager primarily through online advertising and signage on the property indicating that there is parking available.***

2. Will the publicly leased spaces be available on an hourly, daily, and/or monthly basis?

***Response: The Applicant proposes to lease the surplus spaces on all three bases – hourly, daily and monthly, depending on demand.***

3. Is the cost of parking currently bundled into apartment leases or is there a separate charge? If so, how much?

***Response: Parking is a separate charge for tenants. Currently, parking is \$145 per space for unassigned parking and \$195 per space for assigned parking.***

4. Current total number of units and number of each type of unit (studio, 1BR, 2BR, 3BR).

***Response: There are currently 353 total units – 48 studios, 198 one-bedroom units, 81 two-bedroom units, and 26 three-bedroom units.***

5. Are there any on-street overnight parking restrictions in the vicinity?



Mr. Scott Mangum  
March 9, 2017  
Page Two

***Response: There are parking restrictions for on-street parking throughout the vicinity. Immediately adjacent to the property and throughout much of the nearby community, parking is restricted to two-hour parking between 9:00-6:00 except for Saturdays, Sundays and holidays except for vehicles with a permit. There are also street cleaning and snow route parking restrictions on these streets.***

The Applicant looks forward to answering any questions regarding the foregoing response and the Application at the Planning & Development Committee meeting. Please contact me with any questions or if you need any further information.

Very truly yours,

**DLA Piper LLP (US)**

A handwritten signature in black ink that reads 'Katie C. Jahnke Dale'.

Katie C. Jahnke Dale

cc (via e-mail): Scott Mangum  
Justin Pease  
Rich Klawiter  
Christine Bass



# Zoning Analysis

## Summary

**Case Number:**

**Case Status/Determination:**

17ZONA-0021	Non-Compliant
-------------	---------------

**Proposal:**

Major Adjustment to PD to reduce required parking from existing 353 parking spaces to 265 parking spaces (25% reduction)

**Site Information:**

<b>Property Address:</b>	1881 Oak	<b>Zoning District:</b>	RP
<b>Overlay District:</b>		<b>Preservation District:</b>	

<b>Applicant:</b>	Justin Pease
<b>Phone Number:</b>	

\_\_\_\_\_  
Signature Date

Zoning Section	Comments
6-16-3-5-Table 16 B	PD previous approval for 353 DUs + retail space with 353 parking spaces where 483 parking spaces required by City Code Request 353 DUs + retail (same) with 265 parking spaces. Previous parking ratio 1 : 1 Proposed parking ratio 1 : .75

**Recommendation(s):**      Click on the link(s) below to access online application(s)

# City of Evanston

## ZONING ANALYSIS REVIEW SHEET

**APPLICATION STATUS:** February 08, 2017

**RESULTS OF ANALYSIS:** Non-Compliant

**Z.A. Number:** 17ZONA-0021  
**Address:** 1881 Oak  
**Applicant:** Justin Pease  
**Phone:**

**Purpose:** Zoning Analysis without Bld Permit App  
**District:** RP    **Overlay:**  
**Reviewer:** Melissa Klotz    **Preservation District:**

**THIS APPLICATION PROPOSES (select all that apply):**

- New Principal Structure
- New Accessory Structure
- Addition to Structure
- Alteration to Structure
- Retention of Structure
- Change of Use
- Retention of Use
- Plat of Resubdiv./Consol.
- Business License
- Home Occupation

- Sidewalk Cafe
- Other

**ANALYSIS BASED ON:**

- Plans Dated:**
- Prepared By:**
- Survey Dated:**
- Existing Improvements:**

**Proposal Description:**

Major Adjustment to PD to reduce required parking from existing 353 parking spaces to 265 parking spaces (25% reduction)

### ZONING ANALYSIS

#### PRINCIPAL USE AND STRUCTURE

	Standard	Existing	Proposed	Determination
<b>USE:</b>			Mixed Use	Compliant
<b>Comments:</b>				
<b>Minimum Lot Width (LF)</b> <b>USE:</b> Multi Family	No Requirement	424	424	Compliant
<b>Comments:</b>				
<b>Minimum Lot Area (SF)</b> <b>USE:</b> Multi Family		68597	68597	Compliant
<b>Comments:</b>				
<b>Dwelling Units:</b> <b>Comments:</b>		353	353	Compliant
<b>Comments:</b>				
<b>Rooming Units:</b> <b>Comments:</b>				
<b>Comments:</b>				
<b>Building Lot Coverage (SF) (defined, including subtractions&amp; additions):</b> <b>Comments:</b>	None			
<b>Comments:</b>				
<b>Impervious Surface Coverage (SF, %)</b> <b>Comments:</b>				
<b>Comments:</b>				
<b>Accessory Structure Rear Yard Coverage:</b> <b>Comments:</b>	40% of rear yard			
<b>Comments:</b>				

	Standard	Existing	Proposed	Determination
Gross Floor Area (SF)		337561		Compliant with Variance
Use: All Uses		4.9		
Comments:				
Height (FT)		165		Compliant with Variance
Comments:				
Front Yard(1) (FT)	3	8.25		Compliant
Direction: N				
Street: Emerson				
Comments:				
Front Yard(2) (FT)	3	11.28		Compliant
Direction: E				
Street: Maple				
Comments:				
Street Side Yard (FT)	0	2.33		Compliant
Direction:				
Street:				
Comments:				
Interior Side Yard(1) (FT)				
Direction:				
Comments:				
Interior Side Yard(2) (FT)				
Direction:				
Comments:				
Rear Yard (FT)	0	8		Compliant
Direction:				
Comments:				

**PARKING REQUIREMENTS**

	Standard	Existing	Proposed	Determination
Use(1):	DUs + retail = 481 req.			
Comments:				
Use(2):	(353 DUs)			
Comments:				
Use(3):				
Comments:				
TOTAL REQUIRED:	481 (required)	353 spaces (existing)	265 (proposed for uses)	Non-Compliant
Comments:				
Handicap Parking Spaces:	Sec. 6-16-2-6			
Comments:				
Access:	Sec. 6-16-2-2			
Comments:				

	Standard	Existing	Proposed	Determination
Vertical Clearance (LF)	7'			
Comments:				
Surfacing:	Sec. 6-16-2-8 (E)			
Comments:				
Location:	Sec. 6-4-6-2			

Comments:

Angle(1): Comments:

---

Width(W) (FT)

Comments:

---

Depth(D) (FT)

Comments:

---

Aisle(A) (FT)

Comments:

---

Module (FT)

Comments:

Angle(2): Comments:

---

Width(W) (FT)

Comments:

---

Depth(D) (FT)

Comments:

---

Aisle(A) (FT)

Comments:

---

Module (FT)

Comments:

Garage Setback from  
Alley Access (FT)

Comments:

**COMMENTS AND/OR NOTES**

Analysis Comments

**RESULTS OF ANALYSIS**

Results of Analysis: This Application is **Non-Compliant**  
 Site Plan & Appearance Review Committee approval is:  
 See attached comments and/or notes.

\_\_\_\_\_  
SIGNATURE DATE