

2/22/2016  
3/21/2016

**24-O-16**

**AN ORDINANCE**

**Granting a Special Use Permit and Major Variations for a Parking Lot Located at 1501 Central Street in the T1 Transitional Campus District for Northwestern University**

**WHEREAS**, the Zoning Board of Appeals (“ZBA”) met on February 16, 2016, pursuant to proper notice, to consider case no. 16ZMJV-0004, an application filed by Charles Davidson, representative for the property legally described in Exhibit A, attached hereto and incorporated herein by reference, commonly known as 1501 Central Street (the “Subject Property”) and located in the Transitional Campus District, for a Special Use Permit and a Major Variation to establish, pursuant to Subsections 6-15-7-3 of the Evanston City Code, 2012, as amended (“the Zoning Ordinance”), a Parking Lot on the Subject Property; and

**WHEREAS**, the Applicant requests the following Major Variation:

- (A) The Applicant requests a five (5) foot street side yard setback along Ashland Avenue for open parking where a minimum of a fifteen (15) foot street side yard setback is required in the T1 Transitional Campus District; and

**WHEREAS**, the ZBA, after hearing testimony and receiving other evidence, made a written record and written findings that the application for a Special Use Permit and a Major Variation met the standards for Special Uses in Section 6-3-5-10 and 6-3-8-12 of the Zoning Ordinance and recommended City Council approval thereof; and

**WHEREAS**, at its meeting of March 14, 2016, the Planning and Development Committee of the City Council (“P&D Committee”) considered the ZBA’s

record and findings and recommended the City Council accept the revised site plans and approve the application in case no. 16ZMJV-0004; and

**WHEREAS**, after the March 14, 2016 meeting of the City Council, the Applicant submitted an amended application with a revised site plan, eliminating a pedestrian path and adding a fence within the west landscape strip adjacent to the alley; and

**WHEREAS**, at its meetings of March 14, 2016 and March 28, 2016, the City Council considered the amended application and adopted the respective records, findings, and recommendations of the ZBA and P&D Committee, as amended,

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EVANSTON, COOK COUNTY, ILLINOIS, THAT:**

**SECTION 1:** The foregoing recitals are found as fact and incorporated herein by reference.

**SECTION 2:** The City Council hereby adopts the P&D Committee's records, findings, and recommendations, and hereby approves, pursuant to Subsection 6-3-8-10(D) of the Zoning Ordinance, the Special Use Permit for a Parking Lot and the Major Variation on the Subject Property applied for in case no. 16ZMJV-0004 and described hereinabove.

**SECTION 3:** The Major Variation approved hereby is as follows:

- (A)** Approval to allow a five (5) foot street side yard setback along Ashland Avenue for open parking in the T1 Transitional Campus District. Subsection 6-15-3-7(B)(2) requires a fifteen (15) foot street side yard setback for open parking in the T1 Transitional Campus District on the Subject Property.

**SECTION 3:** Pursuant to Subsection 6-3-5-12 and 6-3-8-14 of the Zoning Ordinance, the City Council hereby imposes the following conditions on the Applicant's

Special Use Permit and Major Variation, violation of any of which shall constitute grounds for penalties or revocation of said Permit pursuant to Subsections 6-3-10-5 and 6-3-10-6 of the Zoning Ordinance:

- A. Compliance with Applicable Requirements:** The Applicant must develop and use the Subject Property in substantial compliance with: all applicable legislation; the Applicant's testimony and representations to the ZBA, the P&D Committee, and the City Council; the General Site Plan in Exhibit B, attached hereto and incorporated herein by reference; and the approved plans and documents on file in this case.
- B. Landscaping:** The Applicant must install landscaping along the western border of the parking lot to maximize privacy and light mitigation to the neighborhood to the west, as depicted in Exhibit B.
- C. Lighting:** The Applicant must install lighting with dimming controls or other mitigating factors that can be used to mitigate any nuisances caused by light levels, as depicted in Exhibit B.
- D. Fencing:** The Applicant must install a fence within the west landscape strip adjacent to the public alley along the west property line. The fence must comply with all City of Evanston fence requirements and must terminate at the end of the parking lot near Isabella Street and Central Street.
- E. Alley Improvement:** The Applicant must pay for fifty percent (50%) of the alley reconstruction costs or four hundred thousand dollars (\$400,000.00), whichever is greater, for the alley east of Eastwood Avenue and north of Central Street, terminating at Isabella Street.
- F. Traffic Control:** The Applicant must collaborate with the City of Evanston to mitigate vehicular and pedestrian traffic congestion in the neighborhood during events held on the athletic campus.
- G. Vehicular Idling:** The Applicant must install signage within the parking lot and near the bus stop on Ashland Avenue indicating that vehicular idling is prohibited. The Applicant agrees to implement any additional measures requested by the City to prevent vehicular idling in the parking lot.
- H. Recordation:** Before it may operate the Special Use authorized by the terms of this ordinance, the Applicant must record, at its cost, a certified copy of this ordinance with the Cook County Recorder of Deeds.

**SECTION 4:** When necessary to effectuate the terms, conditions, and purposes of this ordinance, "Applicant" shall be read as "Applicant's agents, assigns, and successors in interest."

**SECTION 5:** This ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

**SECTION 6:** All ordinances or parts of ordinances in conflict herewith are hereby repealed.

**SECTION 7:** If any provision of this ordinance or application thereof to any person or circumstance is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this ordinance is severable.

**SECTION 8:** The findings and recitals contained herein are declared to be prima facie evidence of the law of the City and shall be received in evidence as provided by the Illinois Compiled Statutes and the courts of the State of Illinois.

Introduced: March 14, 2016

Approved:

Adopted: March 28, 2016

April 13, 2016

Elizabeth B. Tisdahl  
Elizabeth B. Tisdahl, Mayor

Attest:

Approved as to form:

Rodney Greene  
Rodney Greene, City Clerk

W. Grant Farrar  
W. Grant Farrar, Corporation Counsel

2/22/2016

3/21/2016

**24-O-16**

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**WHEREAS**, the Applicant requests the following Major Variation:

- (A) The Applicant requests a five (5) foot street side yard setback along Ashland Avenue for open parking where a minimum of a fifteen (15) foot street side yard setback is required in the T1 Transitional Campus District; and

**WHEREAS**, the ZBA, after hearing testimony and receiving other evidence, made a written record and written findings that the application for a Special Use Permit and a Major Variation met the standards for Special Uses in Section 6-3-5-10 and 6-3-8-12 of the Zoning Ordinance and recommended City Council approval thereof; and

**WHEREAS**, at its meeting of March 14, 2016, the Planning and Development Committee of the City Council ("P&D Committee") considered the ZBA's

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Introduced: March 14, 2016

Approved:


Adopted: March 28, 2016

April 13, 2016

  
Elizabeth B. Tisdahl, Mayor

Attest:

Approved as to form:

  
Rodney Greene, City Clerk

  
W. Grant Farrar, Corporation Counsel



**EXHIBIT A**

**LEGAL DESCRIPTION**

THAT PART OF LOT 17 (EXCEPT THE WEST 4.30 ACRES THEREOF) LYING WEST OF THE WEST LINE OF ASHLAND AVENUE, AND LYING SOUTH OF THE SOUTH LINE OF ISABELLA STREET AND LYING NORTH OF THE NORTH LINE OF CENTRAL AVENUE IN GEORGE SMITH'S SUBDIVISION OF THE SOUTH PART OF ARCHANGEL QUILMETTE RESERVATION IN TOWNSHIP 42 NORTH, RANGE 13, LYING EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

**PIN:** 05-35-310-015-0000

**COMMONLY KNOWN AS:** 1501 Central Street, Evanston, Illinois.

**EXHIBIT B**

**GENERAL SITE PLAN**



client / owner  
Northwestern University  
project name  
**Ryan Field Parking Lot  
Reconstruction**  
project address  
1501 Central Street  
Evanston, IL 60208

client / developer  
Northwestern University  
2028 Ridge Avenue #100  
Evanston, IL 60208  
P: 847.461.3741

landscape architect of record  
TESKA ASSOCIATES, INC.  
627 Glen Street  
Evanston, IL 60201  
p 847.869.2015 f 847.869.2059

**RENDERINGS**

**CHECK SET  
NOT FOR CONSTRUCTION**

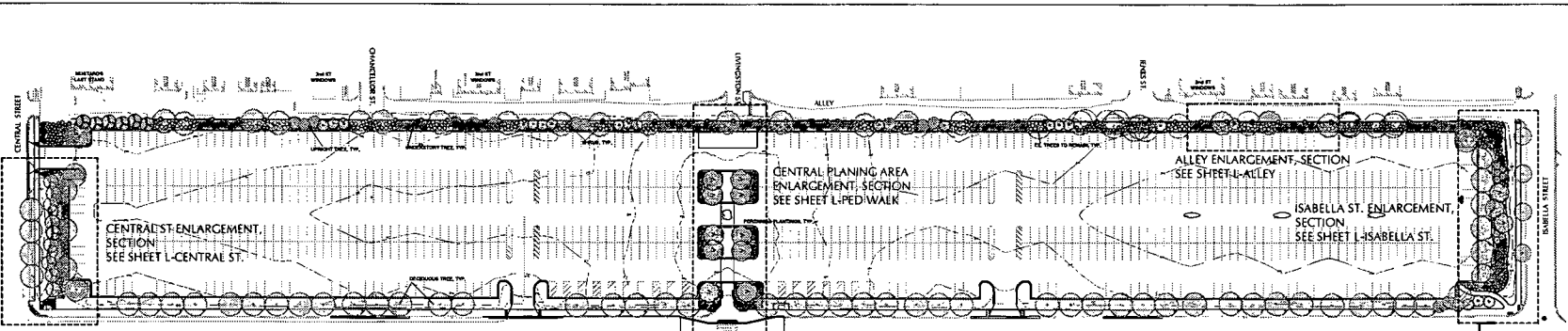
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△	01/28/2016	06/05/2016
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pre	pa	to	np	and	np

issue date  
04/08/2016

sheet name  
**OVERALL  
LANDSCAPE PLAN**

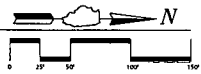
sheet number  
**L-Overall**



**1 RYAN FIELD PARKING LOT AND  
ISABELLA STREET LANDSCAPE ENHANCEMENTS**

FOR ROCKY MILLER FIELD ISABELLA STREET  
PLANTINGS, REFER TO ROCKY MILLER FIELD  
PERMIT SET DATED 03. 09. 2016 BY TESKA  
ASSOCIATES FOR MORE INFORMATION.

THIS DRAWING IS FOR REFERENCE ONLY.



**LEGEND**

- Existing Trees
- Deciduous Trees
- Upright Screening Trees
- Understory Trees
- Upright Evergreen Trees
- Deciduous and Evergreen Shrubs
- Perennials

ROCKY MILLER FIELD  
ISABELLA ST. LANDSCAPE  
ENHANCEMENTS. REFER TO PERMIT  
SET DATED 1.28.2016 BY TESKA  
ASSOCIATES.



4700 Grand Avenue, Peoria, Illinois 61614  
Tel: 309.691.2815 Fax: 309.691.2819

Client / owner  
Northwestern University

Project name  
Ryan Field Parking Lot  
Reconstruction

Project address  
1501 Central Street  
Evanston, IL 60208

Architect

Owner / developer  
Northwestern University  
2020 Ridge Avenue #200  
Evanston, IL 60208  
P: 847-491-3741

Landscape architect of record  
TESKA ASSOCIATES, INC.  
837 Crown Street  
Evanston, IL 60201  
p 847.869.2015 f 847.864.2059

**RENDERINGS**

**CHECK SET  
NOT FOR CONSTRUCTION**

date / revision	date	description
△	01/20/2014	REVISIONS
△	02/20/2014	REVISION
△	04/16/2014	REVISION
△		
△		
△		
△		
△		

DESIGNED BY: JMK, NP, CAD, NP

DATE: 03/17/2014

PROJECT NAME:  
OVERALL  
LANDSCAPE PLAN

SHEET NUMBER:

**L-Alley**

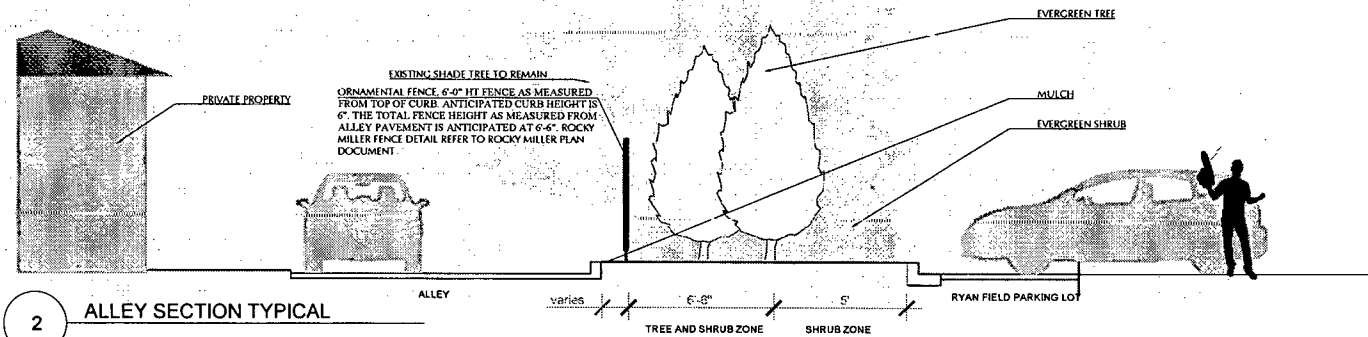
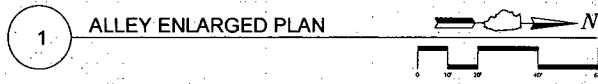
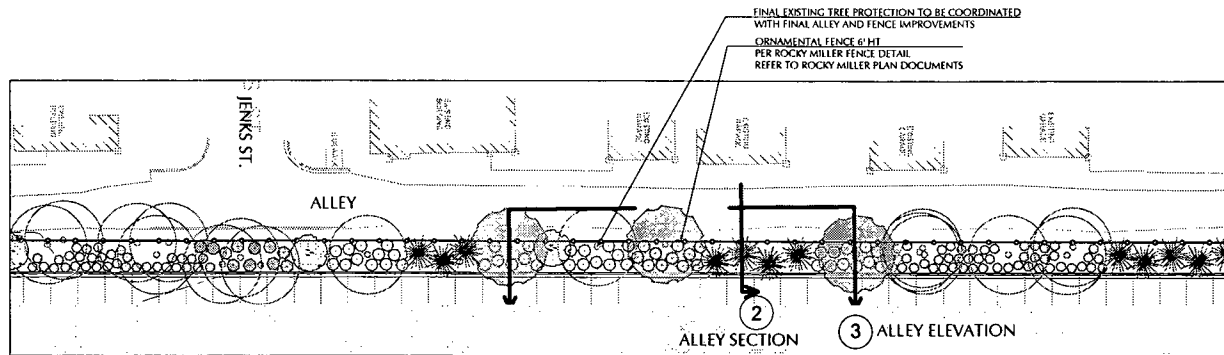
**NOTES:**

REFER TO LANDSCAPE PLAN SHEETS FOR DETAILED LANDSCAPE PLANS AND PLANT LISTS

SECTIONS AND ELEVATIONS DEPICT PLANTINGS AT 8-10 YEAR MATURITY

APPROXIMATE LOCATION OF LANDSCAPE PLANTING AREA BETWEEN PROPOSED PARKING LOT AND ALLEY, 12'-6" WIDTH SHOWN ON THE PLANS. FINAL WIDTH SHALL BE COORDINATED WITH THE OWNER AND CITY.

REFER TO FINAL LIGHTING PLAN ON ENGINEERING DRAWINGS.

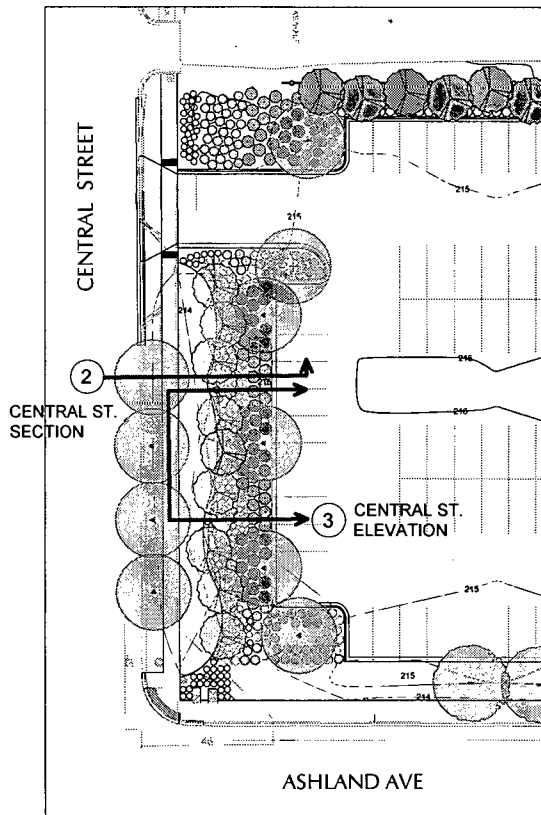


**NOTES:**

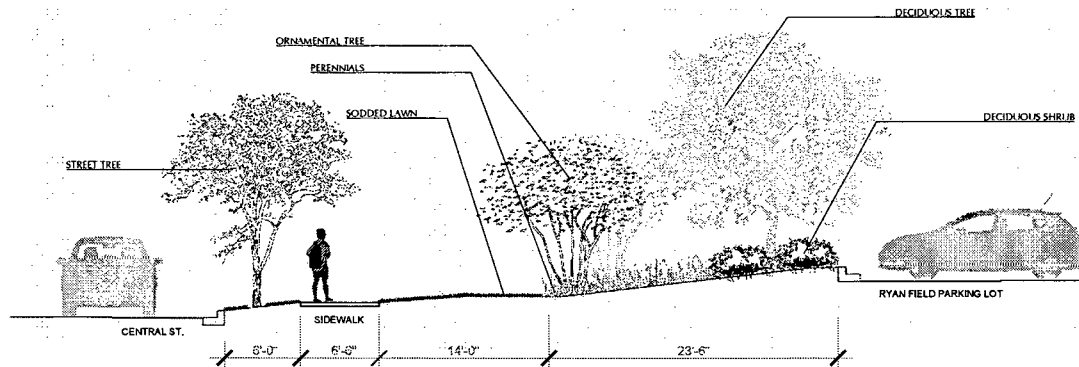
REFER TO LANDSCAPE PLAN SHEETS FOR DETAILED LANDSCAPE PLANS AND PLANT LISTS

SECTIONS AND ELEVATIONS DEPICT PLANTINGS AT 8-10 YEAR MATURITY

REFER TO FINAL LIGHTING PLAN ON ENGINEERING DRAWINGS.



1 CENTRAL ST. ENLARGED PLAN



2 CENTRAL ST. SECTION TYPICAL



3 CENTRAL ST. ELEVATION TYPICAL  
VIEW LOOKING NORTH FROM CENTRAL ST



617 Glen View, Evanston, Illinois 60201  
1641-1642-2015 1-847-491-3741

Client / owner  
Northwestern University  
project name  
**Ryan Field Parking Lot  
Reconstruction**

project address  
1501 Central Street  
Evanston, IL 60208

seal / signature

designer / developer  
Northwestern University  
2020 Ridge Avenue # 200  
Evanston, IL 60208  
P: 847-491-3741

landscape architect of record  
TESKA ASSOCIATES, INC.  
627 Green Street  
Evanston, IL 60201  
p: 847.260.2015 f: 847.260.2010

**RENDERINGS**

**CHECK SET  
NOT FOR CONSTRUCTION**

date	description
02/06/2014	REVISION
05/27/2015	REVISION
04/06/2016	REVISION

Project  
JM NP CML NP  
Issue date  
04/06/2016

Sheet name  
Central St. Enlargement,  
Section, Elevation

Sheet number

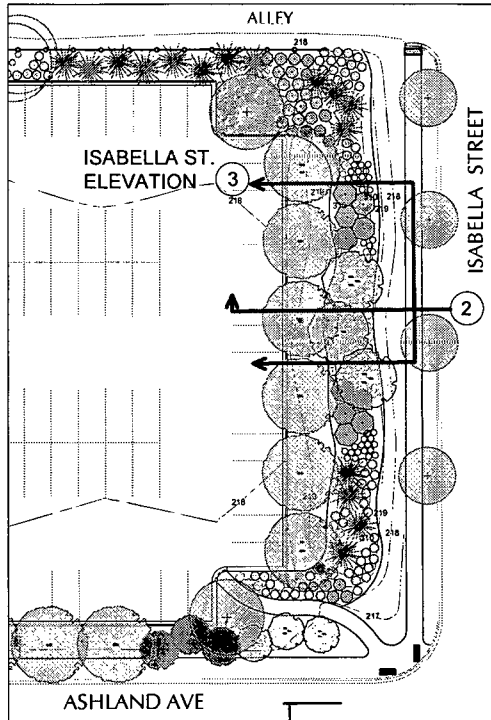
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**NOTES:**

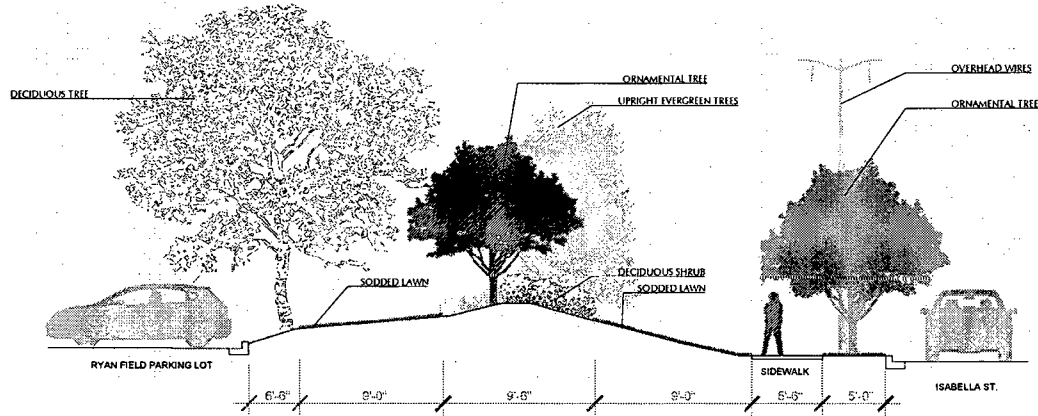
REFER TO LANDSCAPE PLAN SHEETS FOR DETAILED LANDSCAPE PLANS AND PLANT LISTS

SECTIONS AND ELEVATIONS DEPICT PLANTINGS AT 8-10 YEAR MATURITY

REFER TO FINAL LIGHTING PLAN ON ENGINEERING DRAWINGS.

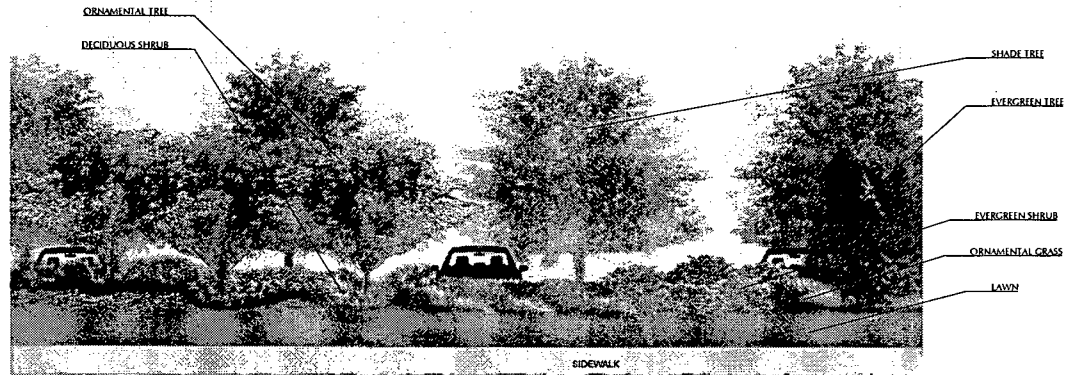


1 ISABELLA ST. ENLARGED PLAN



2 ISABELLA ST. SECTION TYPICAL

ISABELLA ST. SECTION



3 ISABELLA ST. ELEVATION TYPICAL VIEW LOOKING SOUTH FROM ISABELLA ST.



Client / owner  
Northwestern University  
project name  
**Ryan Field Parking Lot Reconstruction**  
project address  
1501 Central Street  
Evanston, IL 60208

Client / developer  
Northwestern University  
3020 Ridge Avenue #100  
Evanston, IL 60208  
P: 847.469.1741

landscape architect of record  
**TESKA ASSOCIATES, INC.**  
627 Crown Street  
Evanston, IL 60201  
p 847.469.2015 T 847.469.2059

**RENDERINGS**

**CHECK SET NOT FOR CONSTRUCTION**

issue / revision	date	description
△	01/21/2016	09/08/2015
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△	01/18/2016	09/08/14
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pre	sk	la	np	cd	np

issue date  
04/09/2016

sheet name  
**OVERALL LANDSCAPE PLAN**

sheet number

L-Isabella St.



Client / owner  
Northwestern University  
project name  
Ryan Field Parking Lot  
Reconstruction  
project address  
1501 Central Street  
Evanston, IL 60208

Owner / developer  
Northwestern University  
2012 Ridge Avenue #100  
Evanston, IL 60208  
P: 847.499.1741

landscape architect of record  
TESKA ASSOCIATES, INC.  
627 Grove Street  
Evanston, IL 60201  
p: 847.869.2015 f: 847.869.2059

**RENDERINGS**

**CHECK SET  
NOT FOR CONSTRUCTION**

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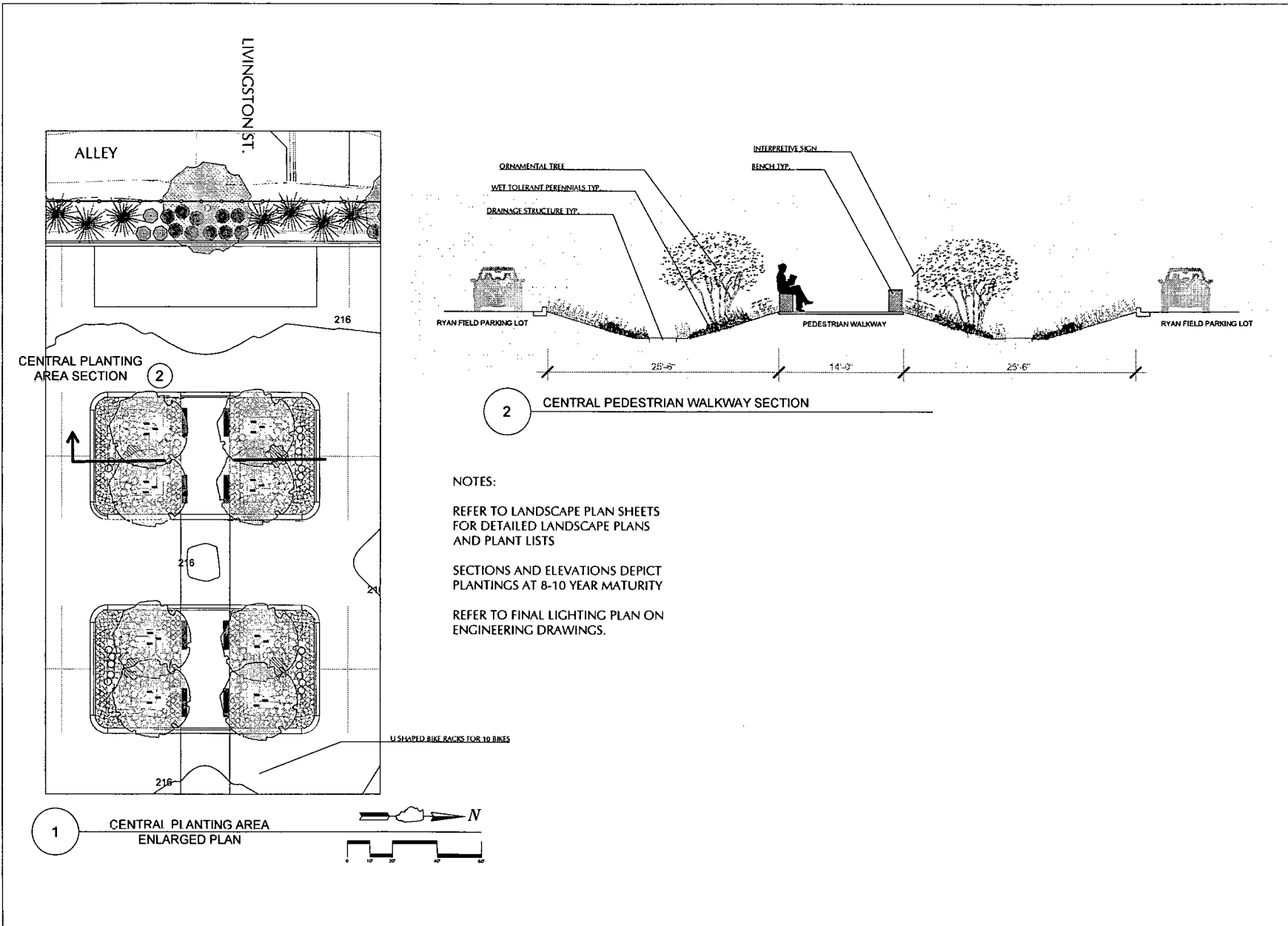
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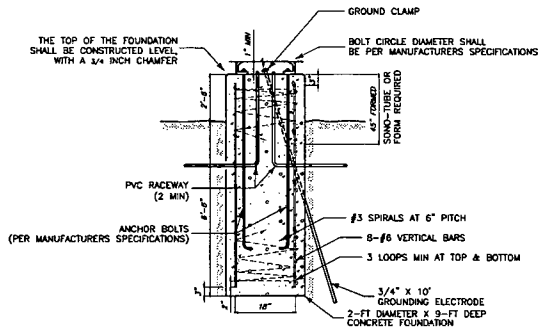
issue date  
04/08/2016

sheet name  
OVERALL  
LANDSCAPE PLAN

sheet number

L-Ped Walk





**4 LIGHT POLE FOUNDATION DETAIL**  
NO SCALE

**FOUNDATION NOTES:**

1. THE BOLT CIRCLE DIAMETER SHALL BE SIZED PER LIGHT POLE MANUFACTURER'S SPECIFICATIONS (4 EA).
2. THE ANCHOR RODS AND RACEWAYS SHALL BE PROPERLY SECURED IN PLACE BEFORE THE CONCRETE IS PLACED.
3. THE FOUNDATION SHALL BE EXPOSED 2.5 FT ABOVE THE FINISHED GRADE. IF THE FOUNDATION HEIGHT DOES NOT MEET THESE SPECIFICATIONS, THE FOUNDATION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
4. THE HOLE FOR THE FOUNDATION SHALL BE MADE BY DRILLING WITH AN AUGER, OF THE SAME DIAMETER AS THE FOUNDATION. IF SOIL CONDITIONS REQUIRE THE USE OF A LINER TO FORM THE HOLE, THE LINER SHALL BE WITHDRAWN AS THE CONCRETE IS DEPOSITED.
5. THE TOP OF THE FOUNDATION SHALL BE CONSTRUCTED LEVEL. A LINER OR FORM SHALL BE USED TO PRODUCE A UNIFORM SMOOTH SIDE TO THE TOP OF THE FOUNDATION A MIN. OF 45 IN. FROM THE TOP AND A MAX. OF 50% OF THE TOTAL DEPTH. FOUNDATION TOP SHALL BE GUARANTEED 1/4" IN.
6. THE CONCRETE SHALL BE CLASS 02 CONCRETE SHALL CURE FOR A MINIMUM OF 3-7 DAYS ACCORDING TO ARTICLE 1020.13 BEFORE LIGHT POLES ARE INSTALLED.
7. THE ANCHOR ROD SHALL BE A HOOK ROD TYPE. COLD BENDING OF THE ANCHOR ROD WILL NOT BE ALLOWED. THE RADIUS OF THE HOOK BEND SHALL NOT BE LESS THAN 4 TIMES THE NOMINAL DIAMETER OF THE ANCHOR ROD.
8. THE ANCHOR RODS SHALL BE ACCORDING TO ASTM F1554 GRADE 725 (GRADE 105). NUTS SHALL BE HEXAGON NUTS ACCORDING TO ASTM A 194 2H OR ASTM A 563 DN, AND WASHERS SHALL BE ACCORDING TO ASTM F 436.
9. ANCHOR RODS, NUTS AND WASHERS SHALL BE COMPLETELY GALVANIZED BY EITHER THE HOT-DIPPED PROCESS CONFORMING WITH AASHTO M 232, THE MECHANICAL PLATING METHOD CONFORMING TO AASHTO M 298, CLASS 50 WITH A MAXIMUM COATING THICKNESS OF 150 UM OR THE ELECTROLYTIC PROCESS ACCORDING TO ASTM F 1136.
10. THE ANCHOR RODS SHALL BE THREADED A MINIMUM OF 6 INCHES WITH A MINIMUM OF 3 INCHES OF THREADED ANCHOR ROD EMBEDDED IN THE FOUNDATION.
11. ANCHOR RODS SHALL PROJECT 2-3/4 IN. ABOVE THE TOP OF THE FOUNDATION.
12. THE CONTRACTOR SHALL USE A #3 SPIRAL AT 6 IN. PITCH OR MAY SUBSTITUTE #3 TIES AT 12 IN. O.C. WITH THE APPROVAL OF THE ENGINEER.
13. THE CABLE TRENCHES AND FOUNDATION SHALL BE BACK FILLED AND COMPACTED AS SPECIFIED BEFORE THE LIGHT POLE IS ERECTED.
14. THE RACEWAYS SHALL PROJECT 1 IN. ABOVE THE TOP OF THE FOUNDATION AND SHALL TERMINATE WITH A GROUNDING BUSHING (AS APPLICABLE).
15. RACEWAYS SHALL BE 2.5" PVC OR RIGID GALVANIZED STEEL OF THE SAME SIZE AS THE CONDUIT SPECIFIED FOR UNDERGROUND SPANS. EXTRA RACEWAYS SHALL EXTEND 12 IN. BEYOND THE FOUNDATION AND BE CAPPED.

Ordering Number Logic  
Bracket 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

Ordering Number	Ordering Number	Ordering Number	Ordering Number	Ordering Number	Ordering Number	Ordering Number	Ordering Number	Ordering Number	Ordering Number
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**ALUMINUM SQUARE STRAIGHT AREA LIGHTING POLES**  
10 TO 30 FEET (3 TO 9 METERS)

**SUGGESTED LUMINAIRE APPLICATIONS**

**SPECIFICATION FEATURES**

- Square straight area luminaire pole
- 2x4 luminaire pole(s) available
- Finish: standard
- Short lengths from 10 to 30 feet
- Pole drilled for decorative mounting luminaire
- Single or multiple luminaire mounting
- Top section chrome
- Shipped with split anchor bolts, handhole opening in top cover, mechanical grounding kit and specially wrapped packing with slip card removal system.

**POLE SELECTION TABLE**

Ordering Number	Ordering Number	Ordering Number	Ordering Number	Ordering Number	Ordering Number	Ordering Number	Ordering Number	Ordering Number	Ordering Number
01	02	03	04	05	06	07	08	09	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40
41	42	43	44	45	46	47	48	49	50
51	52	53	54	55	56	57	58	59	60
61	62	63	64	65	66	67	68	69	70
71	72	73	74	75	76	77	78	79	80
81	82	83	84	85	86	87	88	89	90
91	92	93	94	95	96	97	98	99	100

**ORDERING NUMBER LOGIC** (See Pole Selection Table for actual Ordering Numbers)

**REFERENCES**  
See Page P-2 for Pole Selection Guidelines

GC Lighting Solutions • 1-888-444-4444 • www.gc-lightingsolutions.com

**GHA GEWALT HAMILTON ASSOCIATES, INC.**  
625 Forest Edge Drive • Vernon Hills, IL 60061  
TEL 847.478.9700 • FAX 847.478.9701

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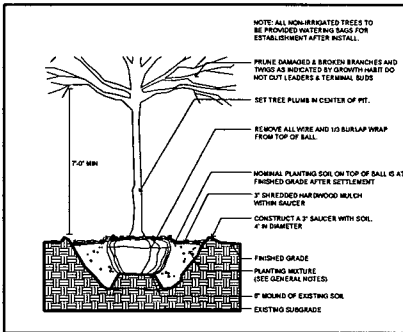
**LIGHTING DETAILS**  
RYAN FIELD WEST PARKING LOT  
NORTHWESTERN UNIVERSITY  
EVANSTON, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

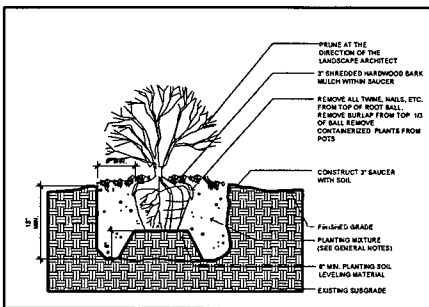
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DRAWN BY: JZ  
DATE: 3-21-16  
GHA PROJECT # 4550.040  
CHECKED BY: SDB  
DATE: 3-21-16  
SCALE: NTS

SHEET NUMBER: **E3**  
OF 3 SHEETS

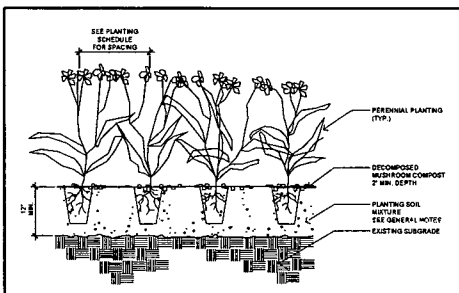




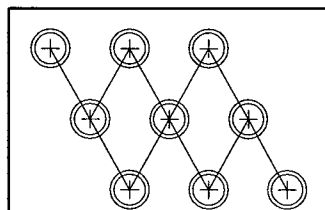
1 SHADE TREE PLANTING DETAIL



2 SHRUB PLANTING DETAIL



3 PERENNIAL PLANTING DETAIL



NOTE:  
PERENNIAL PLANTINGS LAYOUT  
TO BE APPROVED IN FIELD BY  
LANDSCAPE ARCHITECT PRIOR  
TO INSTALLATION.

FINAL PLANTING ELEVATION  
AND PLANTER BED GRADING  
AS DIRECTED BY  
LANDSCAPE ARCHITECT.

4 PERENNIAL LAYOUT DETAIL

GENERAL NOTES:  
1. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL NOTIFY ILL.U.L.E. (800) 899-0123 TO DETERMINE THE LOCATION OF ANY UNDERGROUND UTILITIES, WHICH MAY AFFECT PROPOSED SITE WORK. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES, OBSTACLES AND/OR PROBLEMS.  
2. VERIFICATION OF DIMENSIONS AND GRADES, BOTH EXISTING AND PROPOSED, SHALL BE THE CONTRACTOR'S RESPONSIBILITY PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.  
3. ALL SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM STRUCTURES. SURFACE DRAINAGE SHALL BE DIRECTED TO EXISTING CATCH BASINS DESIGNATED FOR THE COLLECTION OF SURFACE RUN-OFF.  
4. PLANT MATERIAL SIZES SHOWN ON PLANT SCHEDULE ARE MINIMUM ACCEPTABLE SIZES. ALL PLANT MATERIAL SHALL BE OF SPECIMEN QUALITY. NO "PARK GRADE" MATERIAL WILL BE ACCEPTED.  
5. ALL PLANT MATERIAL SHALL BE OBTAINED FROM AN APPROVED NORTHERN ILLINOIS NURSERY WITH HEAVY CLAY SOILS.  
6. ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND APPROVED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC.  
7. IF SPECIFIED SPECIES AND/OR QUALITY OF PLANTS ARE NOT AVAILABLE AT THE TIME OF ORDERING, THE LANDSCAPE ARCHITECT, AT HIS/HER DISCRETION, MAY SUBSTITUTE SIMILAR PLANTS WITH THE SAME WHOLESALE VALUE.  
8. ALL PLANTS TO BE BALLED IN BURLAP AS SPECIFIED IN PLANT SCHEDULE. ALL PLASTIC, ROOT WRAPPING MATERIAL AND METAL WIRE BASKETS SHALL BE REMOVED.  
9. SOIL TO BE USED FOR THE PLANTING MEDIUM FOR THE PROJECT SHALL BE FERTILE, WELL-DRAINED, OF UNIFORM QUALITY, FREE OF STONES OVER 1" IN DIAMETER, STICKS, OILS, CHEMICALS, PLASTER, CONCRETE AND OTHER DELETERIOUS MATERIAL.  
10. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.  
11. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN CONFORMANCE WITH THE ACCEPTED INDUSTRY'S STANDARD "BEST PRACTICE" TECHNIQUES AS IDENTIFIED BY THE ILLINOIS LANDSCAPE CONTRACTORS ASSOCIATION.  
12. THE OWNER AND/OR LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL IN POOR CONDITION/ FORM OR NOT INSTALLED ACCORDING TO "BEST PRACTICE" TECHNIQUES.  
13. THE LANDSCAPE CONTRACTOR SHALL PREPARE PLANTING BEDS BY ADDING SOIL AMENDMENTS TO TOPSOIL MIX IN THE FOLLOWING QUANTITIES. TOPSOIL MIX FOR TREES & SHRUBS SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART PEAT, AND ONE (1) PART SAND. TOPSOIL MIX FOR PERENNIALS & GROUNDCOVER SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART SAND, AND TWO (2) PARTS COMPOST.  
14. ALL TREE & SHRUB PLANTINGS TO RECEIVE 3" OF SHREDDED HARDWOOD MULCH.  
15. CONTRACTOR SHALL WATER PLANTS IMMEDIATELY AFTER PLANTING. FLOOD PLANTS TWICE DURING FIRST TWENTY-FOUR HOURS AFTER PLANTING.  
16. ALL ROAD AND WALK SURFACES SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES.  
17. CONTRACTOR SHALL REPAIR IN KIND ANY AREAS DAMAGED AS A RESULT OF LANDSCAPE OPERATIONS.  
18. CLARINETE SPECIFICATIONS ARE AS FOLLOWS. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A BONDED WRITTEN ONE-YEAR WARRANTY AGREEMENT BEGINNING ON THE FIRST DAY OF THE OWNERS POSSESSION. THIS AGREEMENT SHALL PROVIDE FOR THE REPLACEMENT OF DEAD OR DYING PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A TYPEWRITTEN LIST OF SPECIFIC MAINTENANCE INSTRUCTIONS FOR EACH TYPE OF PLANT INSTALLED WITH THE WRITTEN AGREEMENT AND BOND.


Plant List

QTY.	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
<b>SHADE TREES</b>						
18	LP	Platanus x acerifolia	London Plane Tree	3' cal.	as shown	B&B
9	LP4	Platanus x acerifolia	London Plane Tree	4' cal.	as shown	B&B
22	CC	Carpinus caroliniana	American Hornbeam	3' cal.	as shown	B&B
3	QF	Quercus robur 'Fastigata'	Upright English Oak	3' cal.	as shown	B&B
8	QF4	Quercus robur 'Fastigata'	Upright English Oak	4' cal.	as shown	B&B
18	SWL	Springer pukeensis 'China Snow'	Peking Lilac 'Snow Queen'	3' cal.	as shown	B&B - 7' ht to lowest lateral branch
6	SWL4	Springer pukeensis 'China Snow'	Peking Lilac 'Snow Queen'	4' cal.	as shown	B&B - 7' ht to lowest lateral branch
6	UM	Ulmus 'Mortoni'	Accolade Elm	3' cal.	as shown	B&B
5	UM4	Ulmus 'Mortoni'	Accolade Elm	4' cal.	as shown	B&B
<b>EVERGREEN TREES</b>						
57	JVC	Juniperus virginiana 'Clausa'	Silver Eastern Redcedar	6' ht.	as shown	B&B
8	TYC	Taxus cuspidata 'Capitata'	Yew 'Capitata'	6' ht.	as shown	B&B
<b>UNDERSTORY TREES</b>						
15	APW	Amelanchier canadensis 'Prince William'	Shadblow Serviceberry	8' ht.	as shown	MS/ B&B
17	APW10	Amelanchier canadensis 'Prince William'	Shadblow Serviceberry	10' ht.	as shown	MS/ B&B
3	CP	Cornus alternifolia	Pagoda Dogwood	8' ht.	as shown	MS/ B&B
6	CP10	Cornus alternifolia	Pagoda Dogwood	10' ht.	as shown	MS/ B&B
4	HAW	Crataegus crus-galli var. inermis	Thornless Hawthorn Tree	3' cal.	as shown	Single Stem/B&B
<b>SHRUBS</b>						
191	JVB	Juniperus virginiana 'Blue Mountain'	Blue Mountain Juniper	30" ht.	as shown	CC
388	RCL	Rhus aromatica 'Gro-Low'	Sumac 'Gro-Low'	24" spr.	as shown	CC
10	TYT	Taxus ineola 'Autumn'	Autumn Yew	30" ht.	as shown	CC
216	VBM	Viburnum dentatum 'Chistom'	Blue Muffin Viburnum	30" ht.	as shown	CC
<b>PERENNIALS</b>						
243	ALF	Adiantum falcifolium	Lady Fern	gal	18 in O.C.	CC
1018	CA	Carex elata 'Aurea'	Sedge 'Aurea'	gal	18 in O.C.	CC
214	ELP	Eupatorium maculatum 'Little Joe'	Little Joe Fly Weed	gal	18 in O.C.	CC
214	RUD	Rudbeckia hirta	Black Eyed Susan	gal	18 in O.C.	CC
193	SPO	Sporobolus heterolepis	Prairie Dropseed	gal	18 in O.C.	CC
98	TRA	Tradescantia	Spiderwort	gal	18 in O.C.	CC

NOTE: QUANTITIES SHOWN FOR REFERENCE ONLY. FINAL PLANT QUANTITIES TO BE DETERMINED UPON FINALIZATION OF ALLEYWAY AND FENCE IMPROVEMENTS.

TREE PLANTINGS SPECIFIED FOR THE ALLEYWAY INCLUDE A MINIMUM OF 40% EVERGREEN AND 60% DECIDUOUS PLANTINGS.

SHRUB PLANTINGS SPECIFIED FOR THE ALLEYWAY TO REACH 4'-0" HT AT MATURITY.



457 Cross Street, Evanston, Illinois, 60201  
Tel: 847.869.2015 Fax: 847.869.2019

Client / owner:  
Northwestern University

Project Name:  
Ryan Field Parking Lot Reconstruction

Project Address:  
1501 Central St  
Evanston, IL 60208

Scale / signature:

owner / designer:  
Northwestern University  
3220 Ridge Ave #200  
Evanston, IL 60206  
Ph: 847-465-1341

landscape architect of record:  
TESKA ASSOCIATES, INC.  
612 Green Street  
Evanston, IL 60201  
p: 847.869.2015 f: 847.869.2019

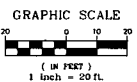
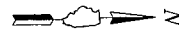
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Issue / revision	date	description
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△	02/21/22	50% SDC
△	02/21/22	50% SDC
△	02/09/22	50% SDC
△		
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Issue date:  
04/08/2016

sheet number:  
PLANTING DETAILS

sheet number:  
L-07



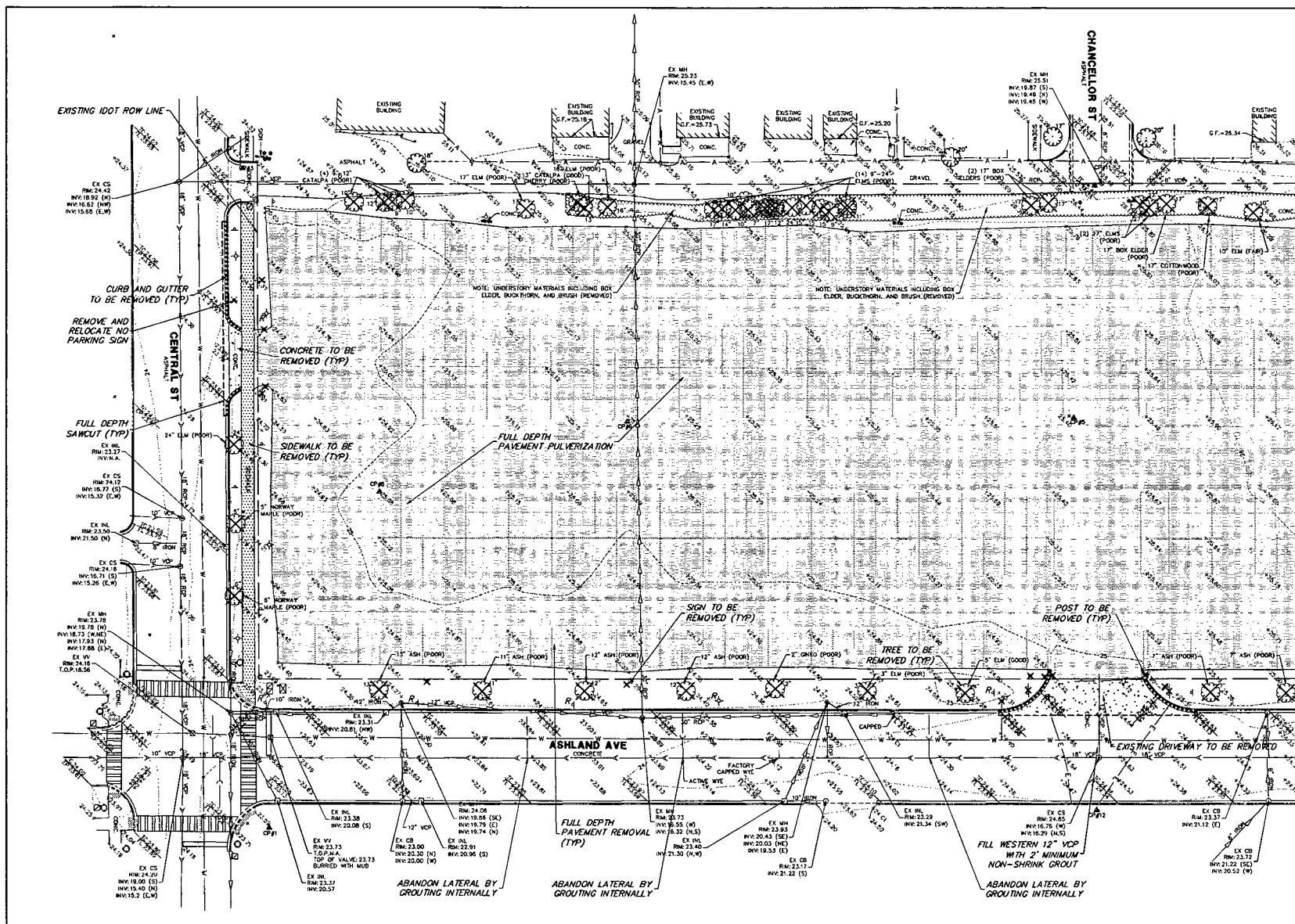
**TREE REMOVAL LIST**

SPECIES	REMOVED	REMAIN
ASH	31	
BOX ELDER	2	
CATALPA	5	
CHERRY	5	
COTTONWOOD	2	1
ELM	32	1
GRINKO	3	
LONDON PLANETREE	1	1
MAPLES	0	4
MULBERRY	1	4
MS SILVER MAPLE	1	2
NORWAY MAPLE	2	
SILVER MAPLE	16	4
STUMP	1	
SUGAR MAPLES	0	2
WILLOW	1	

MATCH LINE 1 (SEE SHEET 3)

**LEGEND**

- PAVEMENT PULVERIZATION/REMOVAL
- PCC PAVEMENT REMOVAL
- SIDEWALK REMOVAL
- CURB REMOVAL
- FULL DEPTH SAWCUT
- CONSTRUCTION FENCE
- TREE PROTECTION FENCE
- UTILITY REMOVAL
- UTILITY ABANDON
- STRUCTURE REMOVAL
- TREE/SHRUB REMOVAL
- SIGN REMOVAL
- SIGN TO BE RELOCATED
- LIGHT POLE TO BE RELOCATED
- POWER POLE TO BE RELOCATED
- FIRE HYDRANT TO BE REMOVED



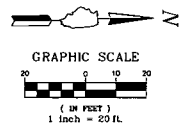
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**EXISTING CONDITIONS/DEMOLITION PLAN**  
**RYAN FIELD WEST PARKING LOT**  
**NORTHWESTERN UNIVERSITY**  
**EVANSTON, ILLINOIS**

FILE: 4550.040_PRA.dwg	SHEET NUMBER:		
DRAWN BY: PJS	GHA PROJECT #		
DATE: 3/21/16	4550.040		
CHECKED BY: BJW	SCALE		
DATE: 3/21/16	1"=20'		
NO. BY: DATE	REVISION	NO. BY: DATE	REVISION

**C2**  
OF C9 SHEETS

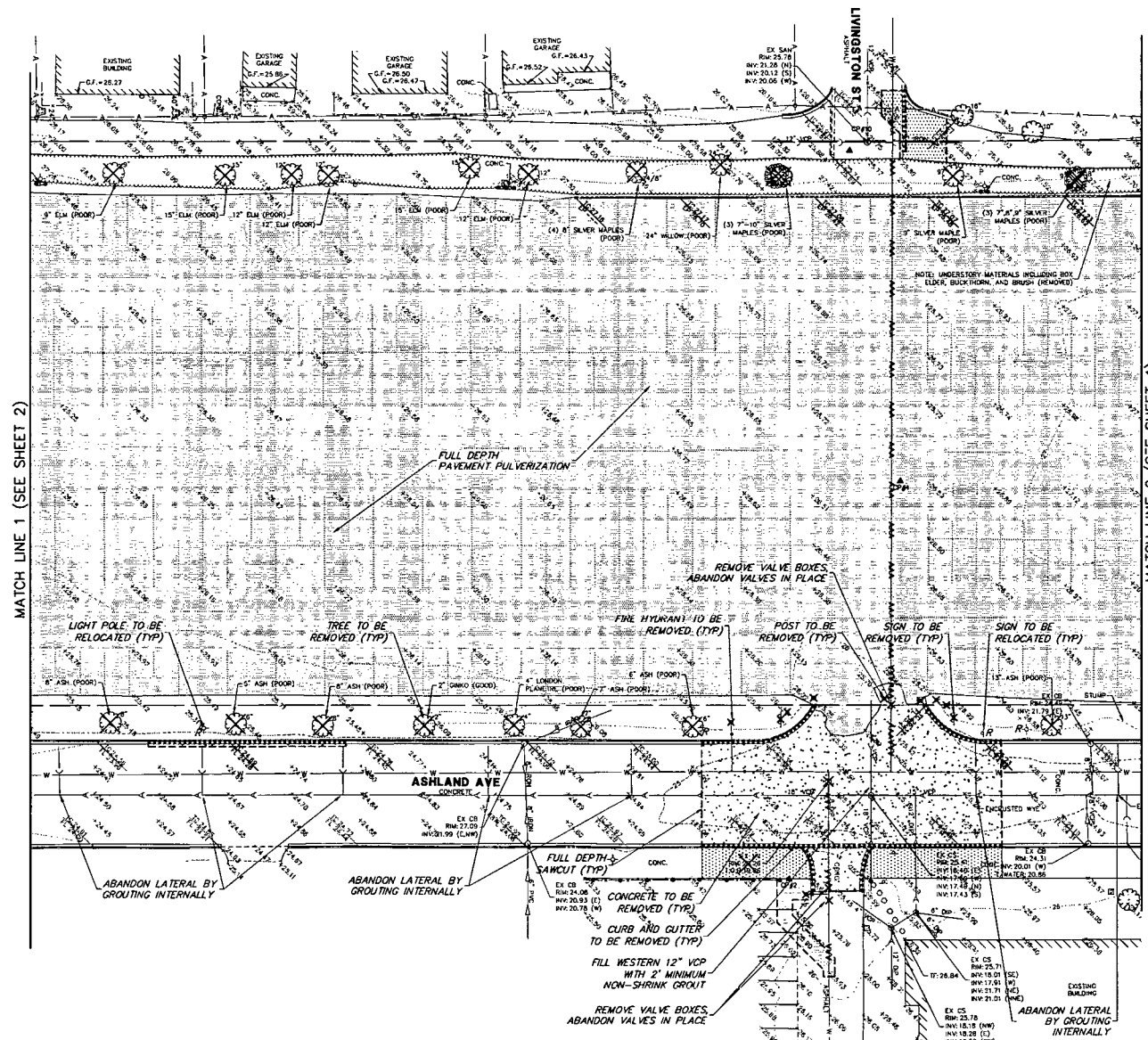


**TREE REMOVAL LIST**

SPECIES	REMOVED	REMAIN
ASH	31	
BOX ELDER	3	
CATALPA	5	
CHERRY	2	
COTTONWOOD	32	1
ELM	32	1
GNKO	3	
LONDON PLANETREE	1	1
MAPLES	0	4
MULBERRY	1	
MS SILVER MAPLE	1	2
HORWAY MAPLE	2	
SILVER MAPLE	16	4
STUMP	1	
SUGAR MAPLES	0	2
WILLOW	1	

**LEGEND**

- PAVEMENT PULVERIZATION/REMOVAL
- PCC PAVEMENT REMOVAL
- SIDEWALK REMOVAL
- CURB REMOVAL
- FULL DEPTH SAWCUT
- CONSTRUCTION FENCE
- TREE PROTECTION FENCE
- UTILITY REMOVAL
- UTILITY ABANDON
- STRUCTURE REMOVAL
- TREE/SHRUB REMOVAL
- SIGN REMOVAL
- SIGN TO BE RELOCATED
- LIGHT POLE TO BE RELOCATED
- POWER POLE TO BE RELOCATED
- FIRE HYDRANT TO BE REMOVED



MATCH LINE 1 (SEE SHEET 2)

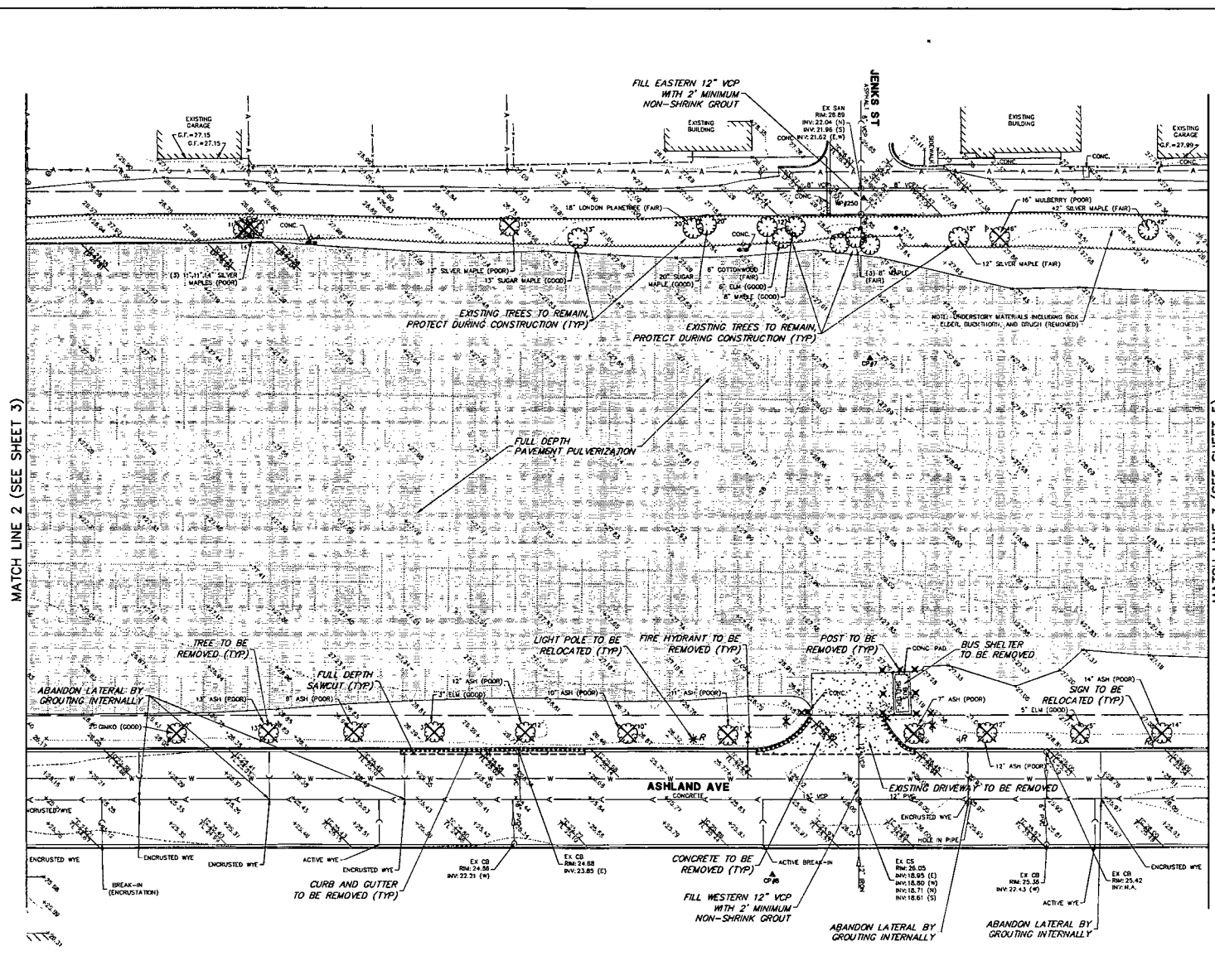
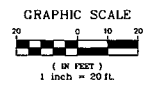
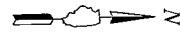
MATCH LINE 2 (SEE SHEET 4)

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 TEL 847.478.9700 ■ FAX 847.478.9701

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**EXISTING CONDITIONS/DEMOLITION PLAN**  
**RYAN FIELD WEST PARKING LOT**  
**NORTHWESTERN UNIVERSITY**  
**EVANSTON, ILLINOIS**

FILE: 4550.040 PR4.dwg	SHEET NUMBER
DRAWN BY: PJS	<b>C3</b>
DATE: 3/21/16	GHA PROJECT # 4550.040
CHECKED BY: BJW	SCALE: 1"=20'
DATE: 3/21/16	OF C9 SHEETS



**TREE REMOVAL LIST**

SPECIES	REMOVED	REMAIN
ASH	31	
BOX ELDER	3	
CATALPA	5	
CHERRY	5	
COTTONWOOD	2	1
ELM	32	1
GINKO	3	
LONDON PLANE TREE	0	1
MARLES	0	1
MULBERRY	1	2
MS SILVER MAPLE	1	2
NORWAY MAPLE	2	4
SILVER MAPLE	16	4
SLUMP	1	
SUGAR MAPLES	0	2
WILLOW	1	

**LEGEND**

- PAVEMENT
- PULVERIZATION/REMOVAL
- PCC PAVEMENT REMOVAL
- SIDEWALK REMOVAL
- CURB REMOVAL
- FULL DEPTH SAWCUT
- CONSTRUCTION FENCE
- TREE PROTECTION FENCE
- UTILITY REMOVAL
- STRUCTURE ABANDON
- STRUCTURE REMOVAL
- TREE/SHRUB REMOVAL
- SIGN REMOVAL
- SIGN TO BE RELOCATED
- LIGHT POLE TO BE RELOCATED
- POWER POLE TO BE RELOCATED
- FIRE HYDRANT TO BE REMOVED

MATCH LINE 2 (SEE SHEET 3)

MATCH LINE 3 (SEE SHEET 5)

**GHA GEWALT HAMILTON ASSOCIATES, INC.**  
 625 Forest Edge Drive ■ Vernon Hills, IL 60061  
 TEL 847.478.9700 ■ FAX 847.478.9701

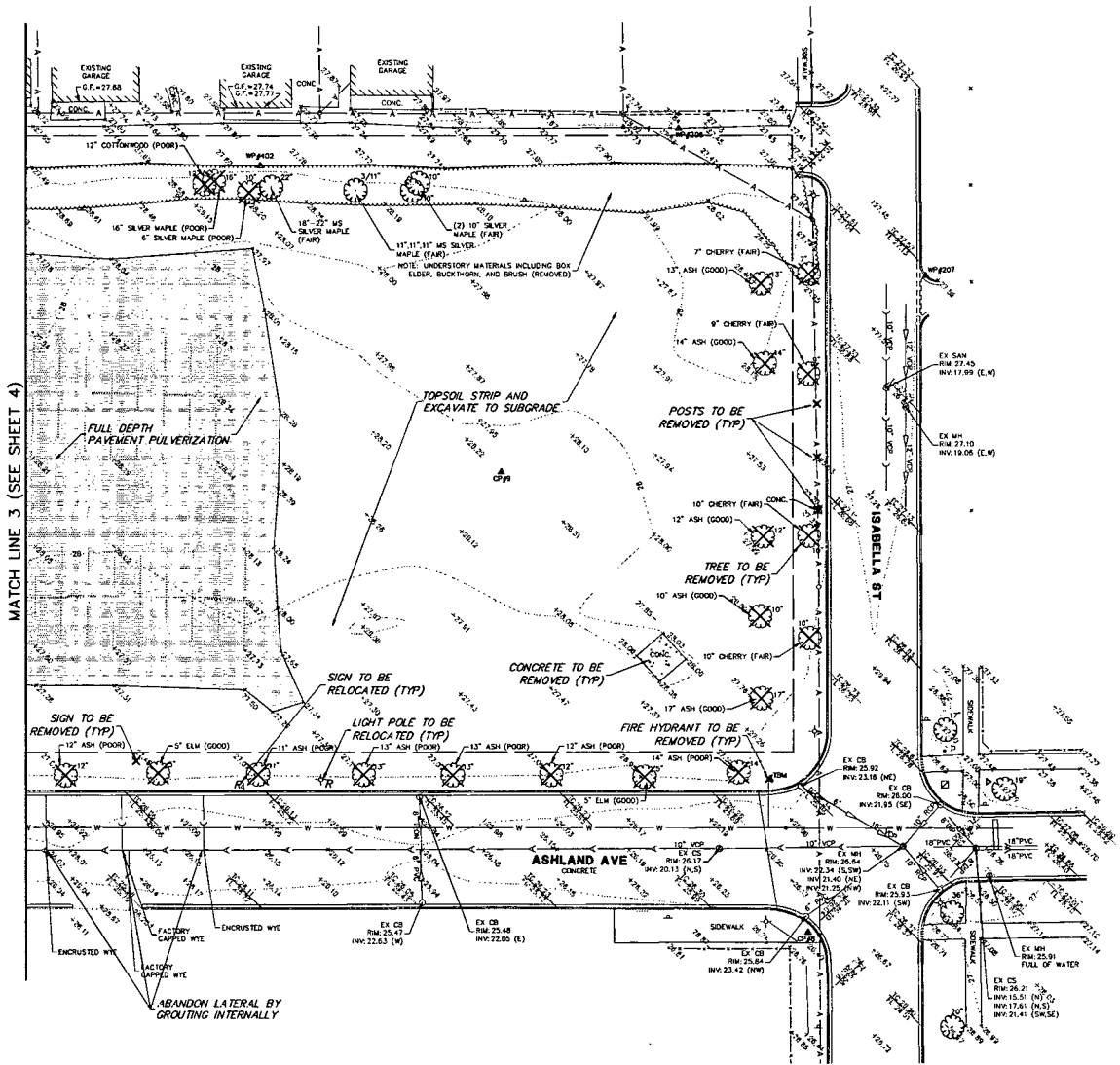
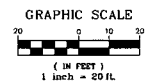
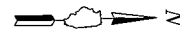
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**EXISTING CONDITIONS/DEMOLITION PLAN**

**RYAN FIELD WEST PARKING LOT  
 NORTHWESTERN UNIVERSITY  
 EVANSTON, ILLINOIS**

FILE: 4550.040 PRA-040	SHEET NUMBER:		
DRAWN BY: PJS	GHA PROJECT #		
DATE: 3/21/16	4550.040		
CHECKED BY: SJM	SCALE		
DATE: 3/21/16	1"=20'		
NO. BY DATE	REVISION	NO. BY DATE	REVISION

**C4**  
OF C9 SHEETS



**TREE REMOVAL LIST**

SPECIES	REMOVED	REMAIN
ASH	31	
BOX ELDER	3	
CAJALFA	5	
CHERRY	5	
COTTONWOOD	2	1
ELM	32	1
GINKGO	3	
LONDON PLANETREE	1	1
MAPLES	0	4
MALBERRY	1	
MS SILVER MAPLE	1	2
NORWAY MAPLE	2	
SILVER MAPLE	16	
STUMP	3	
SUGAR MAPLES	0	2
WILLOW	1	

**LEGEND**

	PAVEMENT
	FULL DEPTH SAWCUT
	PCC PAVEMENT REMOVAL
	SIDEWALK REMOVAL
	CURB REMOVAL
	FULL DEPTH PULVERIZATION
	CONSTRUCTION FENCE
	TREE PROTECTION FENCE
	UTILITY REMOVAL
	UTILITY ABANDON
	STRUCTURE REMOVAL
	TREE/SHRUB REMOVAL
	SIGN REMOVAL
	SIGN TO BE RELOCATED
	LIGHT POLE TO BE RELOCATED
	POWER POLE TO BE RELOCATED
	FIRE HYDRANT TO BE REMOVED

MATCH LINE 3 (SEE SHEET 4)

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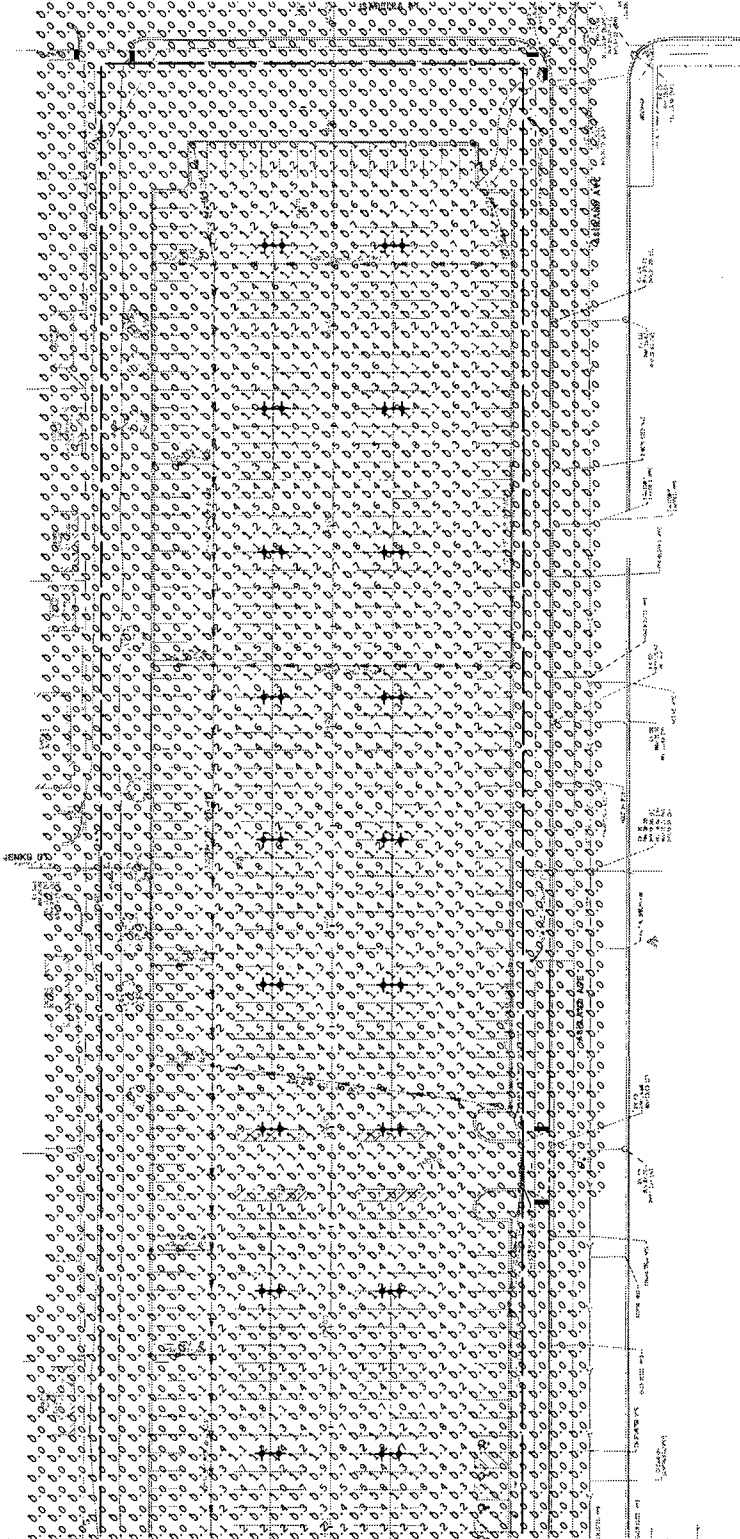
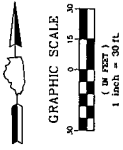
**EXISTING CONDITIONS/DEMOLITION PLAN**

**RYAN FIELD WEST PARKING LOT  
 NORTHWESTERN UNIVERSITY  
 EVANSTON, ILLINOIS**

FILE #550.040 P14-0-0	SHEET NUMBER
DRAWN BY: PJS	<b>C5</b>
DATE: 3/21/16	OF C9 SHEETS
CHECKED BY: BJM	
DATE: 3/21/16	
SCALE: 1"=20'	



N



MATCH LINE "A" (SEE SHEET E1)

**PHOTOMETRIC NOTES:**  
 THE PROPOSED PARKING LOT LIGHTS SHALL BE INSTALLED WITH A GE LIGHTGRID NODE TO REDUCE THE LUMEN OUTPUT OF THE FIXTURE TO 50%.

PROVIDING CONSULTING AND ENGINEERING SERVICES HAS REVIEWED THE PROPOSED PHOTOMETRIC CALCULATIONS AND HAS FOUND THEM TO BE REASONABLY ACCURATE. HOWEVER, THE CALCULATIONS ARE BASED ON THE ASSUMPTIONS MADE IN THE PROPOSAL. THE ACTUAL ILLUMINANCE VALUES WILL VARY DEPENDING ON THE ACTUAL LUMEN OUTPUT OF THE FIXTURES AND THE AVERAGE AT GRADE HORIZONTAL ILLUMINANCE (FC).

PROPOSED LIGHTING SCHEDULE	
SYMBOL	MANUFACTURER AND CATALOG No.
x	PEDESTRIAN LIGHT POLE: MANHATTAN BRONZE ALUMINUM SQUARE STRAIGHT AREA LIGHT POLE (ASSA) LUMINAIRE - G.E. DOGUE LED AREA LIGHT (EASO) TYPE V DISTRIBUTION (EAS-C-0-N-40-2-A-DIBZ-R)
++	PARKING LOT DUAL ARM LIGHT POLE: MANHATTAN BRONZE ALUMINUM SQUARE STRAIGHT AREA LIGHT POLE (ASSA) LUMINAIRE - G.E. DOGUE LED AREA LIGHT (EASO) TYPE N DISTRIBUTION (EAS-C-0-T-40-2-A-DIBZ-R)

**PROPOSED PHOTOMETRIC PLAN - SITE LIGHTING ONLY (50%)**

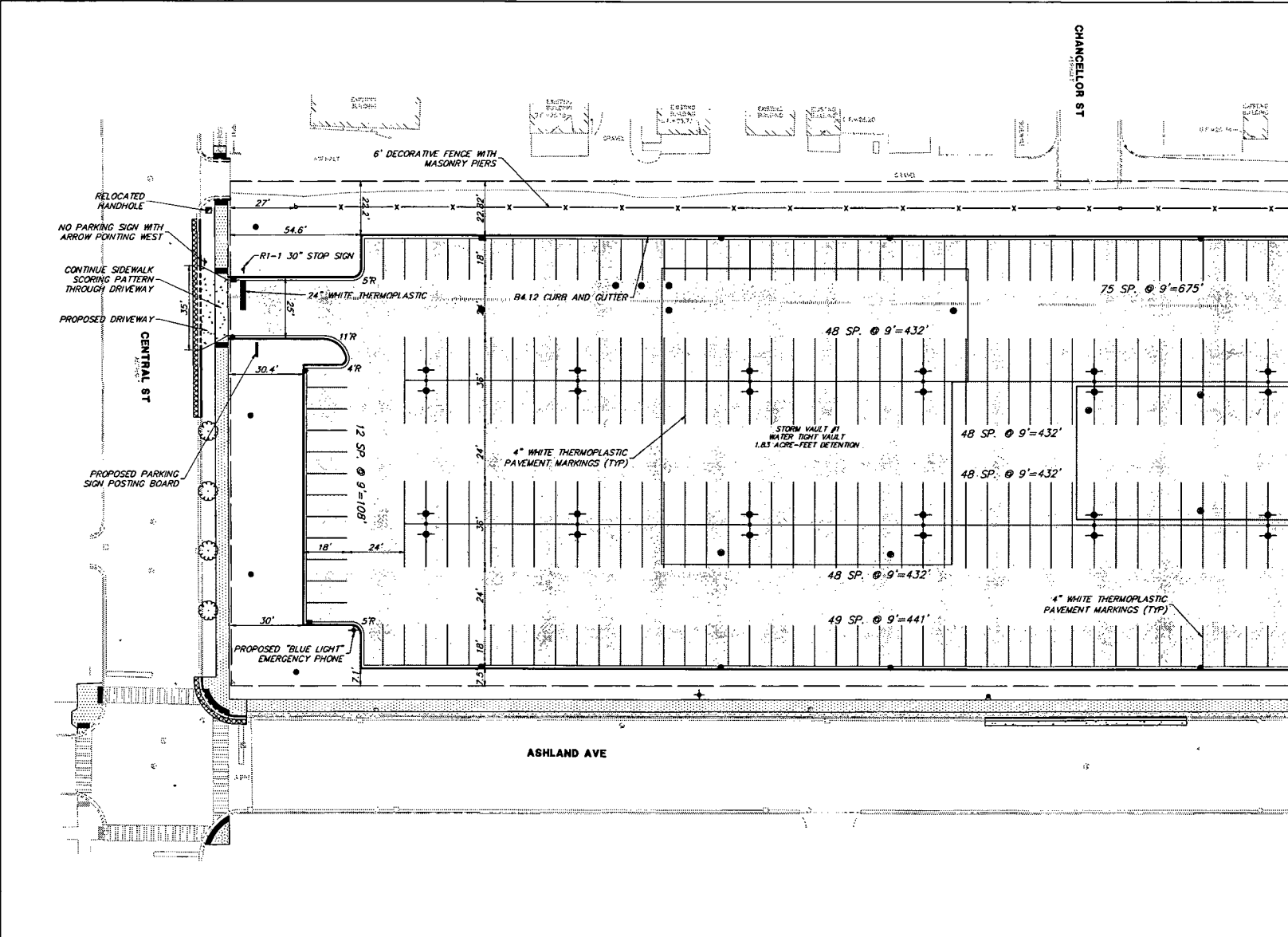
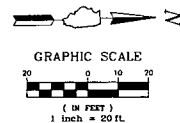
**RYAN FIELD WEST PARKING LOT**  
 NORTHWESTERN UNIVERSITY  
 EVANSTON, ILLINOIS

**GEWALT HAMILTON ASSOCIATES, INC.**  
 625 Forest Edge Drive • Vernon Hills, IL 60061  
 Tel: 847.478.9700 • Fax: 847.478.9701

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FILE	ISSUES	DATE	BY	DATE	REVISION

<table border="1" style="width: 100%;"> <tr> <td>DRAWN BY: JZ</td> <td>DATE: 3-21-18</td> </tr> <tr> <td>CHECKED BY: SBR</td> <td>DATE: 3-21-18</td> </tr> </table>	DRAWN BY: JZ	DATE: 3-21-18	CHECKED BY: SBR	DATE: 3-21-18	<table border="1" style="width: 100%;"> <tr> <td>PROJECT #</td> <td>SCALE</td> </tr> <tr> <td> </td> <td>1" = 30'</td> </tr> </table>	PROJECT #	SCALE		1" = 30'
DRAWN BY: JZ	DATE: 3-21-18								
CHECKED BY: SBR	DATE: 3-21-18								
PROJECT #	SCALE								
	1" = 30'								
<b>SHEET NUMBER</b>									
<b>E2</b>									
of 3 SHEETS									



MATCH LINE 1 (SEE SHEET 7)

**ZONING**  
 T-1 TRANSITIONAL CAMPUS  
 O-1 OFFICE

**DRIVEWAYS**  
 EXISTING:  
 ASHLAND AVENUE - 3  
 CENTRAL AVENUE - 1  
 PROPOSED:  
 ASHLAND AVENUE - 2  
 CENTRAL AVENUE - 1

**PARKING COUNT**  
 EXISTING:  
 884 STALLS  
 PROPOSED:  
 881 STANDARD (9'X18')  
 18 ACCESSIBLE (16'X18')  
 899 TOTAL

- LEGEND**
- PROPOSED HMA PAVEMENT
  - PROPOSED PCC PAVEMENT
  - PROPOSED SIDEWALK
  - BRICK WITH CONC. UNDERLAYMENT
  - PAVEMENT PATCH
  - PROPOSED B4.12 CURB & GUTTER
  - PROPOSED DEPRESSED CURB & GUTTER
  - PROPOSED PITCH OUT CURB & GUTTER

**GHA GEWALT HAMILTON ASSOCIATES, INC.**  
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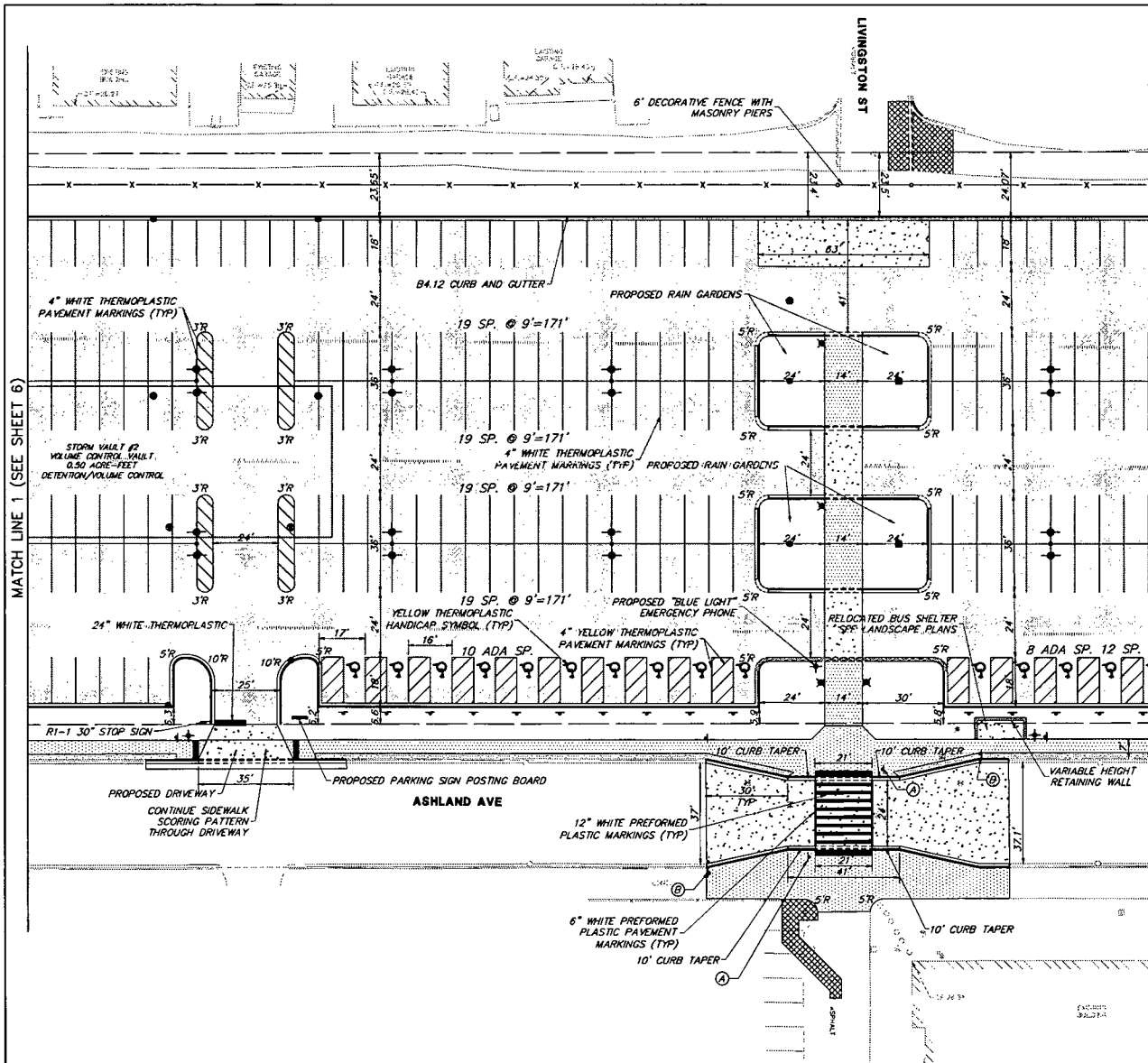
**GEOMETRIC PLAN**  
 RYAN FIELD WEST PARKING LOT  
 NORTHWESTERN UNIVERSITY  
 EVANSTON, ILLINOIS

NO.	DATE	REVISION	NO.	DATE	REVISION

FILE: 4550.040 Pk4 Zoning.dwg  
 DRAWN BY: PJS GHA PROJECT # 4550.040  
 DATE: 4/8/16  
 CHECKED BY: BJW SCALE 1"=20'  
 DATE: 4/8/16

SHEET NUMBER:  
**C6**  
 OF C9 SHEETS

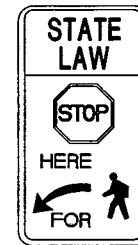




W11-7 30"x30"  
YELLOW BACKGROUND

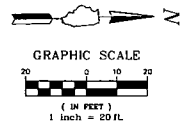


W16-7P 24"x12"  
YELLOW BACKGROUND



36"x12"  
YELLOW BACKGROUND

R1-5B 36"x36"  
WHITE BACKGROUND



**ZONING**  
T-1 TRANSITIONAL CAMPUS  
O-1 OFFICE

**DRIVEWAYS**  
EXISTING:  
ASHLAND AVENUE - 3  
CENTRAL AVENUE - 1  
PROPOSED:  
ASHLAND AVENUE - 2  
CENTRAL AVENUE - 1

**PARKING COUNT**  
EXISTING:  
884 STALLS  
PROPOSED:  
881 STANDARD (9'x18')  
18 ACCESSIBLE (16'x18')  
899 TOTAL

**LEGEND**

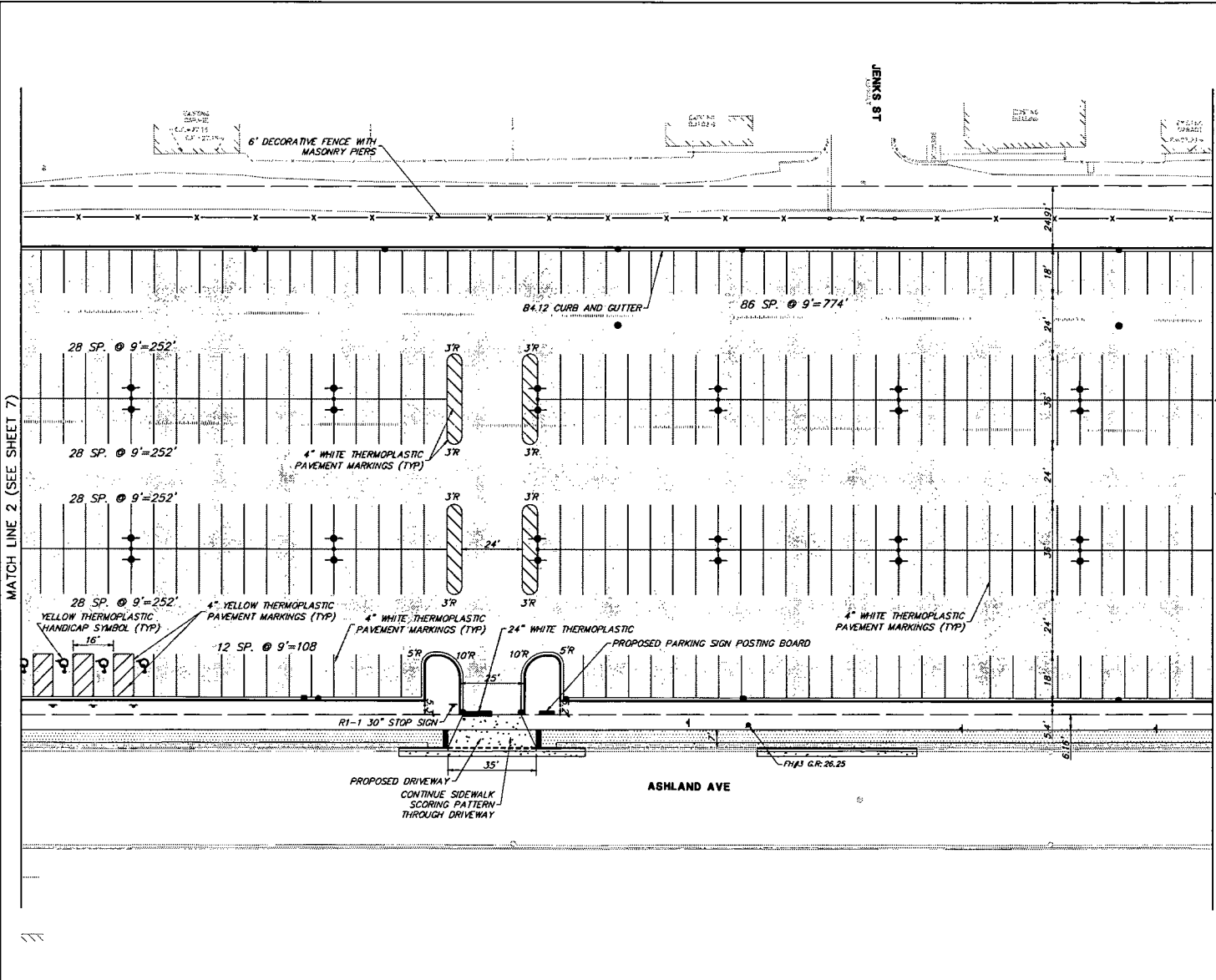
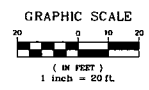
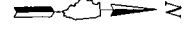
- PROPOSED HMA PAVEMENT
- PROPOSED PCC PAVEMENT
- PROPOSED SIDEWALK
- BRICK WITH CONC. UNDERLAYMENT
- PAVEMENT PATCH
- PROPOSED B4.12 CURB & GUTTER
- PROPOSED DEPRESSED CURB & GUTTER
- PROPOSED PITCH OUT CURB & GUTTER

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**GEOMETRIC PLAN**  
RYAN FIELD WEST PARKING LOT  
NORTHWESTERN UNIVERSITY  
EVANSTON, ILLINOIS

FILE: 4550.DWG P194 Zoning.dwg	SHEET NUMBER: <b>C7</b>
DRAWN BY: PJS	GHA PROJECT # 4550.DWG
DATE: 4/8/16	
CHECKED BY: BJW	SCALE: 1"=20'
DATE: 4/8/16	
NO. BY DATE	REVISION
NO. BY DATE	REVISION



**ZONING**  
T-1 TRANSITIONAL CAMPUS  
O-1 OFFICE

**DRIVEWAYS**  
EXISTING:  
ASHLAND AVENUE - 3  
CENTRAL AVENUE - 1  
PROPOSED:  
ASHLAND AVENUE - 2  
CENTRAL AVENUE - 1

**PARKING COUNT**  
EXISTING:  
884 STALLS  
PROPOSED:  
881 STANDARD (9'x18')  
18 ACCESSIBLE (16'x18')  
899 TOTAL

**LEGEND**

- PROPOSED HMA PAVEMENT
- PROPOSED PCC PAVEMENT
- PROPOSED SIDEWALK
- BRICK WITH CONC. UNDERLAYMENT
- PAVEMENT PATCH
- PROPOSED B4.12 CURB & GUTTER
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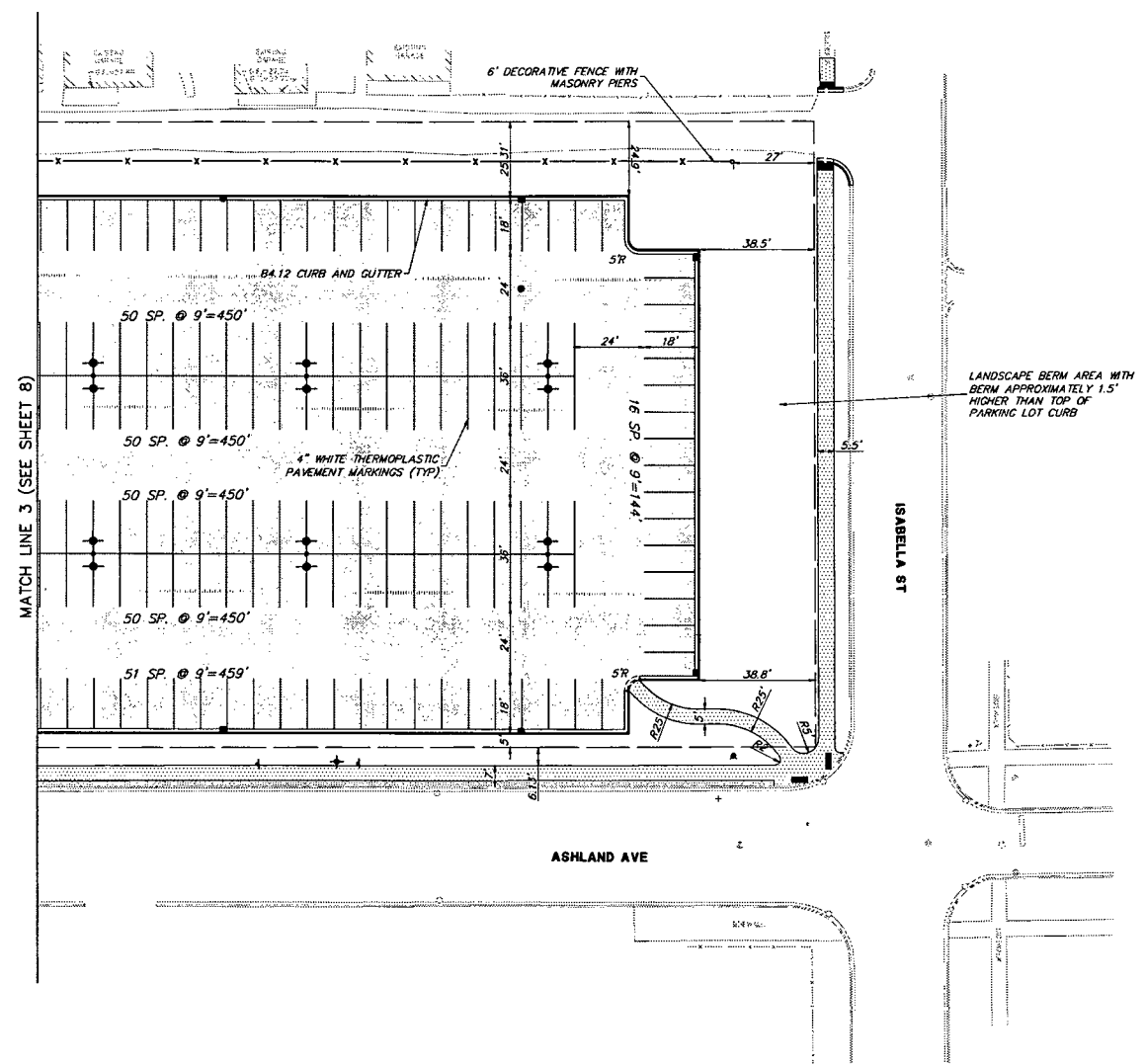
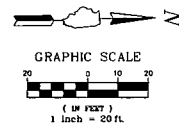
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**GEOMETRIC PLAN**  
RYAN FIELD WEST PARKING LOT  
NORTHWESTERN UNIVERSITY  
EVANSTON, ILLINOIS

NO.	DATE	REVISION	NO.	DATE	REVISION

FILE: 4550.040 PRK Zoning.dwg	SHEET NUMBER:
DRAWN BY: PJS	GHA PROJECT #
DATE: 4/8/16	4550.040
CHECKED BY: BJM	SCALE
DATE: 4/8/16	1"=20'

**C8**  
OF C9 SHEETS



**ZONING**  
 T-1 TRANSITIONAL CAMPUS  
 O-1 OFFICE

**DRIVEWAYS**  
 EXISTING:  
 ASHLAND AVENUE - 3  
 CENTRAL AVENUE - 1  
 PROPOSED:  
 ASHLAND AVENUE - 2  
 CENTRAL AVENUE - 1

**PARKING COUNT**  
 EXISTING:  
 884 STALLS  
 PROPOSED:  
 881 STANDARD (9'X18')  
 18 ACCESSIBLE (16'X18')  
 899 TOTAL

**LEGEND**

PROPOSED HMA PAVEMENT	
PROPOSED PCC PAVEMENT	
PROPOSED SIDEWALK	
BRICK WITH CONC. UNDERLAYMENT	
PAVEMENT PATCH	
PROPOSED B4.12 CURB & GUTTER	
PROPOSED DEPRESSED CURB & GUTTER	
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 RYAN FIELD WEST PARKING LOT  
 NORTHWESTERN UNIVERSITY  
 EVANSTON, ILLINOIS

NO.	DATE	REVISION	NO.	DATE	REVISION

FILE: 4550.040 PR4 Zoning.dwg	SHEET NUMBER:
DRAWN BY: PJS	GHA PROJECT #
DATE: 4/8/16	4550.040
CHECKED BY: BJW	SCALE
DATE: 4/8/16	1" = 20'

**C9**  
 OF C9 SHEETS