

7/14/2014

**92-O-14**

**AN ORDINANCE**

**Extending the Time for the Applicant to Obtain a Building Permit to Construct Building 1 and Finish Associated Site Work and to Complete Construction of Units in Buildings 2 and 3 in the Church Street Village Planned Development Previously Authorized by Ordinance 38-O-06**

WHEREAS, the City of Evanston is a home-rule municipality pursuant to Article VII of the Illinois Constitution of 1970; and

WHEREAS, as a home rule unit of government, the City has the authority to adopt legislation and to promulgate rules and regulations that protect the public health, safety, and welfare of its residents; and

WHEREAS, it is a well-established proposition under all applicable case law that the power to regulate land use through zoning regulations is a legitimate means of promoting the public health, safety, and welfare; and

WHEREAS, Division 13 of the Illinois Municipal Code (65 ILCS 5/11-13-1, *et seq.*) grants each municipality the power to establish zoning regulations; and

WHEREAS, pursuant to its home rule authority and the Illinois Municipal Code, the City has adopted a set of zoning regulations, set forth in Title 6 of the Evanston City Code of 2012, as amended, ("the Zoning Ordinance"); and

WHEREAS, on April 11, 2006, the City Council enacted Ordinance 38-O-06 by a supermajority vote (8-0), as required by Section 6-3-6-6 of the Zoning Ordinance, attached hereto as Exhibit 1 and incorporated herein by reference, which, pursuant to the provisions of the Zoning Ordinance, amended the Zoning Map to Rezone 1613 Church

Street from an I2 General Industrial District to an R4 General Residential District, and granted a Special Use Permit for a Planned Development (the "Planned Development") at 1613 Church Street (the "Subject Property"), which is legally described in Exhibit 1; and

**WHEREAS**, Ordinance 38-O-06 approved the construction of forty (40) single-family attached dwelling units within three (3) buildings and eighty-two (82) parking spaces at the Subject Property (the "Project"), which is detailed at length in Exhibit 1; and

**WHEREAS**, Section 7 of Ordinance 38-O-06 provides that the development and construction of the special use for the Planned Development must be constructed in substantial conformance and compliance with the terms of the Ordinance and all applicable provisions of the City Code; and

**WHEREAS**, the Project is partially constructed to date, the breakdown is as follows: 19 units of the total 40 units are complete in Buildings 2 and 3, thirteen (13) units in Building 2 and 3 are partially constructed and significant work is needed to finish the units, and Building 1 (8 units total) construction and associated landscaping and site work has not yet commenced; and

**WHEREAS**, by letter to the City dated June 26, 2014, Monty Titling Trust 1, new owner of the Subject Property (the "Applicant") requested an amendment to the Planned Development (the "Amendment"); and

**WHEREAS**, Section 6-3-6-4(d) of the City Code provides that no planned development as a form of special use shall be valid for a period longer than one (1) year unless a longer time is requested and granted by the City Council; and

**WHEREAS**, The site development permit for the subject Planned

Development was issued on April 3, 2007, making the time for completion April 2, 2008 and Ordinance 38-O-06 did not provide for an expanded time schedule to lengthen the time for completion of the Planned Development; and

**WHEREAS**, in order to complete construction of the existing 13 units and to commence and complete construction of Building 1 units and associated site work per the plans attached as Exhibit B and incorporated herein, the Applicant requests an amendment to the Planned Development; and

**WHEREAS**, on July 28, 2014, and August 11, 2014 the Planning and Development Committee ("P&D Committee") held a meeting, in compliance with the provisions of the Illinois Open Meetings Act (5 ILCS 120/1 *et seq*), during which it retained jurisdiction over the Planned Development Amendment request; and

**WHEREAS**, during said meetings, the P&D Committee received input from the public, and carefully deliberated on the Extension request and the Applicant was given notice and the opportunity to be heard at the P&D and City Council meetings; and

**WHEREAS**, at its meeting of August 11, 2014, held in compliance with the provisions of the Illinois Open Meetings Act, the City Council considered the P&D Committee's deliberations and recommendations, heard public comment, made findings and considered this Ordinance 92-O-14,

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EVANSTON, COOK COUNTY, ILLINOIS, THAT:**

**SECTION 1:** The foregoing recitals are hereby found as fact and incorporated herein by reference.

**SECTION 2:** Pursuant to the terms and conditions of this ordinance, the City Council hereby grants an amendment to the Special Use Permit previously authorized by Ordinance 38-O-06 to allow for the construction and operation of the Planned Development described herein.

**SECTION 3:** Pursuant to Subsection 6-3-5-12 of the Zoning Ordinance, the City Council imposes the following conditions on the Special Use Permit granted for the Planned Development, may be amended by future ordinance(s), and violation of any of which shall constitute grounds for penalties or revocation of said Special Use Permit pursuant to Subsections 6-3-10-5 and 6-3-10-6 of the Zoning Ordinance:

- (a) **Compliance with Applicable Requirements:** The Applicant shall develop and operate the Planned Development authorized by the terms of this ordinance in substantial compliance with the following: the terms of this Ordinance 92-O-14; terms of Ordinance 38-O-06 which have not been amended by this Ordinance; the Building and Landscape Plans in Exhibit 2, attached hereto and incorporated herein by reference; all applicable City Code requirements; the Applicant's testimony and representations to the Site Plan and Appearance Review Committee for Building 1, the P&D Committee, and the City Council; and the approved documents on file in this case.
- (b) **Building 1 Elevations:** Prior to issuance of the building permit for Building 1 (8 units), Applicant must present site plans and elevation plans for review and consideration by the Site Plan and Appearance Review Committee to clarify and articulate the elevations and improvements of Building 1.
- (c) **Changes in Property Use:** Any change as to the property's use in the future must be processed and approved as an additional amendment to the Planned Development.
- (d) **Landscape Design:** The Applicant shall install and maintain landscaping as depicted in Exhibit C, and as recommended by SPAARC prior to construction of Building 1.
- (e) **Construction Schedule:** Pursuant to Subsection 6-11-1-10(A)4 of the Zoning Ordinance, the Applicant shall reactivate a building permit to finish 13 units in Buildings 2 and 3, and obtain a new permit for construction and associated site work on Building 1 within twelve (12) months of the passing of this Ordinance. Additionally, the Applicant must

complete the construction of this Planned Development within twenty-four (24) months from the date the Applicant receives its building permit.

- (f) **Mayor's Affordable Housing Fund:** Section 6 of Ordinance 38-O-06 requires Applicant to donate fifty thousand and no/100 dollars (\$50,000.00) and the City has received twenty-five thousand eight hundred seventy-five and no/100 dollars (\$25,875) of the total, leaving a remainder of twenty-four thousand one hundred twenty-five and no/100 dollars (\$24,125). Applicant agrees to remit the remainder in full within fifteen (15) business days of adoption of this Ordinance.
- (g) **City of Evanston Job Initiative Fund:** Section 6 of Ordinance 38-O-06 requires Applicant to donate twenty-five thousand and no/100 dollars (\$25,000.00) and the City has not received the donation to date. Applicant agrees to remit the full payment within fifteen (15) business days of adoption of this Ordinance.
- (h) **Recordation:** Pursuant to Subsection 6-3-6-10 of the Zoning Ordinance, the Applicant shall, at its cost, record a certified copy of this ordinance, including all exhibits attached hereto, with the Cook County Recorder of Deeds, and provide proof of such recordation to the City, before the City may issue any permits pursuant to the Planned Development authorized by the terms of this ordinance.

**SECTION 4:** Except as otherwise provided for in this Ordinance 92-O-14, all applicable regulations of the Ordinance 38-O-06, the Zoning Ordinance, and the entire City Code shall apply to the Subject Property and remain in full force and effect with respect to the use and development of the same. To the extent that the terms and/or provisions of any of said documents conflict with any of the terms herein, this Ordinance 92-O-14 shall govern and control.

**SECTION 5:** When necessary to effectuate the terms, conditions, and purposes of this ordinance, "Applicant" shall be read as "Applicant and its agents, assigns, and successors in interest" and shall mean Monty Title Trust 1, and any and all successors, owners, and operators of the Subject Property.

**SECTION 6:** This ordinance shall be in full force and effect from and after

its passage, approval, and publication in the manner provided by law.

**SECTION 7:** Except as otherwise provided for in this ordinance, all applicable regulations of the Zoning Ordinance and the entire City Code shall apply to the Subject Property and remain in full force and effect with respect to the use and development of the same. To the extent that the terms and provisions of any of said documents conflict with the terms herein, this ordinance shall govern and control.

**SECTION 8:** All ordinances or parts of ordinances that are in conflict with the terms of this ordinance are hereby repealed.

**SECTION 9:** If any provision of this ordinance or application thereof to any person or circumstance is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this ordinance is severable.

**SECTION 10:** The findings and recitals herein are hereby declared to be prima facie evidence of the law of the City and shall be received in evidence as provided by the Illinois Compiled Statutes and the courts of the State of Illinois.

Ayes: 8

Nays: 0

Approved:

August 13, 2014

Elizabeth B. Tisdahl  
Elizabeth B. Tisdahl, Mayor

Introduced: July 28, 2014

Adopted: August 11, 2014

Attest:

Rodney Greene  
Rodney Greene, City Clerk

Approved as to form:

W. Grant Farrar  
W. Grant Farrar, Corporation Counsel

**EXHIBIT 1**

**ORDINANCE 38-O-06**

4/13/06  
4/11/06  
4/5/2006  
3/31/2006  
3/17/2006  
2/22/2006

**38-O-06**

**AN ORDINANCE**

**Approving an Amendment to the Zoning Map to Rezone  
1613 Church Street from an I2 General Industrial District to an  
R4 General Residential District, and  
Granting a Special Use for a Planned Development at  
1613 Church Street  
(Church Street Village, LLC)**

WHEREAS, Church Street Village, LLC, owner of 1613 Church Street, the subject property, submitted an application seeking approval for a Zoning Map amendment to rezone the subject property from an I2 General Industrial District to an R5 General Residential District, and seeking approval of a special use for a planned development pursuant to the provisions of Section 6-3-5 "Special Uses", Section 6-3-6 "Planned Developments", Section 6-8-1-10(D) "Planned Developments" (within Residential Districts), and Section 6-8-7-3 "Special Uses" (within a R5 General Residential District) of the Zoning Ordinance to permit construction of forty-two (42) single-family attached dwelling units, and approximately eighty-two (82) parking spaces; and

WHEREAS, the Plan Commission held public hearings on the application case no. ZPC 05-11 PD&M pursuant to proper notice on December 14, 2005, January 8, 2006, and February 8, 2006, hearing testimony, receiving other evidence, and making written findings and a *verbatim* transcript; and



**WHEREAS**, construction of the planned development proposed by the Applicant (the "Planned Development") requires development allowances from the strict application of the lot coverage, impervious surface, lot width, height, yard, fence location, and parking location regulations otherwise required by the applicable zoning regulations of the Zoning Ordinance; and

**WHEREAS**, pursuant to Section 6-3-6-4, Section 6-3-6-5 and Section 6-3-6-6 of the Zoning Ordinance, a planned development may provide for development allowances and modifications to site development allowances that depart from the lot coverage, impervious surface, yard, parking location, and other regulations established in the Zoning Ordinance, subject to approval of the City Council; and

**WHEREAS**, the Plan Commission's written findings indicate that the application for amendment of the Zoning Map from the I2 General Industrial District to the R5 General Residential District meets the standards for amendments to the Zoning Map indicated in Section 6-3-4-5 of the Zoning Ordinance; and

**WHEREAS**, the Plan Commission's written findings indicate that the application for planned development meets the standards for special uses indicated in Section 6-3-5-10 of the Zoning Ordinance; addresses the general conditions for planned developments in R5 General Residential Districts indicated in Section 6-8-1-10(A) of the Zoning ordinance; and addresses the site controls and standards indicated in Section 6-8-1-10(B) and the site development standards in Section 6-8-1-10(C) of the Zoning Ordinance; and

WHEREAS, the Plan Commission recommended approval of the application for a Zoning Map amendment to the R5 General Residential District, and special use for a planned development; and

WHEREAS, the Applicant amended its application at the March 27, 2006 Planning and Development meeting to seek R4 General Residential Zoning and a reduction from forty-one (41) to forty (40) dwelling units; and

WHEREAS, except as modified by this ordinance, the Plan Commission's findings are applicable to the proposed planned development located in an R4 General Residential District and are hereby adopted as such;

WHEREAS, the Planning and Development Committee of the City Council considered the record and recommendations of the Plan Commission at its February 27, 2006, March 13, 2006, March 27, 2006, and April 4, 2006 meetings; conducted a public hearing on the revised application, made revised findings that the application met applicable standards of the Zoning Ordinance, adopted the record and recommendations of the Plan Commission, as modified, and recommended City Council approval of the revised application; and

WHEREAS, the City Council considered and adopted the respective record of the Plan Commission and the record, findings, and recommendation of the Planning and Development Committee, as modified, at its February 27, 2006, March 13, 2006, March 27, 2006 meeting, and further amended this Ordinance at its April 11, 2006 meeting, and

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EVANSTON, COOK COUNTY, ILLINOIS:

**SECTION 1:** That the foregoing recitals are found as fact and made a part hereof.

**SECTION 2:** That the City Council hereby adopts the findings and recommendations of the Plan Commission and the Planning and Development Committee, as modified, and approves an amendment to the Zoning Map provided for in Section 6-7-2 of the Zoning Ordinance to rezone the subject property, legally described in Exhibit A, attached hereto and made a part hereof, from I2 General Industrial District to R4 General Residential District. The City Council hereby finds as follows with respect to the standards for zoning map amendments in Section 6-3-4-5 of the Zoning Ordinance:

(A) The proposed amendment is consistent with the proposed goals, objectives, and policies of the Comprehensive General Plan in that it will allow for the provision of a variety of housing options and serve as a buffer between the existing industrial and residential uses in the area;

(B) The proposed amendment is compatible with the overall character of the existing development in the immediate vicinity of the subject property in that residential uses are currently located to the south and east of the site;

(C) The proposed amendment will not have an adverse effect on the value of adjacent properties in that it will enhance the value of residential land in the neighborhood and eliminate incompatible uses;

(D) Public facilities and services are adequate in that the subject property can access existing infrastructure and is well served by public parks, transportation networks, and institutions.

**SECTION 3:** That the City Council hereby approves a special use for planned development permitting the construction and operation of single-family attached units and accessory parking, as follows:

- (a) Forty (40) single-family attached dwelling units; and
- (b) A maximum of eighty-two (82) off-street parking spaces; and
- (c) Setbacks of:
  - (1) Approximately eight and three tenths feet (8.3') from the front property line on Church Street; and
  - (2) Approximately five feet (5') from the west property line; and
  - (3) Approximately three feet (3') from the east property line; and
  - (4) Approximately three feet (3') from the rear property line.

**SECTION 4:** Pursuant to Section 6-3-6-5 of the Zoning Ordinance and the terms and conditions of this Ordinance, the following site development allowances are hereby granted to the planned development:

(a) A site development allowance to allow an impervious surface area of approximately seventy-four percent (74%), whereas Section 6-8-5-9(A) of the Zoning Ordinance otherwise allows a maximum of fifty-five percent (55%).

(b) A site development allowance to allow thirty-one (31) dwelling units with no frontage on a public street, whereas Section 6-8-5-5(C) otherwise requires all single-family dwelling units to front on a public street.

(c) A site development allowance to allow ten (10) open off-street parking spaces to be located as much as two-hundred seventy feet (270') from the rear property line, instead of the requirement in Section 6-4-6-3(B)18 of the Zoning Ordinance that open off-street parking spaces must be located within thirty feet (30') of the rear lot line in residential districts.

(d) A site development allowance to allow a fence in the front yard facing Church Street instead of the requirement in Section 6-4-6-7(F)2(e) of the Zoning Ordinance that fences be set back at least three feet (3') from the front-facing façade of the principal building and that there be no fences in a front or street side yard.

(e) A site development allowance to allow parking spaces that are sixteen and seven tenths feet (16.7') in length, instead of the eighteen feet (18') otherwise required by Section 6-16-2 of the Zoning Ordinance for ninety-degree (90°) parking spaces.

(f) A site development allowance to allow a mean building height to a maximum of three (3) stories or thirty-six feet six inches (36'6") instead of the maximum of two and one-half (2 1/2) stories or thirty-five feet (35') otherwise allowed by Section 6-8-5-8 of the Zoning Ordinance.

(g) A site development allowance to Section 6-4-1-6(A) to allow three (3) principal buildings on a single zoning lot, instead of the requirement that no more than one principal building is allowed on a single zoning lot in the R4 District unless authorized as part of a planned development.

**SECTION 5:** Pursuant to Section 6-3-6-6 of the Zoning Ordinance and the terms and conditions of the Ordinance, the following authority to exceed site development allowances is hereby granted to the planned development:

(a) A lot size of sixty-nine thousand five hundred fifty-one (69,551) square feet for forty (40) single-family attached dwelling units, whereas Section 6-8-5-4 of the Zoning Ordinance otherwise requires one hundred thousand (100,000) square feet. Section 6-8-1-10(C)2 allows a twenty-five percent (25%) increase in the number of units over the twenty-seven (27) units allowed for a lot size of sixty-nine thousand five hundred fifty-one (69,551) square feet, or thirty-three (33) units.

(b) An eight and three tenths foot (8.3') front yard on Church Street, a twenty-foot (20') to twenty-two-foot (22') setback for the eight (8) -unit building facing Church Street, a five foot (5') west interior side yard, a three-foot (3') east interior side yard, and a three foot (3') rear yard, instead of, respectively, the twenty-seven-foot (27'), five foot (5'), five foot (5'), and twenty-five-foot (25') yards otherwise required by Section 6-8-5-7 of the Zoning Ordinance, the requirement of Section 6-8-1-10(C) of the Zoning Ordinance that buildings be located at least fifteen feet (15') from any street or development boundary, and the requirement of Section 6-8-1-10(B)(3) of the Zoning Ordinance that all boundaries of a planned development have a ten-foot (10') landscaped strip.

**SECTION 6:** That the City Council hereby finds that granting site development allowances in excess of the requirements indicated in Section 6-8-5-4, Section 6-8-5-5, Section 6-8-5-7, Section 6-8-5-8, Section 6-8-5-9, Section 6-8-1-10(B),

and Section 6-8-1-10(C) are essential to achieve one or more of the public benefits described in Section 6-3-6-3, as follows:

1) The Planned Development preserves and enhances natural resources that significantly contribute to the City's character through the Applicant's commitment to beautify the berm along the west boundary of the property with landscaping.

2) The Planned Development provides a variety of housing types in accordance with the City's housing goals by developing single-family attached housing within a price range that will be accessible households with moderate incomes as well as providing an affordable housing component. The Applicant will donate fifty thousand and no/100 dollars (\$50,000.00) to the Mayor's Special Affordable Housing Fund. The Applicant will donate twenty-five thousand and no/100 dollars (\$25,000.00) to the City of Evanston Job Initiative to be utilized in meeting the City's Strategic Plan Goal: Generate marketable job skills for Evanston Residents.

3) The Planned Development enhances the local economy and strengthens the tax base by the positive economic impacts of construction. The proposed residential uses will contribute to the success in the West Evanston TIF, encourage new development, and help stabilize the neighborhood.

4) The Planned Development will eliminate a former industrial site and redevelop the property to include moderate density residential uses that are more compatible with the existing residential uses located to the south and east of the subject property.

**SECTION 7:** That pursuant to Section 6-3-5-12 of the Zoning Ordinance, which provides that the City Council may impose conditions on the grant of a special use, the following conditions are hereby imposed:

(a) Construction of the planned development approved hereby shall be in substantial conformance with the approved Development Plan, attached hereto as Exhibit B and made a part hereof, the terms and conditions of this Ordinance, all other applicable legislation and requirements, and in accordance with representations of the Applicant to the Plan Commission, Planning and Development Committee, and the City Council.

**SECTION 8:** References herein to "Applicant" shall in all cases mean Church Street Village, LLC, and any and all successors, owners, and operators of the subject property, as applicable.

SECTION 9: That the Applicant is required to record, at its cost, and provide the City with a certified copy of this Ordinance, including all Exhibits hereto, with the Cook County, Illinois, Recorder of Deeds before any City permits may be obtained.

SECTION 10: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 11: That this Ordinance shall be in full force and effect from and after its publication, approval, and publication in the manner provided by law.

Ayes: 8

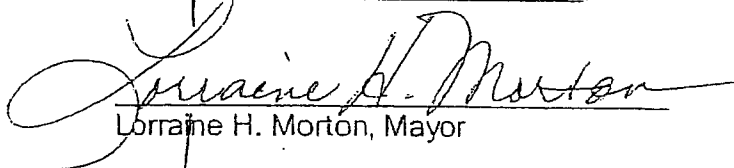
Nays: 0

Introduced: March 27, 2006

Approved:

Adopted: April 11, 2006

April 17, 2006

  
Lorraine H. Morton, Mayor

Attest:

  
Mary P. Morris, City Clerk

Approved as to form:

  
Corporation Counsel

## EXHIBIT A

**LEGAL DESCRIPTION**

THAT PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT IN THE SOUTH LINE OF THE NORTH 283 FEET OF SAID SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 13, 273.94 FEET WEST OF THE EAST BOUNDARY LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 13, MEASURED ON THE SOUTH LINE OF SAID NORTH 283 FEET OF SAID SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 13; THENCE IN A SOUTHERLY DIRECTION IN A STRAIGHT LINE TO A POINT IN THE SOUTH LINE OF SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 13, 273.94 FEET WEST OF THE SOUTHEAST CORNER OF SAID SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 13; THENCE WEST ON THE SOUTH LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 13, TO THE EAST LINE OF THE RIGHT-OF-WAY OF THE CHICAGO AND NORTHWESTERN RAILWAY; THENCE IN A NORTHEASTERLY DIRECTION ON THE SOUTHEASTERLY LINE OF THE RIGHT-OF-WAY OF THE CHICAGO AND NORTHWESTERN RAILWAY TO A POINT IN THE SOUTH LINE OF THE NORTH 283 FEET OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 13, WHICH IS 406.39 FEET WEST OF THE EAST LINE OF THE SAID SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 13, MEASURED ON THE SAID SOUTH LINE OF THE NORTH 283 FEET OF SAID SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 13; AND THENCE EAST ON THE SOUTH LINE OF THE NORTH 283 FEET OF SAID SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 13, TO THE POINT OF BEGINNING, A DISTANCE OF 132.45 FEET, MORE OR LESS, IN COOK COUNTY ILLINOIS.

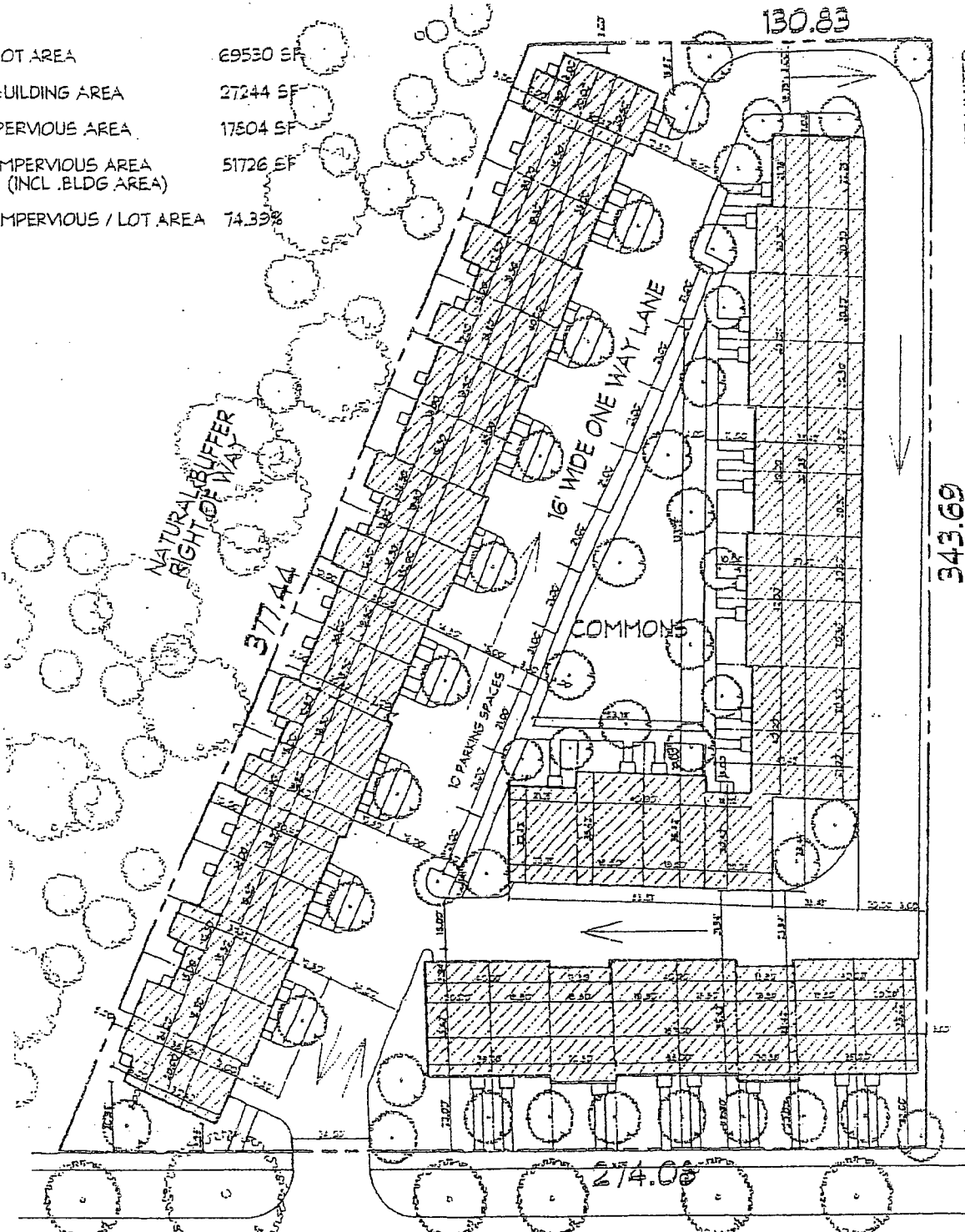
COMMONLY KNOWN AS: **1613 CHURCH STREET**



EXHIBIT B

DEVELOPMENT PLAN

LOT AREA	69550 SF
BUILDING AREA	27244 SF
PERVIOUS AREA	17504 SF
IMPERVIOUS AREA (INCL. BLDG. AREA)	51726 SF
IMPERVIOUS / LOT AREA	74.39%



SITE PLAN  
CHURCH STREET VILLAGE

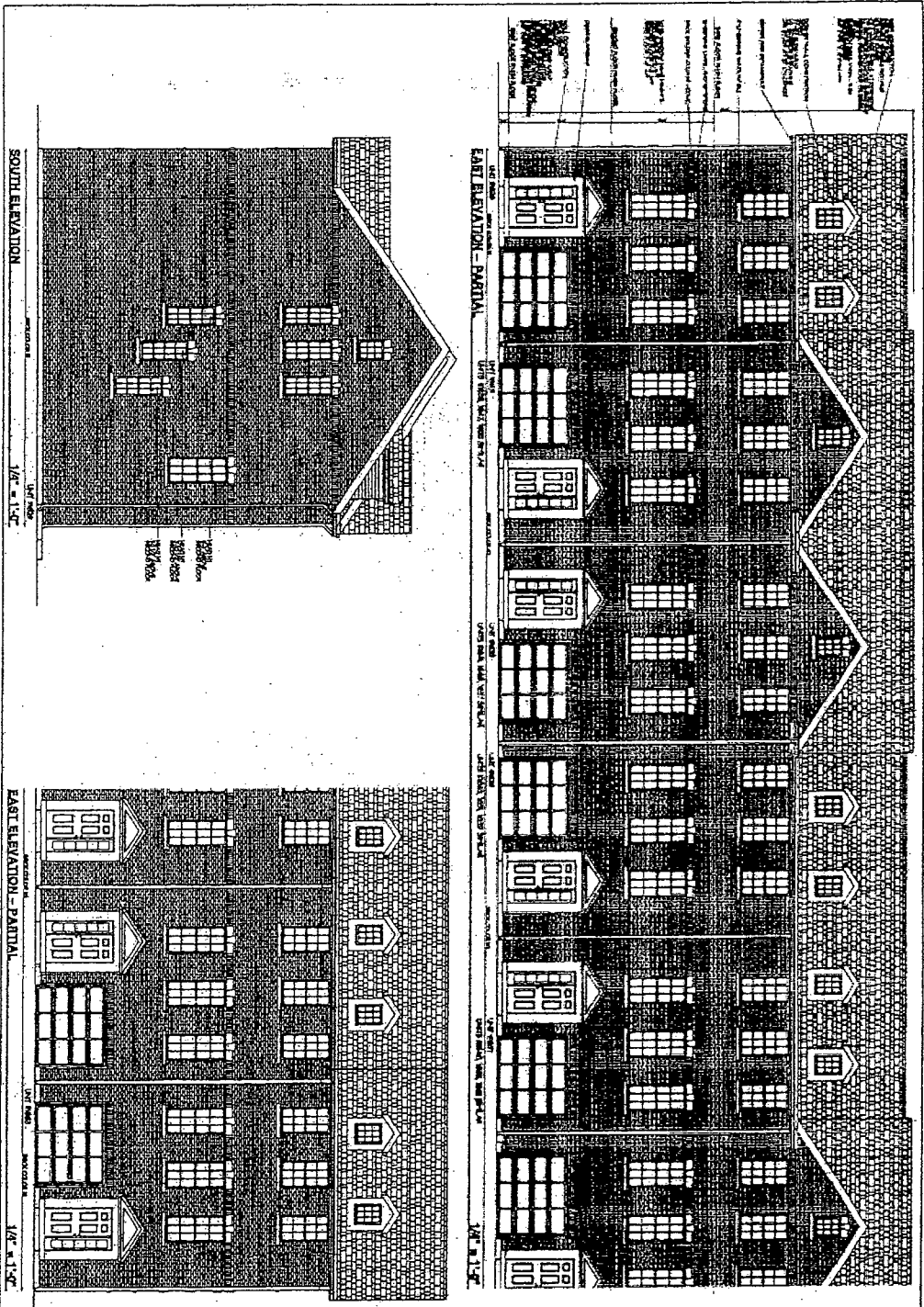
1" = 40'-0'  
2.29.06

1569 SHERMAN AVENUE EVANSTON IL 60201 FAX 847.866.7285 TELEPHONE 847.866.8250 DAVID SCHMITT ARCHITECTURE LIMITED

**EXHIBIT 2**

**BUILDING PLANS AND LANDSCAPE PLAN**





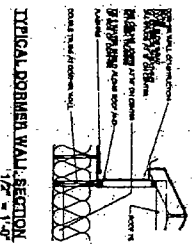
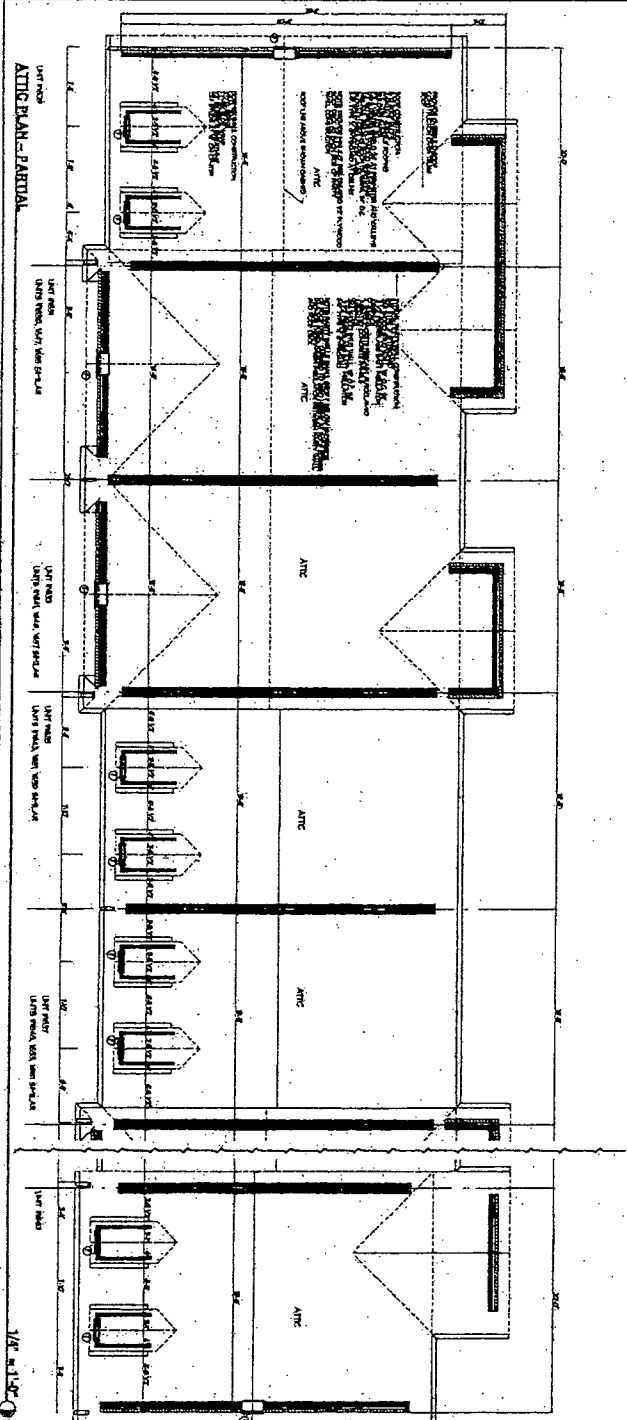
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 PREPARED BY  
 CHECKED BY  
 DATE

prepared for:  
**Church Street Village, LLC**  
 Evanston, Illinois

A Townhome Development  
**Church Street Village**  
 1629 - 1663 Church Street • Evanston, Illinois  
 DAVID SCHMITT ARCHITECTURE LIMITED

1569 SHERMAN AVENUE SUITE 200 EVANSTON, ILLINOIS 60201 FAX 847.868.7285 TELEPHONE 847.868.8250



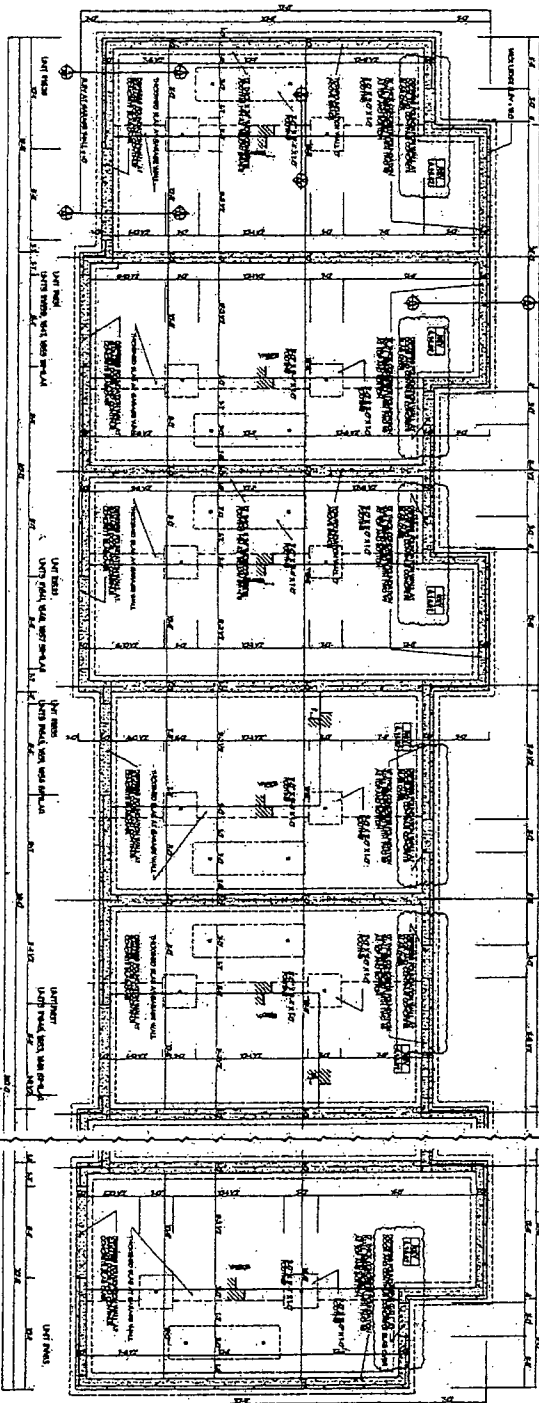


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 DAVID SCHMITT ARCHITECTURE LIMITED  
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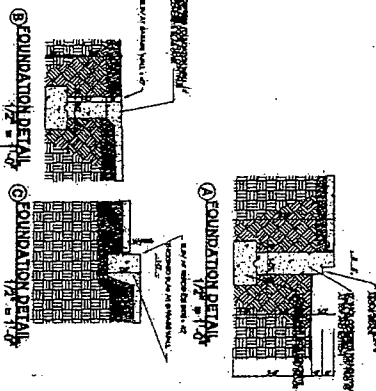
prepared for:  
**Church Street Village, LLC**  
 Evanston, Illinois

A Townhome Development  
**Church Street Village**  
 1629 - 1663 Church Street • Evanston, Illinois  
 DAVID SCHMITT ARCHITECTURE LIMITED

FOUNDATION PLAN - PARTIAL



FIN FLOOR ELEV. = 19.5  
 FOUNDATION WALL ELEV. = 19.5  
 FOOTING ELEV. = 18.0  
 BROOMING ELEV. = 18.0



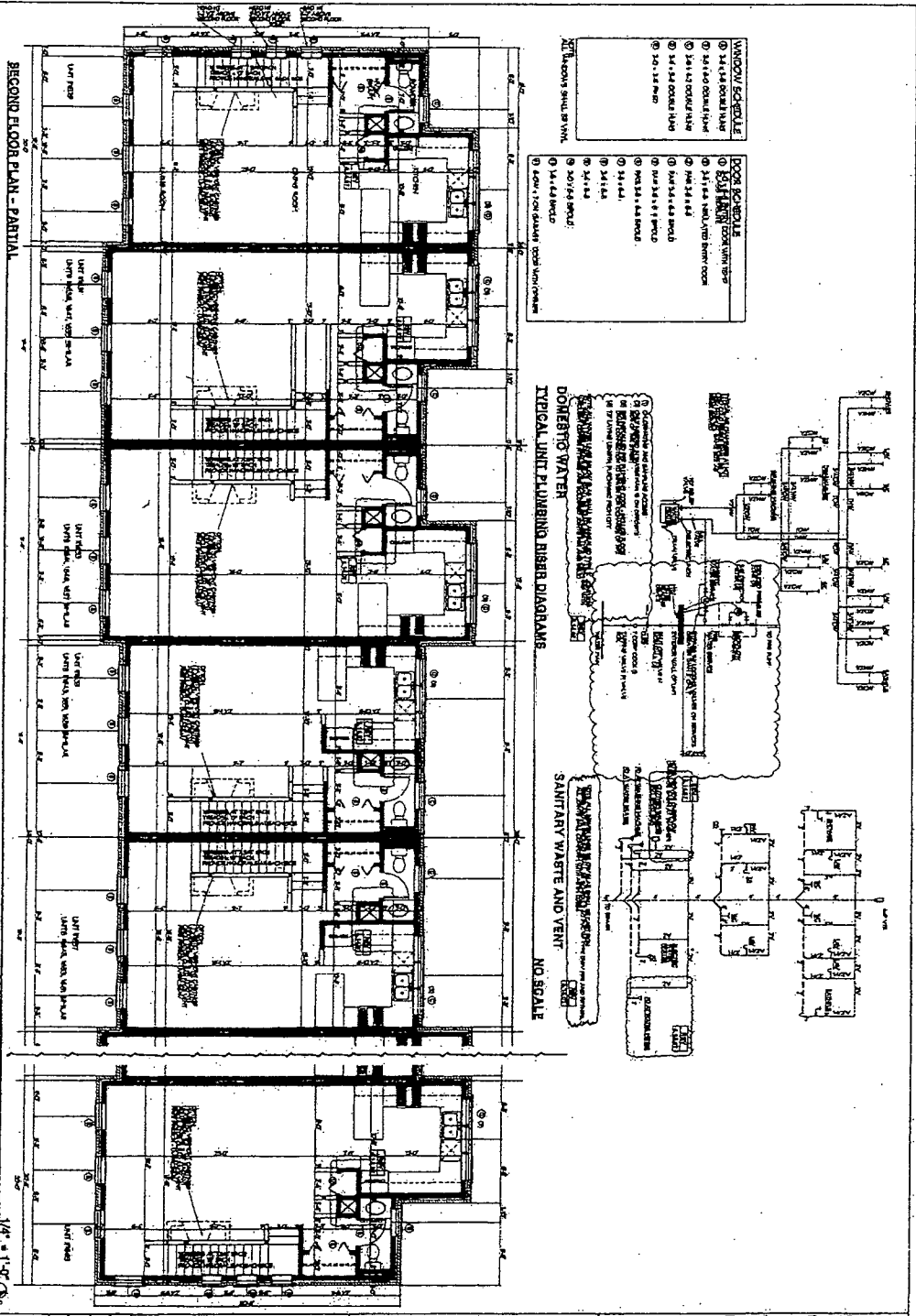
REVISIONS  
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 97 08/14/10 J.S.  
 98 08/14/10 J.S.  
 99 08/14/10 J.S.  
 100 08/14/10 J.S.

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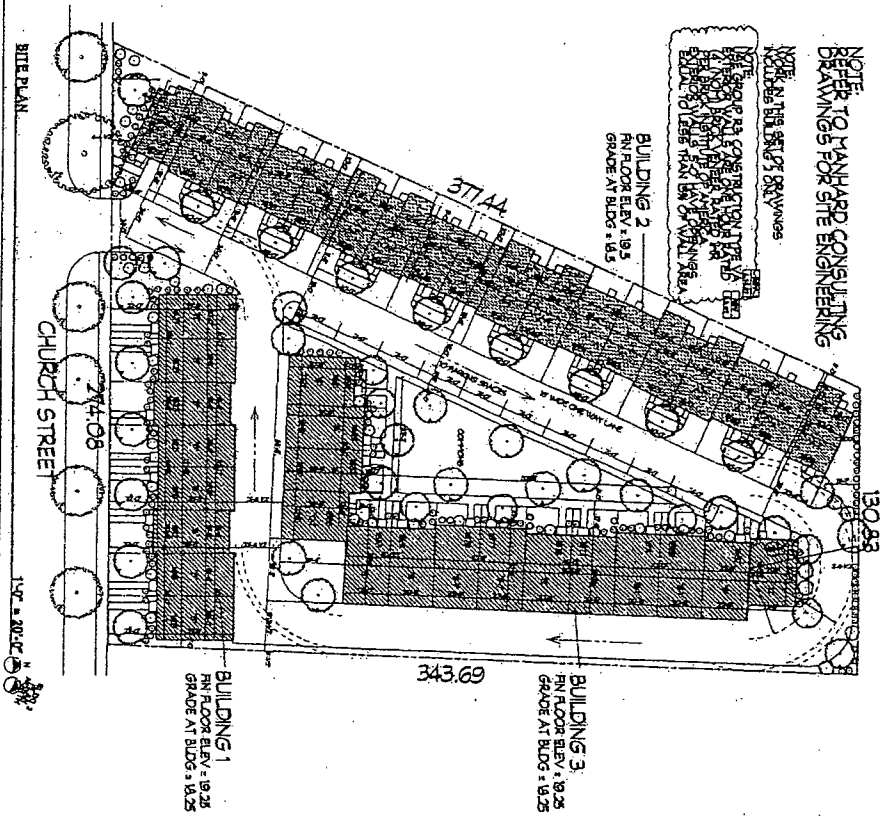




NOTE: THIS DRAWING IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

NOTE TO HANSHARD CONSULTING DRAWINGS FOR SITE ENGINEERING

NOTE: IN THIS SET OF DRAWINGS, THE SYMBOLS ARE USED TO INDICATE THE LOCATION OF THE EXISTING UTILITIES AND THE PROPOSED UTILITIES. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



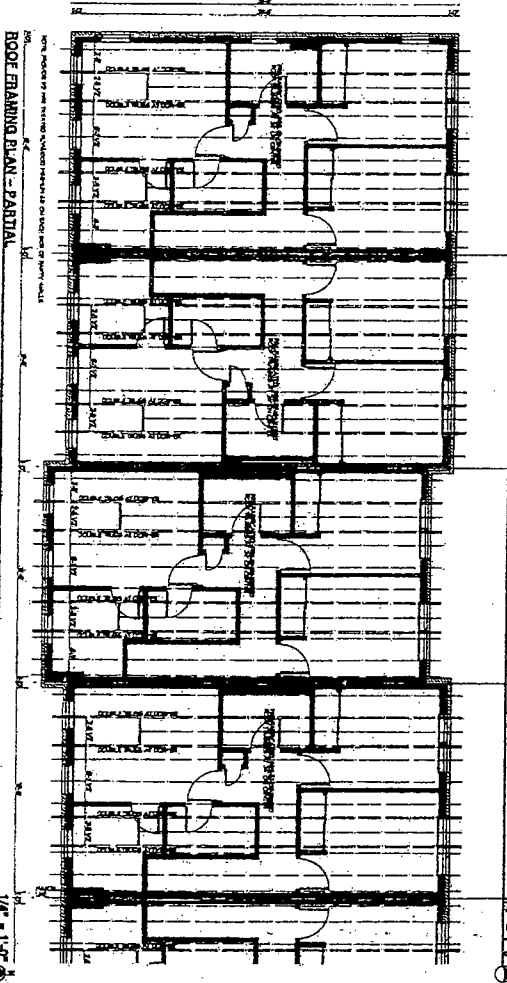
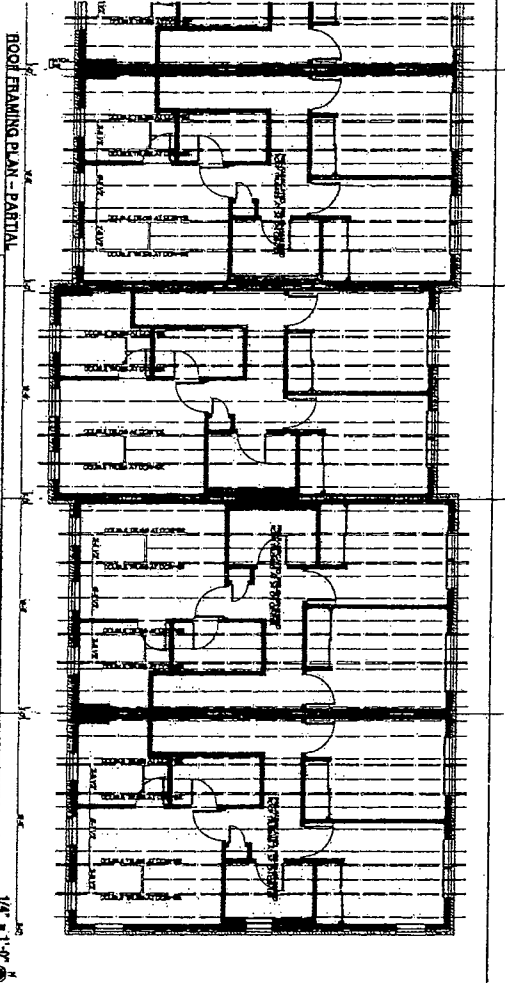
INDEX TO DRAWINGS

A1	SITE PLAN
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A6	FOUNDATION DETAILS
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	HEADERS AND LINTEL SCHEDULE
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A17	THIRD FLOOR REFLECTED CEILING ELECTRICAL PLAN

## EXHIBITS / ATTACHMENTS

### 8) Architectural Plans – Building #2

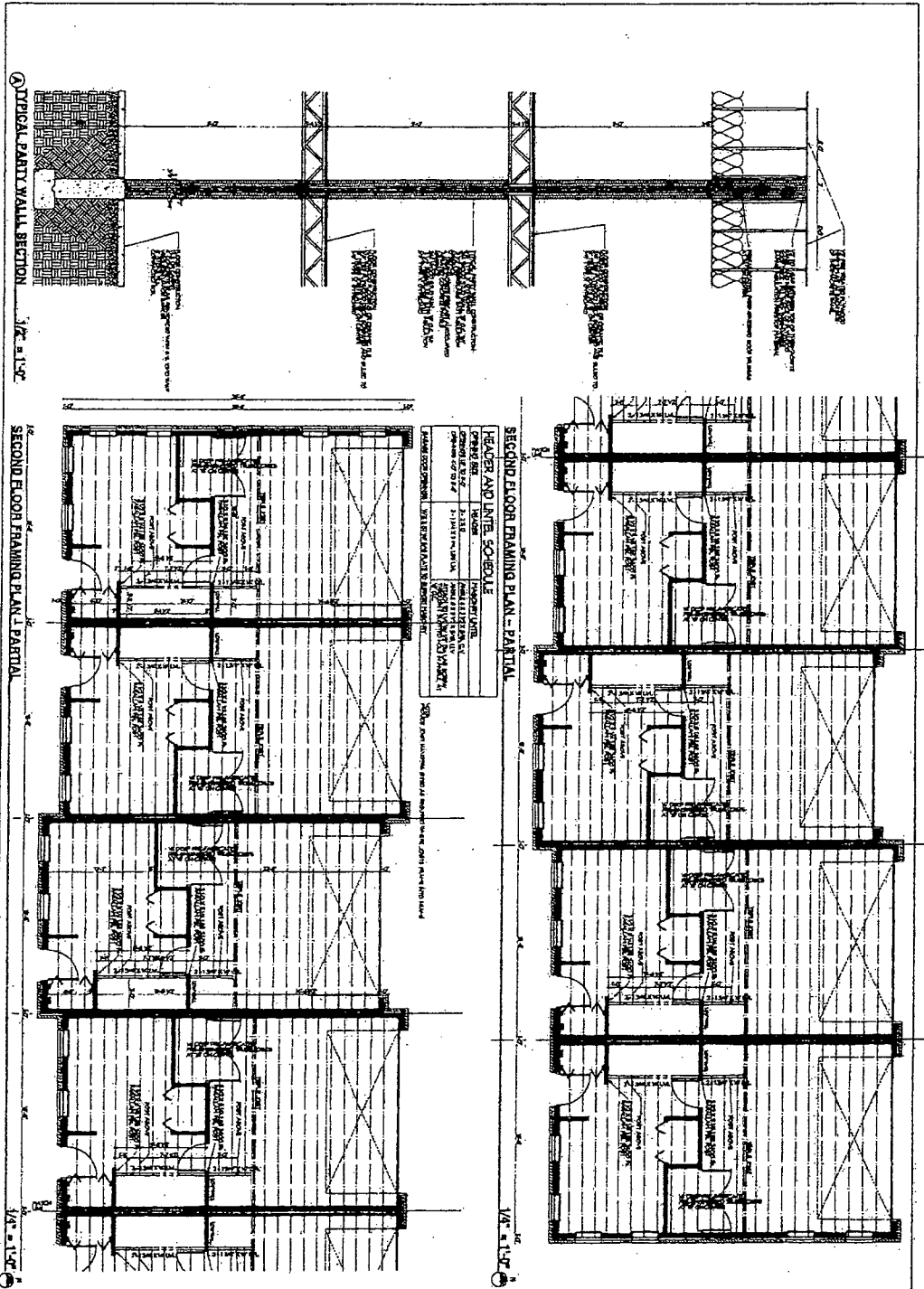
HEADER AND LINTEL SCHEDULE	
DESCRIPTION	1" x 4" x 8" LVL
SPACING	16" O.C.
CONDITIONS OF USE	AS SHOWN
APPROVED FOR	DAVID SCHMITT ARCHITECTURE, LTD.



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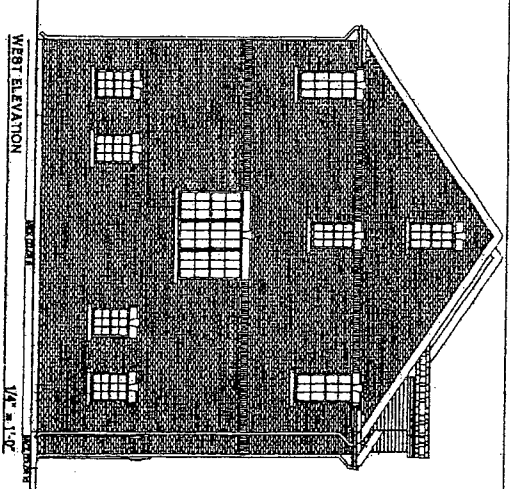
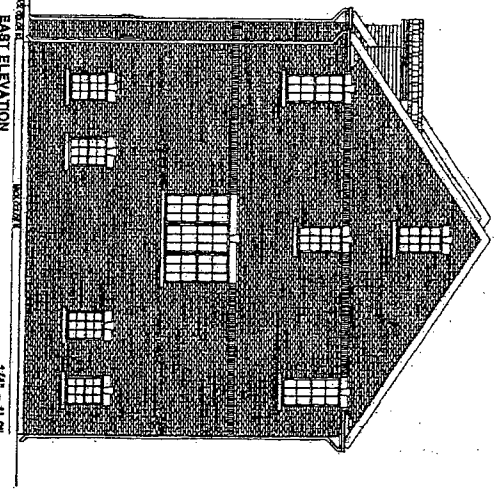
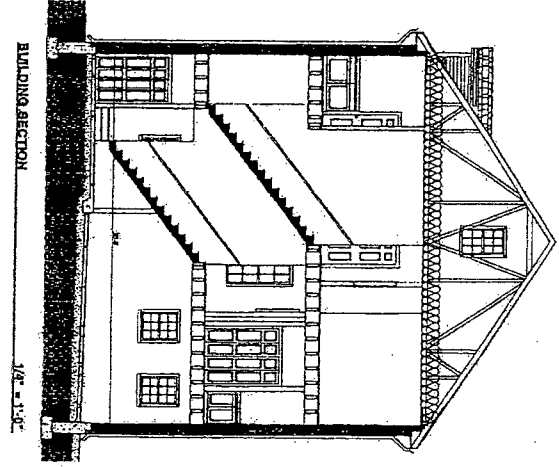
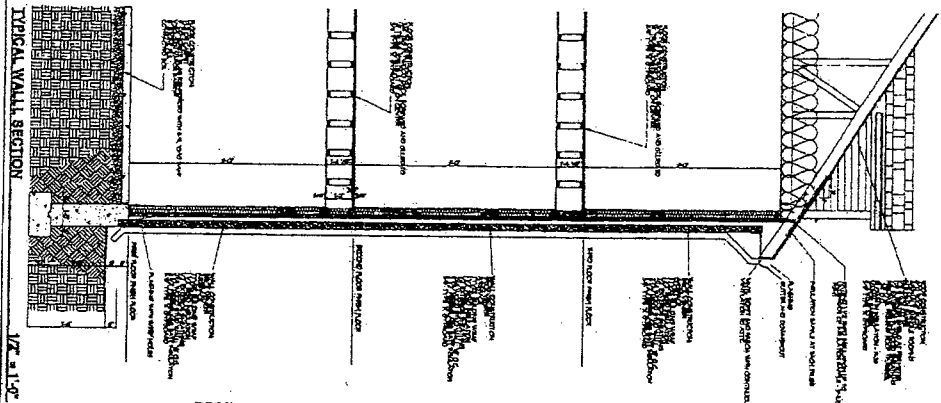




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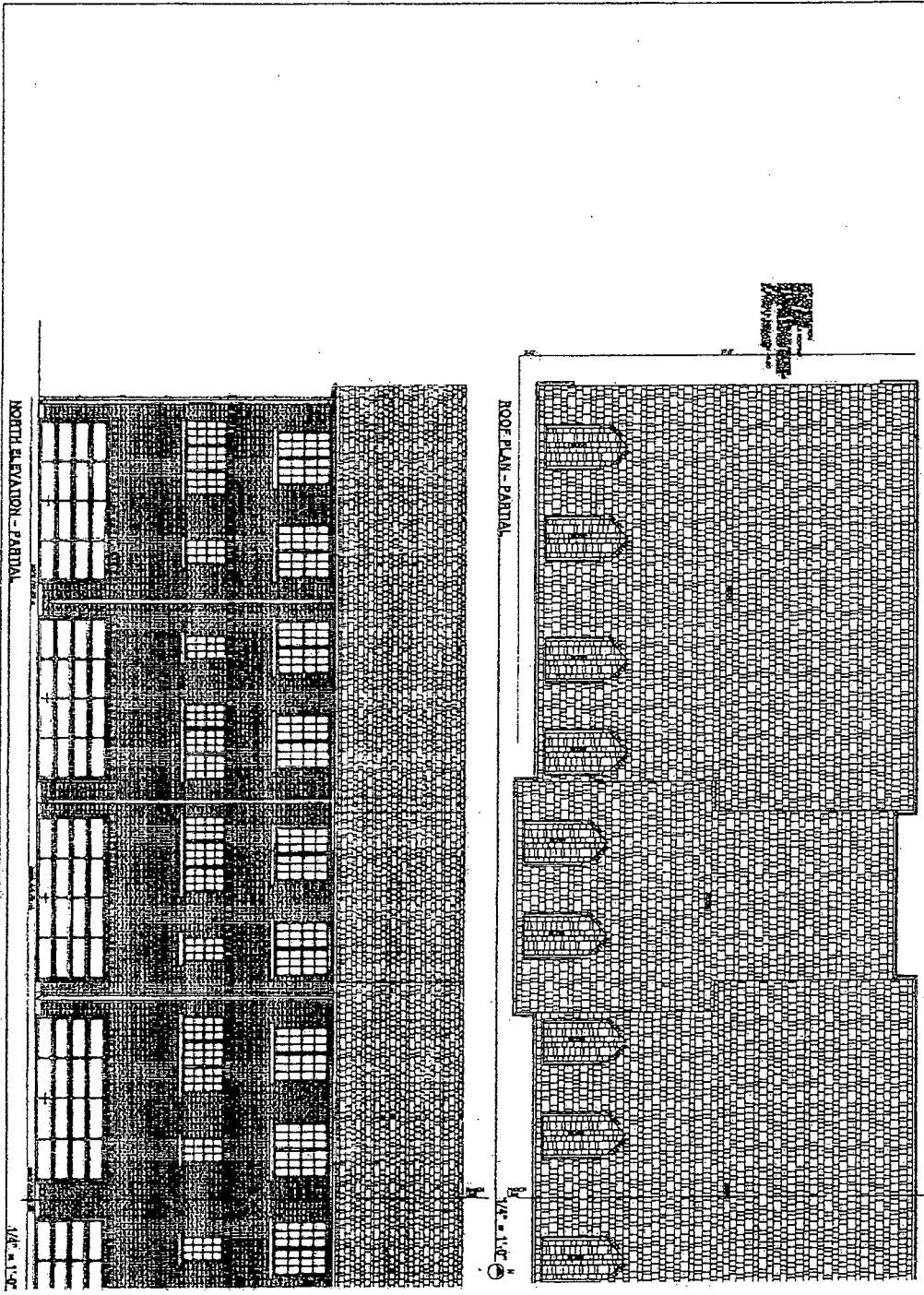




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NORTH ELEVATION - PARTIAL

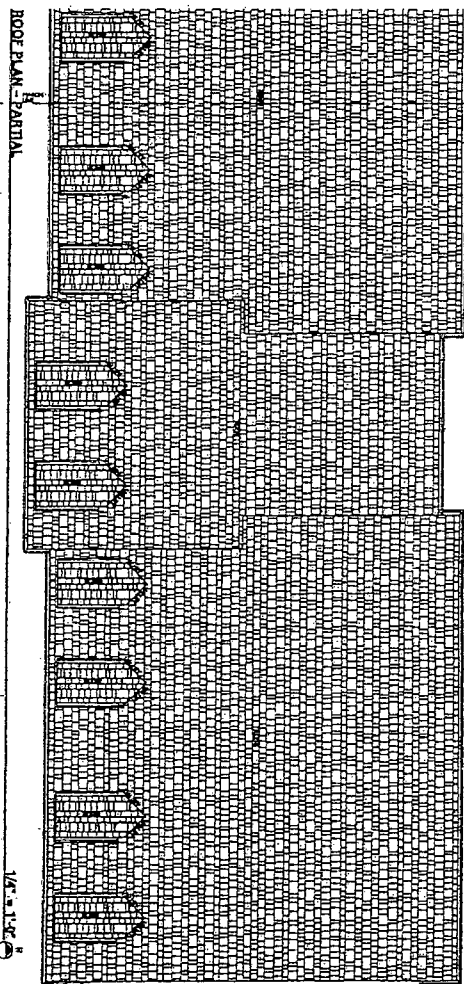
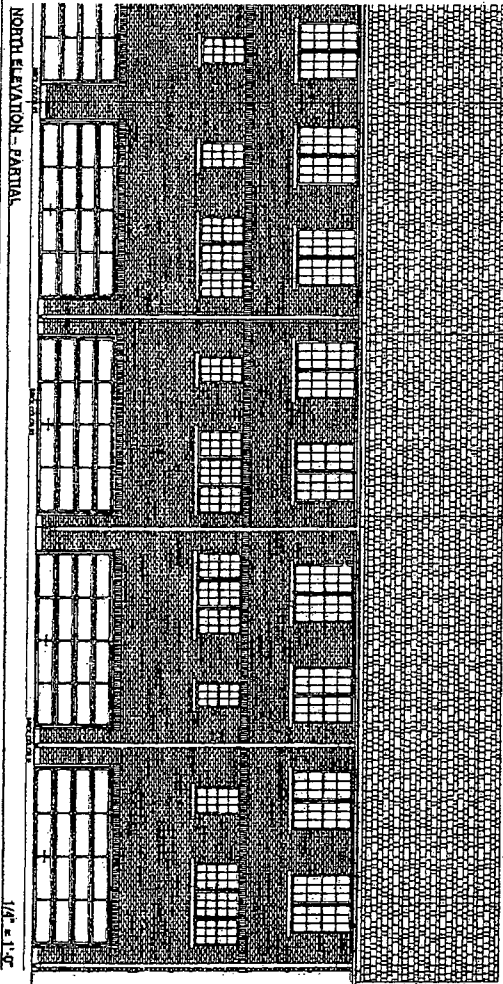
ROOF PLAN - PARTIAL

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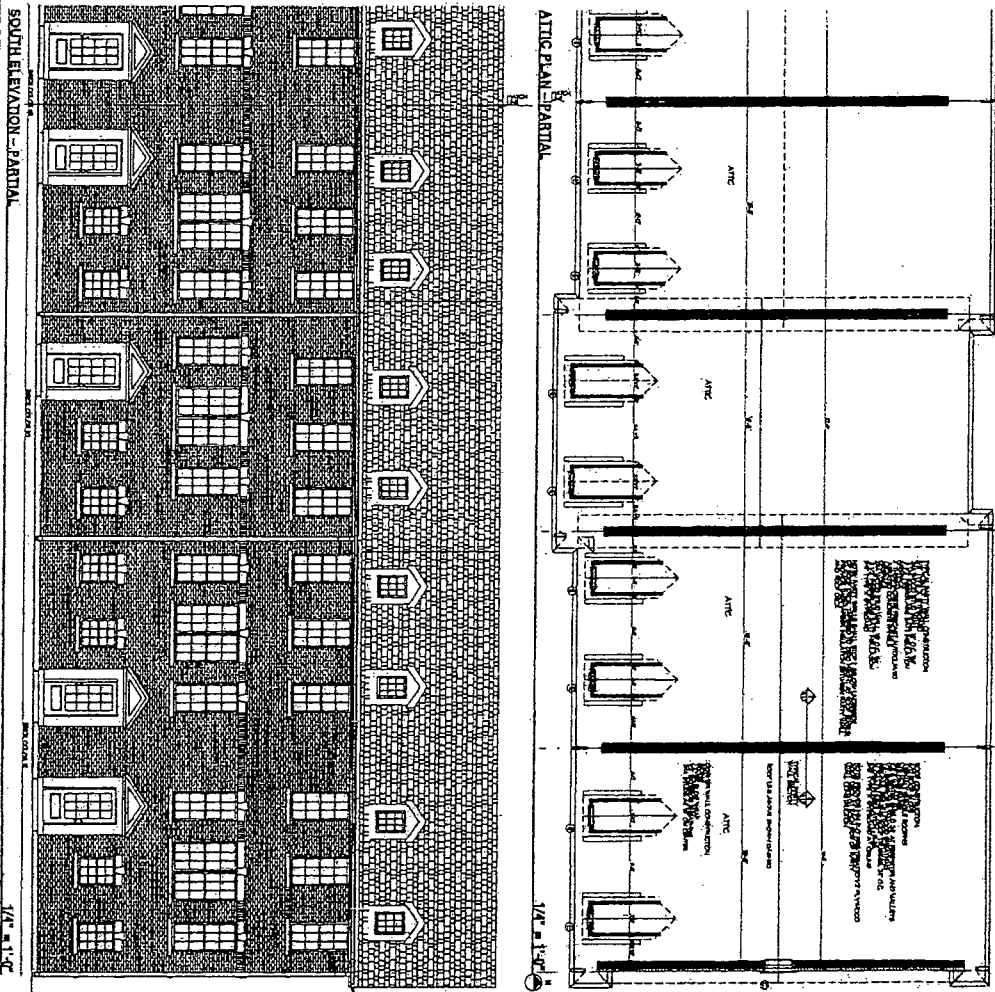


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**A12**  
 of 17

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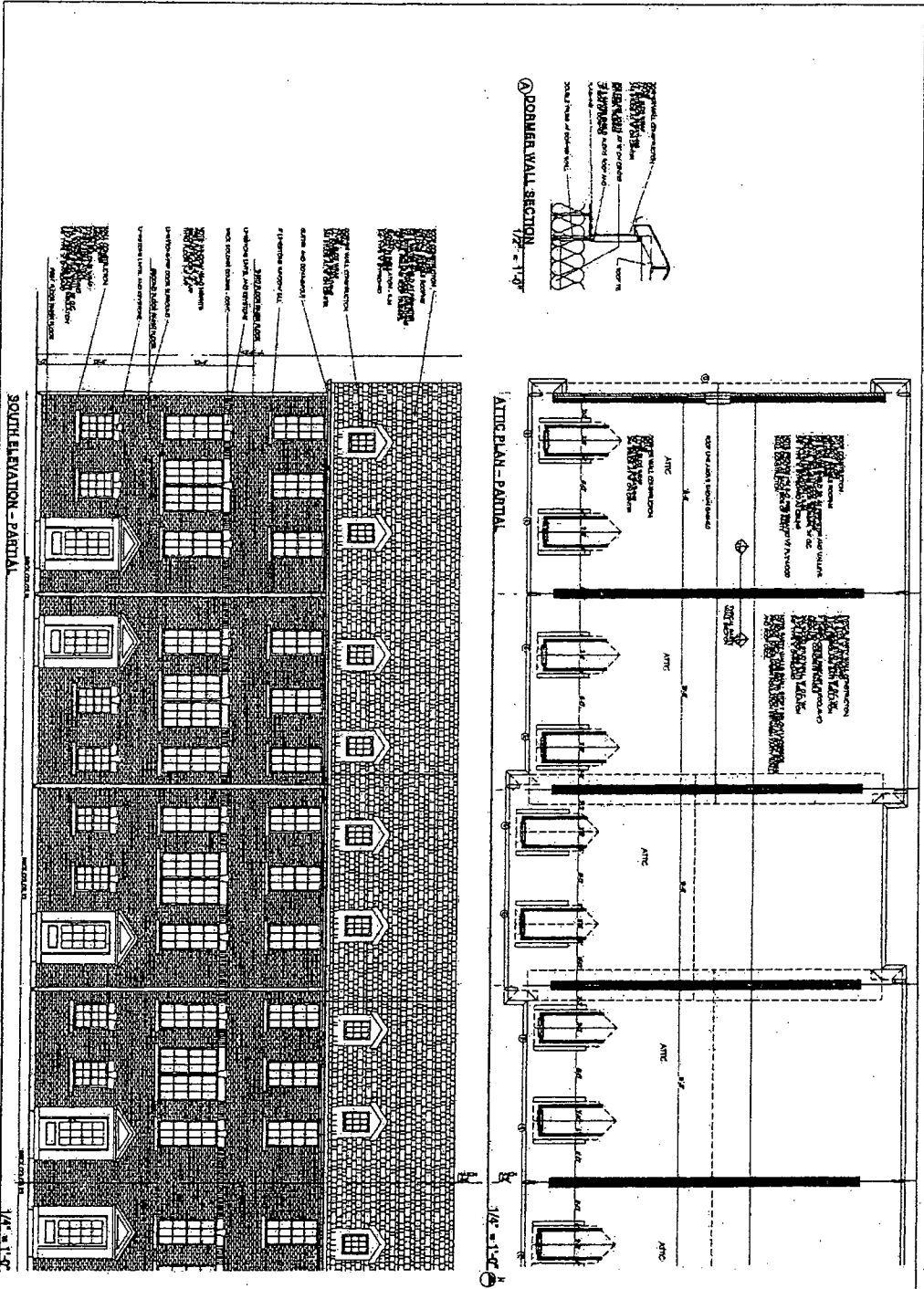


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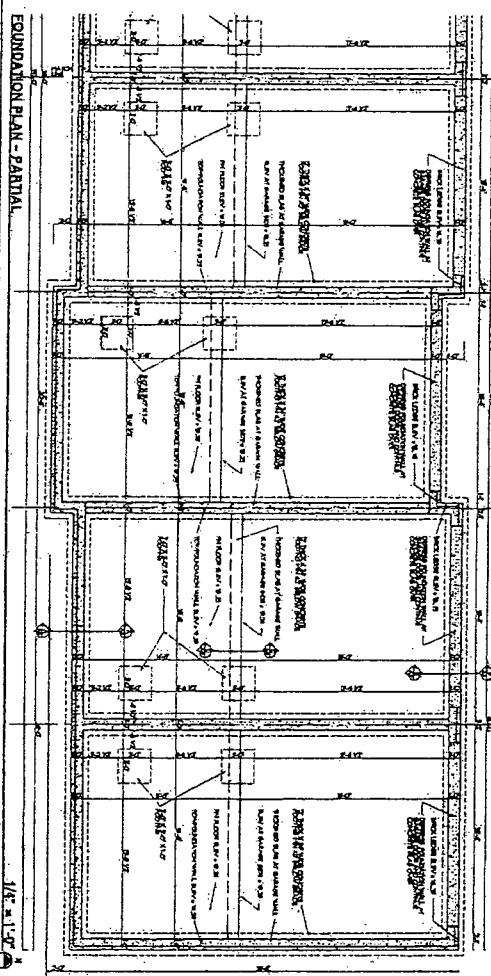
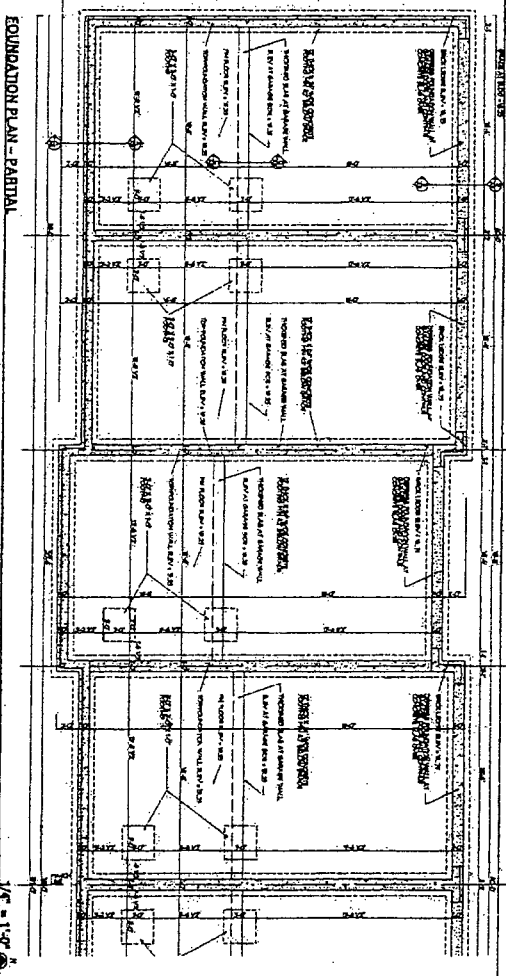
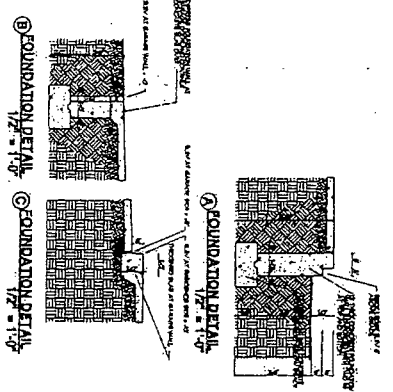


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FIN FLOOR ELEV. = 9.25  
 1/4" FOUNDATION WALL ELEV. = 9.25  
 BROCK LEDGE ELEV. = 8.75  
 GRADE AT BLDG = 9.25  
 FOOTING ELEV. = 4.75



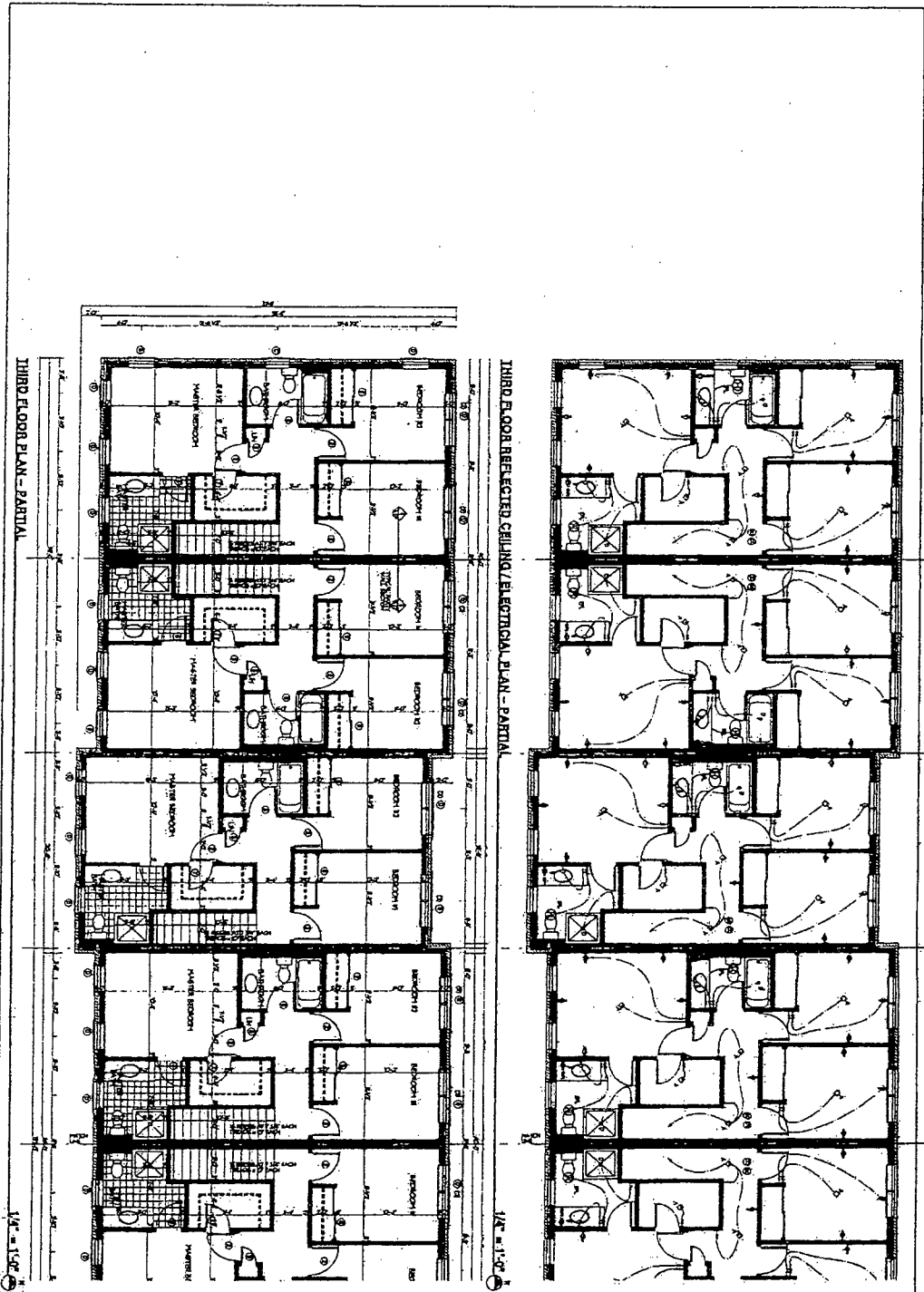
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**LIGHTING FIXTURE SCHEDULE**

Fixture A  
Culley, Recessed Light Fixtures provided by Owner

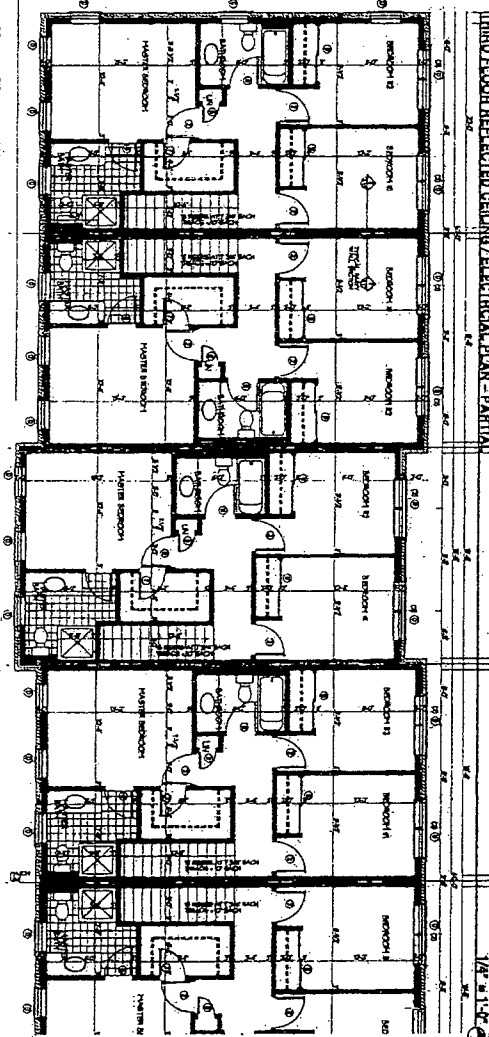
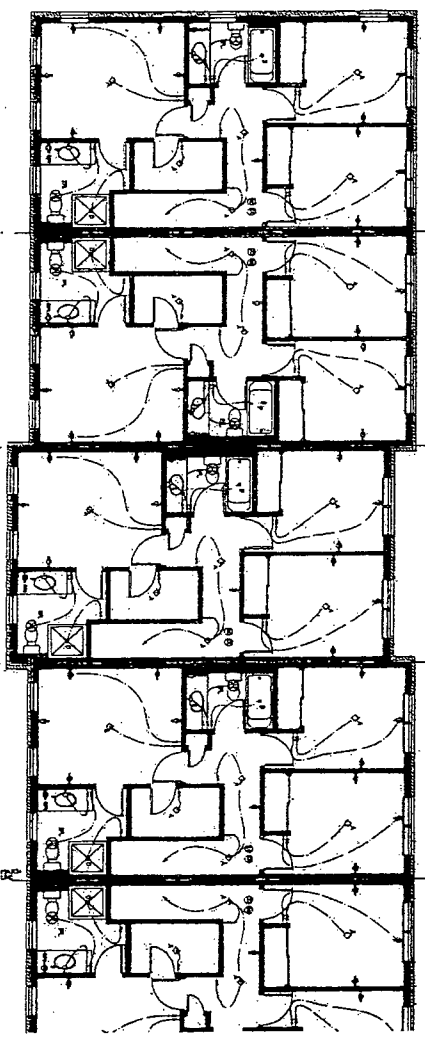
Fixture B  
As indicated light fixture provided by Owner

Fixture C  
Lighting provided by Owner from ceiling, T5V A19

Fixture D  
Ceiling fan provided by Owner and assembled and  
handed by Contractor

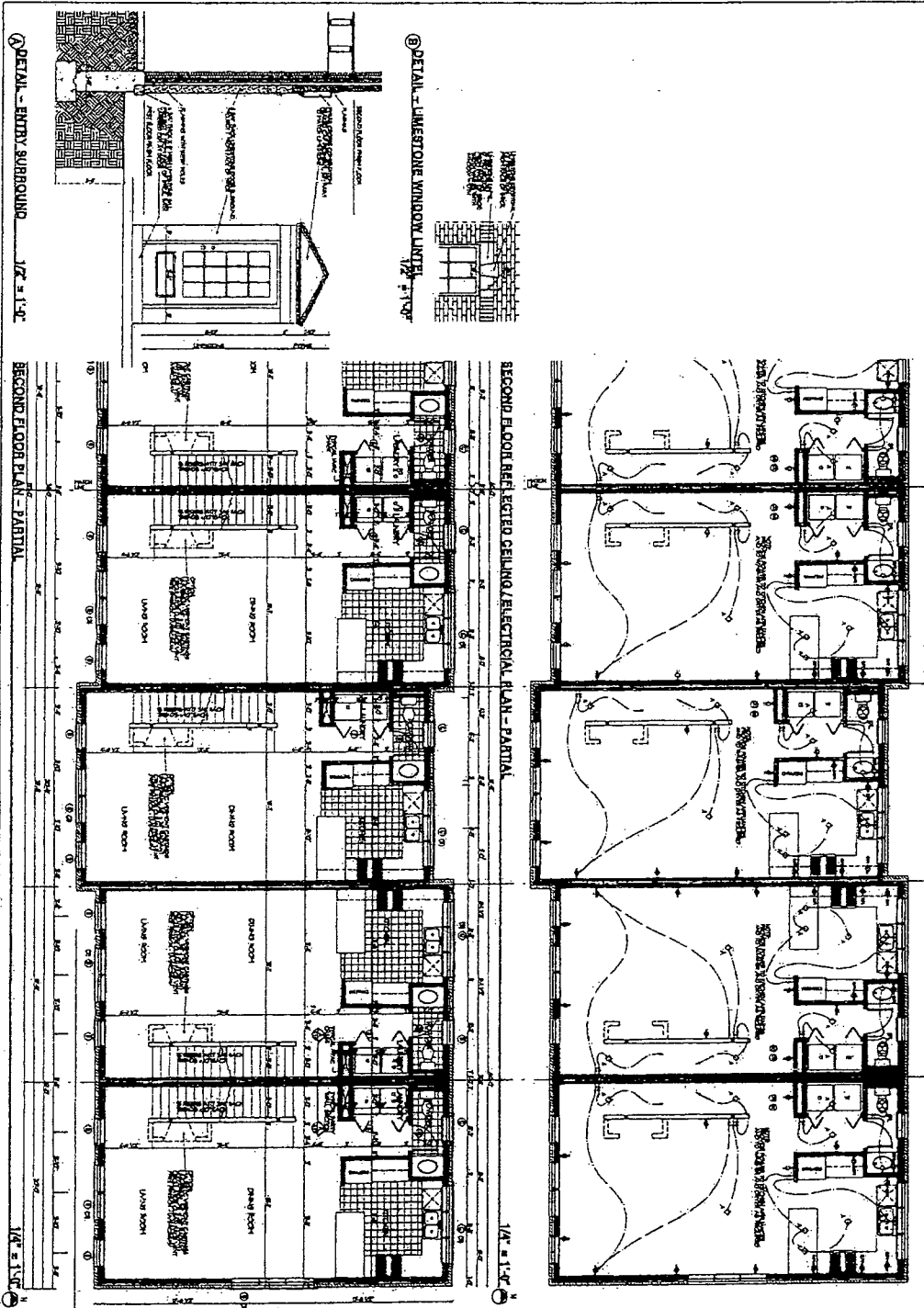
Fixture E  
Brown Bronze Ultra Short exposure lin with ball  
trimmer

NOTE:  
VERIFY ALL LIGHT AND LOCATION OF ALL  
CONSTRUCTION



THIRD FLOOR PLAN - PARTIAL





① DETAIL - ENTRY SUBROUND 1/2" = 1'-0"

② DETAIL - LIMESTONE WINDOW LINTEL 1/2" = 1'-0"

SECOND FLOOR REF. FITTED CEILING/ELECTRICAL PLAN - PARTIAL  
1/4" = 1'-0"

1/4" = 1'-0"

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4/28/07

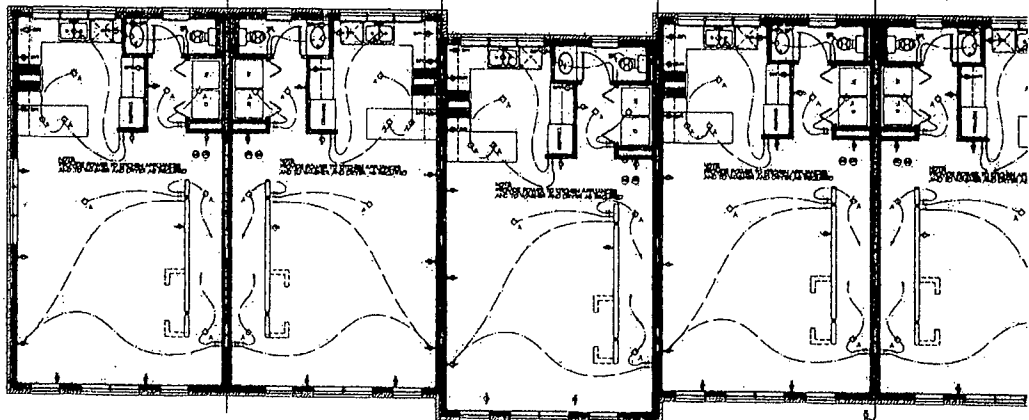
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**LIGHTING FIXTURE SCHEDULE**

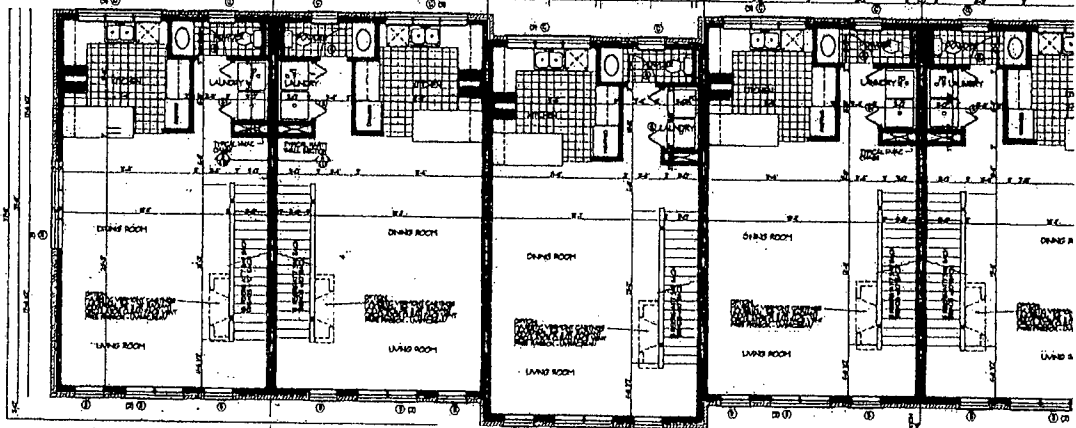
- Fixture A Ceiling Mounted light fixture provided by Owner
- Fixture B Wall Mounted light fixture provided by Owner
- Fixture D Lightbulb #1002P1 wet location, downlight, 75W/A19
- Fixture CF Ceiling fan provided by Owner and assembled and installed by Contractor
- Fixture BFL Brown 600mm Ultra Efficient exhaust fan with light

NOTE: VERIFY SIZES, TYPES AND LOCATIONS OF ALL FIXTURES AND OUTLETS WITH OWNER PRIOR TO CONSTRUCTION.



**SECOND FLOOR REFLECTED CEILING/ELECTRICAL PLAN - PARTIAL**

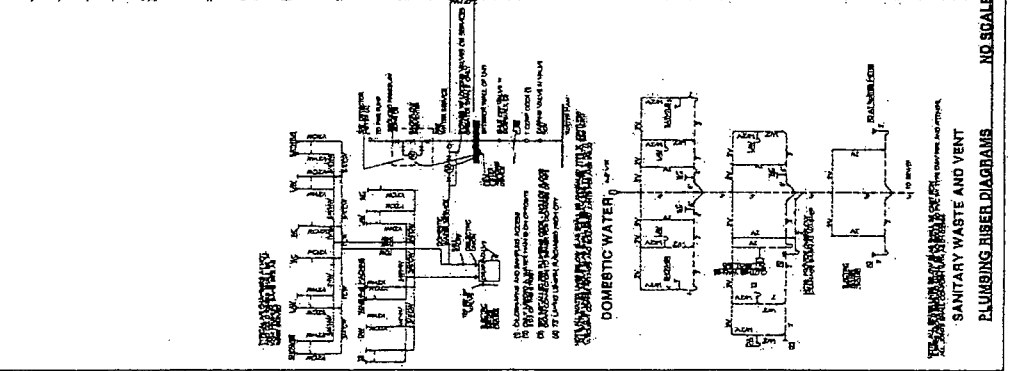
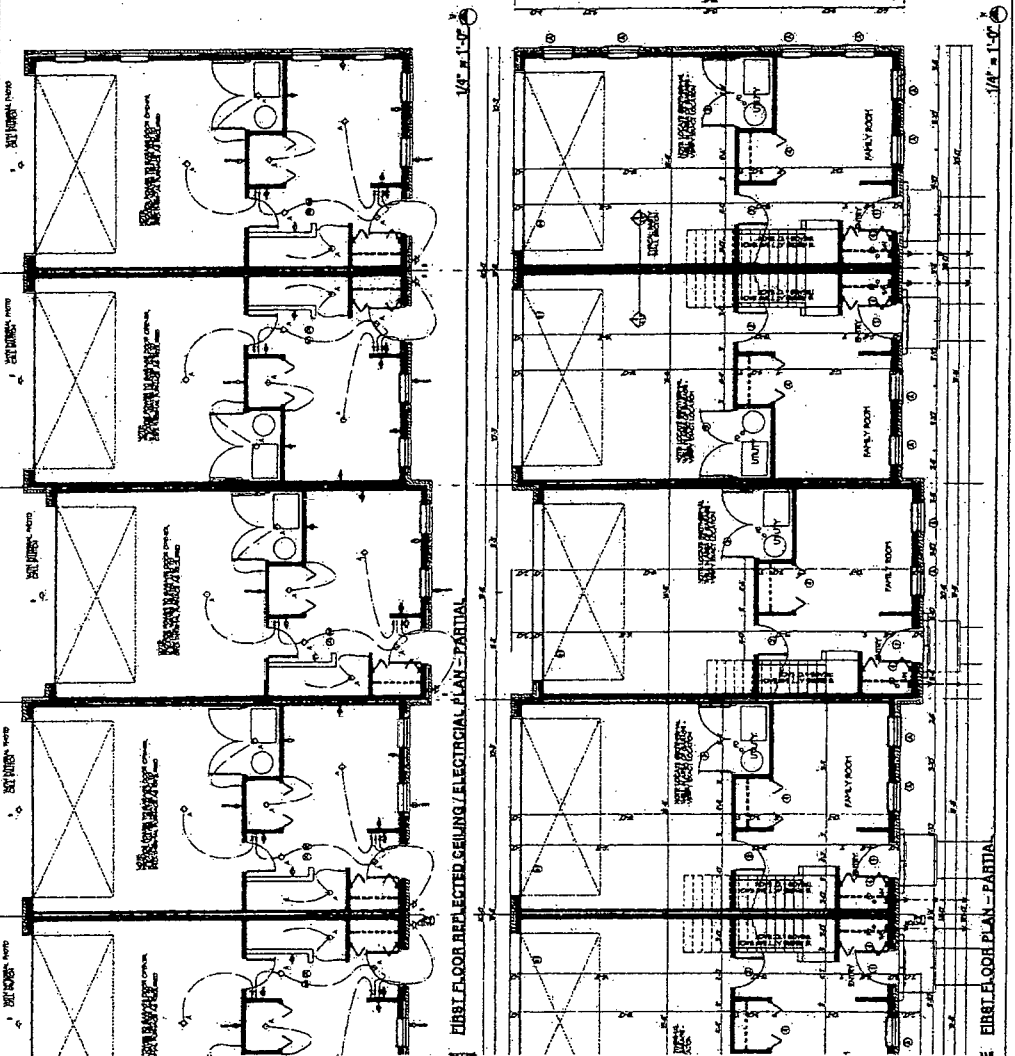
1/4" = 1'-0"



**SECOND FLOOR PLAN - PARTIAL**

1/8" = 1'-0"

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**A5**  
 of 17



PLUMBING RISER DIAGRAMS

**LIGHTING FIXTURE SCHEDULE**

Fixture A Ceiling mounted light fixture provided by Owner  
 Fixture B Wall mounted light fixture provided by Owner  
 Fixture C Linear fixture with location determined by Owner  
 Fixture D Ceiling mounted light fixture provided by Owner and assembled grid  
 Fixture E Spot fixture with stem attached to wall light  
 Fixture F Linear fixture with location determined by Owner  
 NOTE: FINISHES AND OPTIONS WITH OWNER PROVIDED CONTRIBUTION.

**NATURAL LIGHT AND VENTILATION SCHEDULE**

ROOM	AREA	TYPE	LOCATION	VENT	VENT TYPE	NOTES
APARTMENT 101	101	WALL	WEST	W	W	
APARTMENT 102	102	WALL	WEST	W	W	
APARTMENT 103	103	WALL	WEST	W	W	
APARTMENT 104	104	WALL	WEST	W	W	
APARTMENT 105	105	WALL	WEST	W	W	
APARTMENT 106	106	WALL	WEST	W	W	
APARTMENT 107	107	WALL	WEST	W	W	
APARTMENT 108	108	WALL	WEST	W	W	
APARTMENT 109	109	WALL	WEST	W	W	
APARTMENT 110	110	WALL	WEST	W	W	
APARTMENT 111	111	WALL	WEST	W	W	
APARTMENT 112	112	WALL	WEST	W	W	
APARTMENT 113	113	WALL	WEST	W	W	
APARTMENT 114	114	WALL	WEST	W	W	
APARTMENT 115	115	WALL	WEST	W	W	
APARTMENT 116	116	WALL	WEST	W	W	
APARTMENT 117	117	WALL	WEST	W	W	
APARTMENT 118	118	WALL	WEST	W	W	
APARTMENT 119	119	WALL	WEST	W	W	
APARTMENT 120	120	WALL	WEST	W	W	
APARTMENT 121	121	WALL	WEST	W	W	
APARTMENT 122	122	WALL	WEST	W	W	
APARTMENT 123	123	WALL	WEST	W	W	
APARTMENT 124	124	WALL	WEST	W	W	
APARTMENT 125	125	WALL	WEST	W	W	
APARTMENT 126	126	WALL	WEST	W	W	
APARTMENT 127	127	WALL	WEST	W	W	
APARTMENT 128	128	WALL	WEST	W	W	
APARTMENT 129	129	WALL	WEST	W	W	
APARTMENT 130	130	WALL	WEST	W	W	
APARTMENT 131	131	WALL	WEST	W	W	
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APARTMENT 133	133	WALL	WEST	W	W	
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APARTMENT 151	151	WALL	WEST	W	W	
APARTMENT 152	152	WALL	WEST	W	W	
APARTMENT 153	153	WALL	WEST	W	W	
APARTMENT 154	154	WALL	WEST	W	W	
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APARTMENT 200	200	WALL	WEST	W	W	

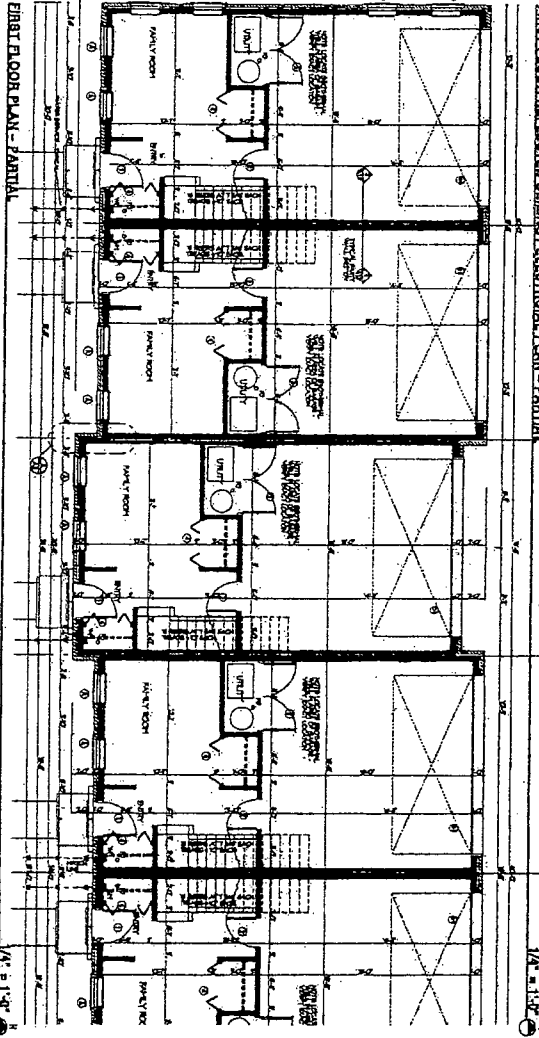
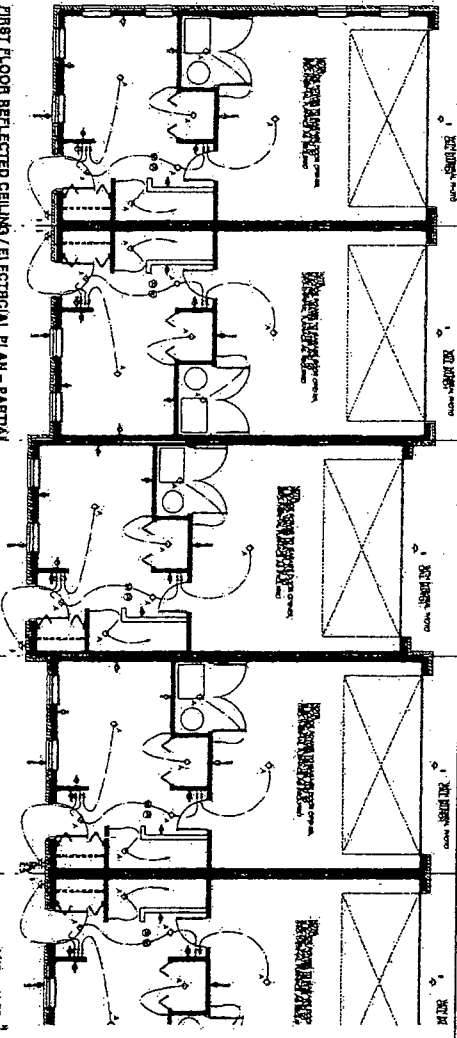
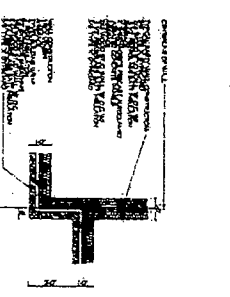
**WINDOW SCHEDULE**

- 24111 DOUBLE HUNG
- 24112 DOUBLE HUNG
- 24113 DOUBLE HUNG
- 24114 DOUBLE HUNG
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- 24116 DOUBLE HUNG
- 24117 DOUBLE HUNG
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- 24200 DOUBLE HUNG

**DOOR SCHEDULE**

- 24111 DOUBLE HUNG
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- 24199 DOUBLE HUNG
- 24200 DOUBLE HUNG

**PLANDetail - EXTERIOR WALL**



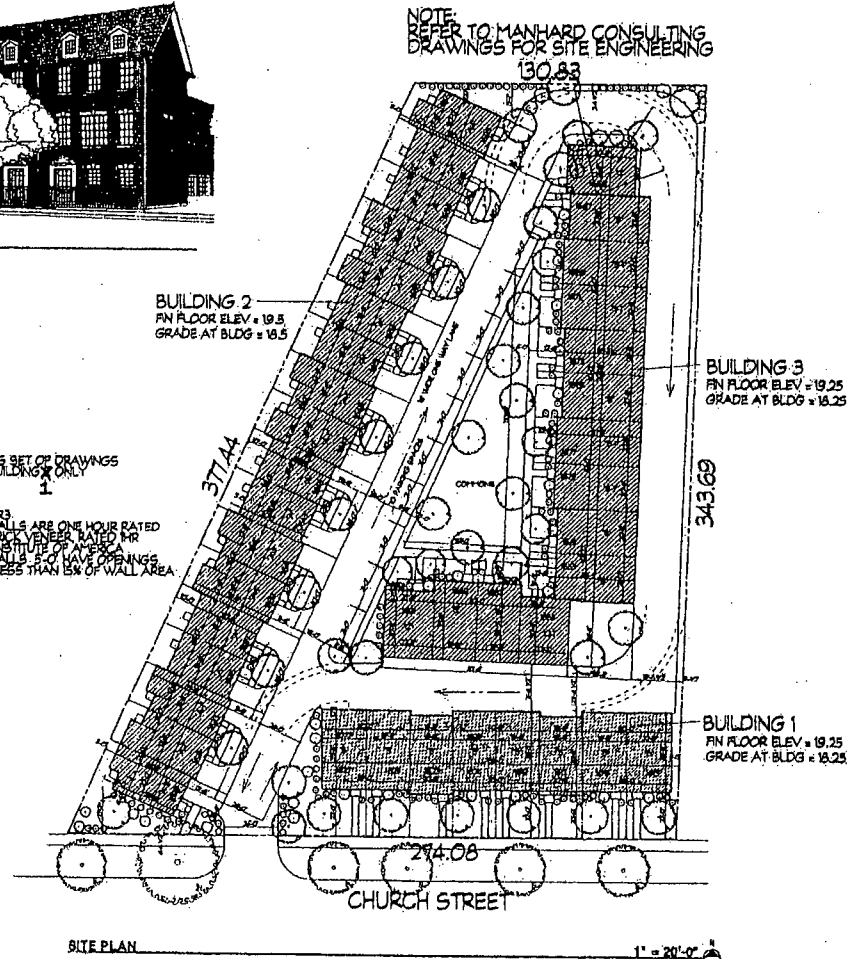




VIEW LOOKING NORTHWEST

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BUILDING SECTION
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PARTY WALL SECTION
- A16 THIRD FLOOR FRAMING PLAN
- A17 ROOF FRAMING PLAN



NOTE  
WORK IN THIS SET OF DRAWINGS  
INCLUDES BUILDING 1 ONLY

NOTE  
EXTERIOR WALLS ARE ONE HOUR RATED  
EXTERIOR WALL VENEER RATED MR  
PER ROOM VOLUME OF WALLS OF  
EXTERIOR WALLS SHALL HAVE RATING  
EQUAL TO LESS THAN 1/3 OF WALL AREA

A Townhome Development  
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Evanston, Illinois

Prepared for:  
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Evanston, Illinois



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of 17

1589 SHERMAN AVENUE SUITE 200 EVANSTON, ILLINOIS 60201 FAX: 847.968.7265 TELEPHONE 847.968.2550 DAVID SCHWARTZ ARCHITECTURE, LIMITED



---

## EXHIBITS / ATTACHMENTS

### 7) Architectural Plans – Building #1

[www.kinziegroup.com](http://www.kinziegroup.com)

212 West Kinzie Street, 3<sup>rd</sup> Floor, Chicago, Illinois 60654 • T: 312.464.8800 • F: 312.464.8801

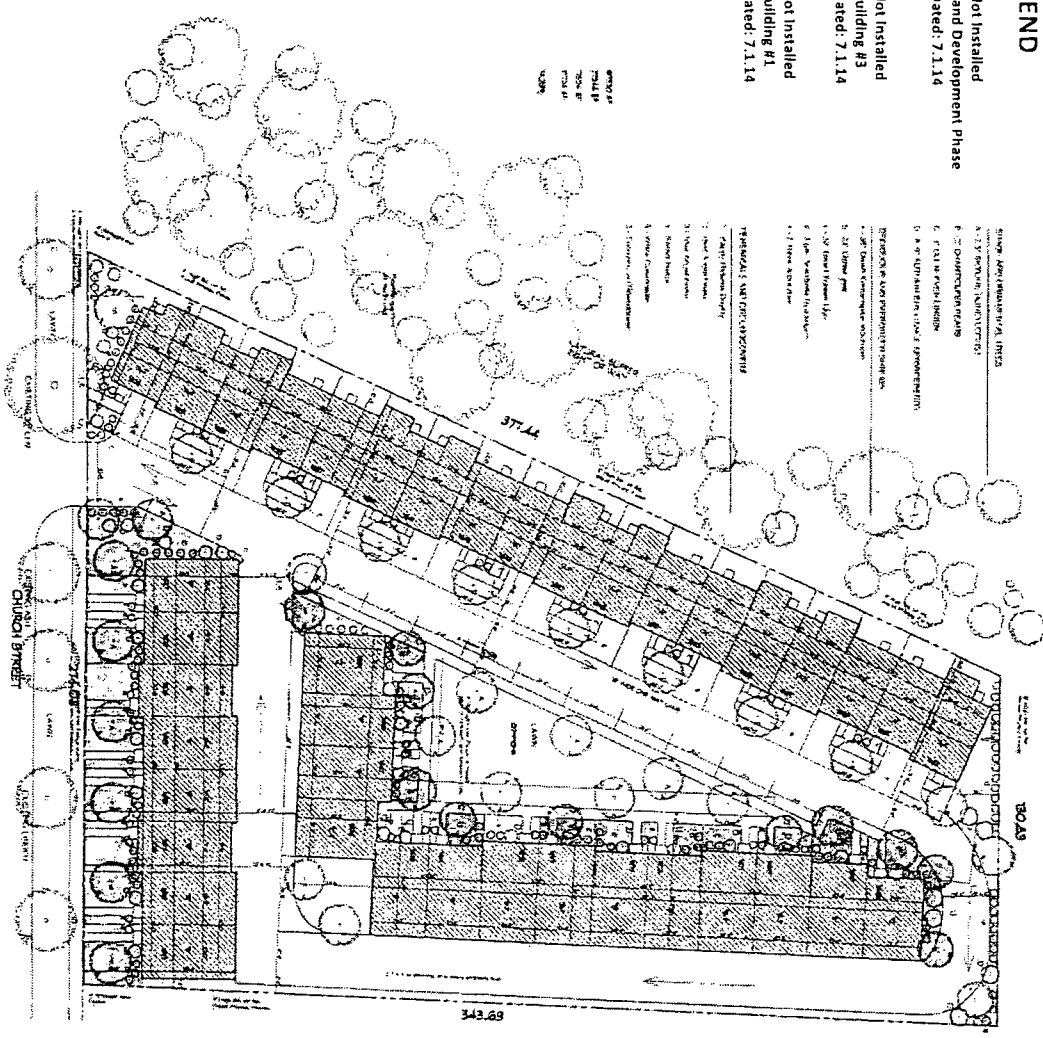
**LEGEND**

Not Installed  
Land Development Phase  
Dated: 7.1.14

Not Installed  
Building #3  
Dated: 7.1.14

Not Installed  
Building #1  
Dated: 7.1.14

NOT TO SCALE  
FOR REFERENCE ONLY  
DO NOT CONSIDER THIS AS A CONTRACT DOCUMENT  
FOR CONSTRUCTION



LANDSCAPE PLAN

1" = 20'-0"

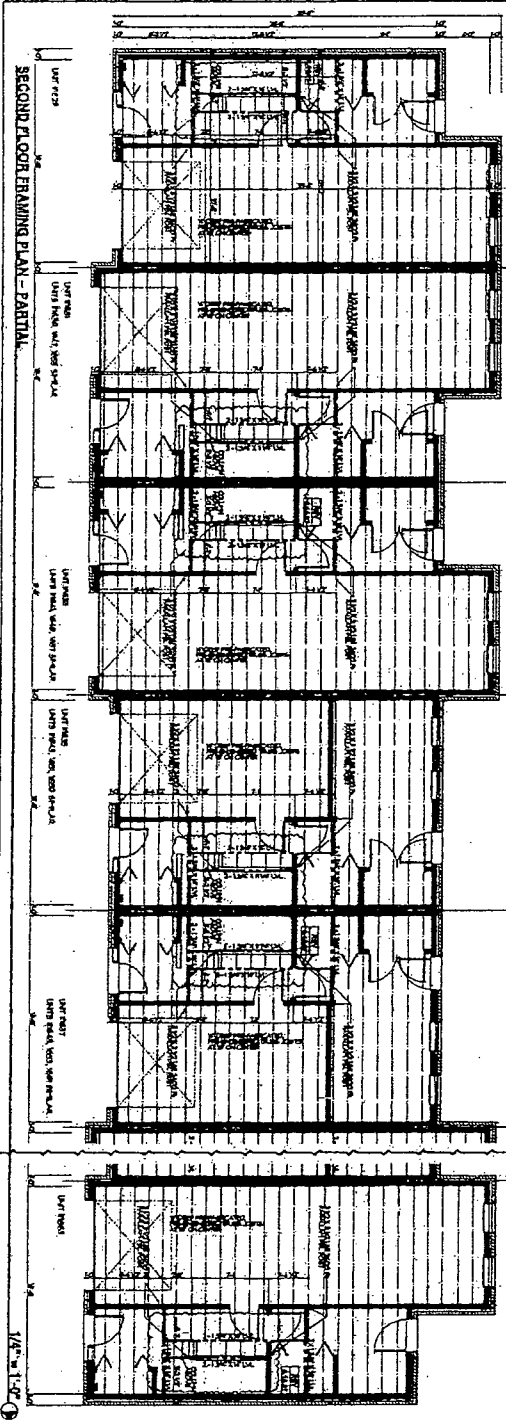
1.8.05

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Evanston, Illinois







**HEADER AND LINER SCHEDULE**

JOIST	2x10	SPACED @ 16" O.C.
BEAM	2x12	SPACED @ 16" O.C.
CEILING	1x6	SPACED @ 16" O.C.
FLOOR	1x6	SPACED @ 16" O.C.
WALL	2x4	SPACED @ 16" O.C.
ROOF	2x10	SPACED @ 16" O.C.

SEE FIRST FLOOR PLAN FOR UNIT LAYOUT

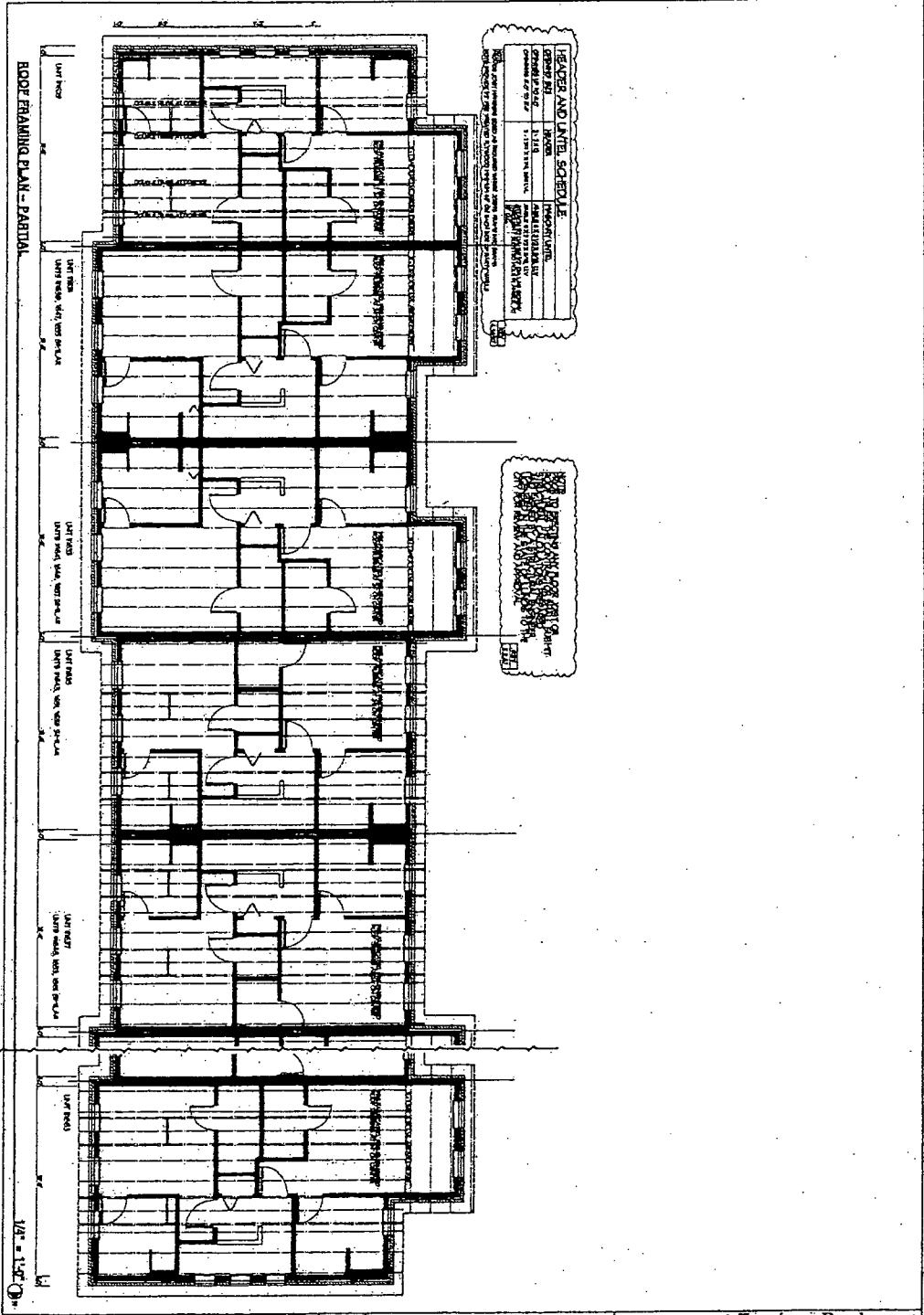
**A12**  
07/18

REVISIONS:  
1. REVISED PER COMMENTS FROM CLIENT  
2. REVISED PER COMMENTS FROM CLIENT  
3. REVISED PER COMMENTS FROM CLIENT  
4. REVISED PER COMMENTS FROM CLIENT

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**HEADER AND LINTEL SCHEDULE**

GENERAL NOTE	1. ALL UNITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2009 IBC AND ALL APPLICABLE LOCAL ORDINANCES.
GENERAL NOTE	2. ALL UNITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2009 IBC AND ALL APPLICABLE LOCAL ORDINANCES.
GENERAL NOTE	3. ALL UNITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2009 IBC AND ALL APPLICABLE LOCAL ORDINANCES.
GENERAL NOTE	4. ALL UNITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2009 IBC AND ALL APPLICABLE LOCAL ORDINANCES.
GENERAL NOTE	5. ALL UNITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2009 IBC AND ALL APPLICABLE LOCAL ORDINANCES.
GENERAL NOTE	6. ALL UNITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2009 IBC AND ALL APPLICABLE LOCAL ORDINANCES.
GENERAL NOTE	7. ALL UNITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2009 IBC AND ALL APPLICABLE LOCAL ORDINANCES.
GENERAL NOTE	8. ALL UNITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2009 IBC AND ALL APPLICABLE LOCAL ORDINANCES.
GENERAL NOTE	9. ALL UNITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2009 IBC AND ALL APPLICABLE LOCAL ORDINANCES.
GENERAL NOTE	10. ALL UNITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2009 IBC AND ALL APPLICABLE LOCAL ORDINANCES.

**REVISIONS**

NO.	DATE	DESCRIPTION
1	10/10/10	ISSUED FOR PERMIT
2	10/10/10	ISSUED FOR PERMIT
3	10/10/10	ISSUED FOR PERMIT
4	10/10/10	ISSUED FOR PERMIT
5	10/10/10	ISSUED FOR PERMIT
6	10/10/10	ISSUED FOR PERMIT
7	10/10/10	ISSUED FOR PERMIT
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9	10/10/10	ISSUED FOR PERMIT
10	10/10/10	ISSUED FOR PERMIT

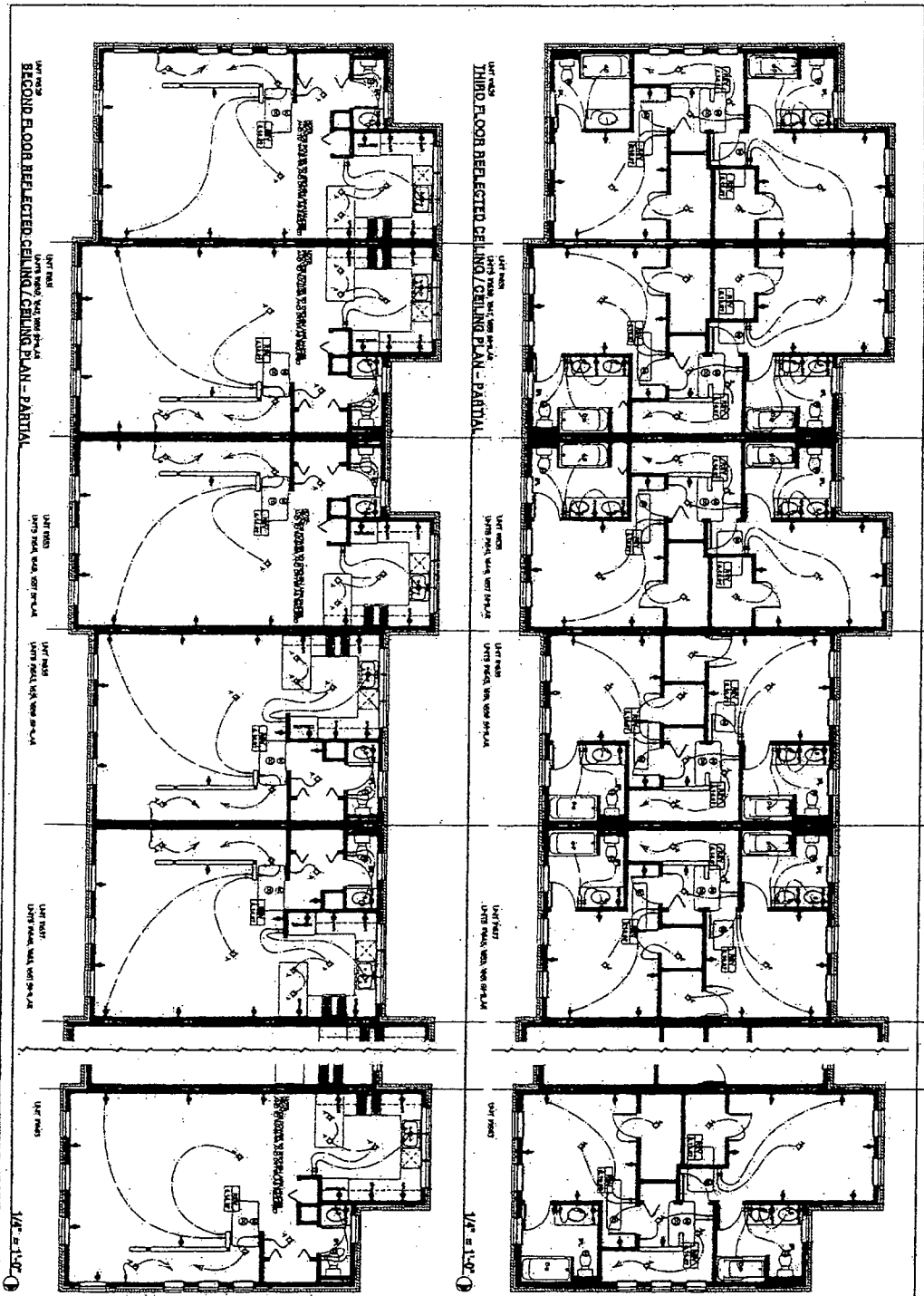
ROOF FRAMING PLAN - PARTIAL

REVISIONS  
 1. 10/10/10  
 2. 10/10/10  
 3. 10/10/10  
 4. 10/10/10  
 5. 10/10/10  
 6. 10/10/10  
 7. 10/10/10  
 8. 10/10/10  
 9. 10/10/10  
 10. 10/10/10

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UNIT #301  
UNIT #302  
UNIT #303  
UNIT #304  
UNIT #305  
SECOND FLOOR REFLECTED CEILING/CEILING PLAN - PARTIAL

UNIT #301  
UNIT #302  
UNIT #303  
UNIT #304  
UNIT #305  
THIRD FLOOR REFLECTED CEILING/CEILING PLAN - PARTIAL

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THESE PLANS  
HAVE BEEN  
REVIEWED  
AND APPROVED  
FOR CONSTRUCTION  
BY THE  
CITY OF EVANSTON

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## **EXHIBITS / ATTACHMENTS**

### **9) Architectural Plans – Building #3**

[www.kinziegroup.com](http://www.kinziegroup.com)

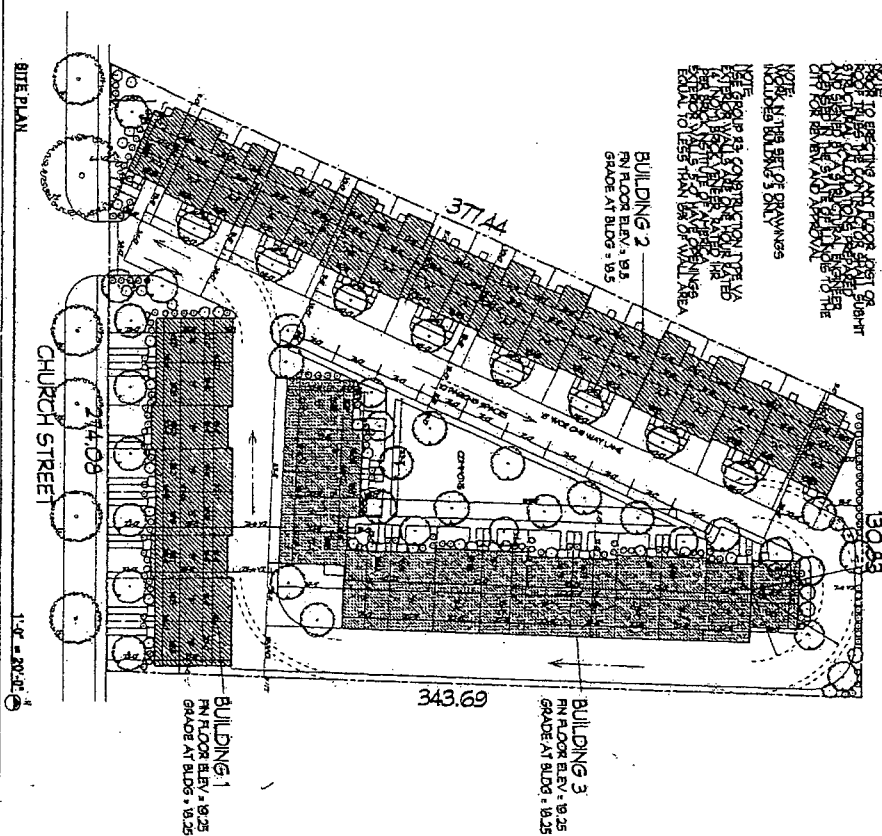
212 West Kinzie Street, 3<sup>rd</sup> Floor, Chicago, Illinois 60654 · T: 312.464.8800 · F: 312.464.8801

**NOTE TO MANHARD CONSULTING  
DRAWINGS FOR SITE ENGINEERING**

NOTE TO ENGINEER: ALL FLOOR ELEVATIONS SHOWN ON THIS DRAWING ARE TO FINISH GRADE UNLESS OTHERWISE NOTED. ALL GRADES ARE TO BE VERIFIED BY THE ENGINEER. ALL DIMENSIONS ARE TO THE CENTERLINE UNLESS OTHERWISE NOTED.

NOTE: ALL OTHER SETS OF DRAWINGS

NOTE: GRADE 83 CONSTRUCTION TYPE WAS USED FOR ALL WALLS AND FOUNDATIONS. ALL FOUNDATIONS SHALL BE CONSTRUCTED TO A MINIMUM OF 18 INCHES BELOW FINISH GRADE UNLESS OTHERWISE NOTED.



**INDEX TO DRAWINGS**

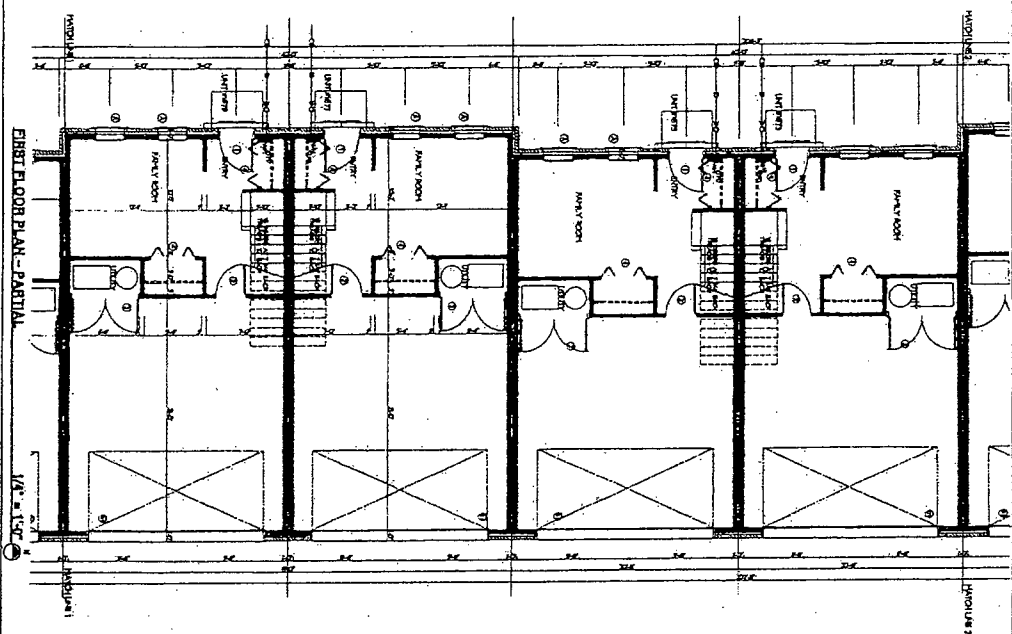
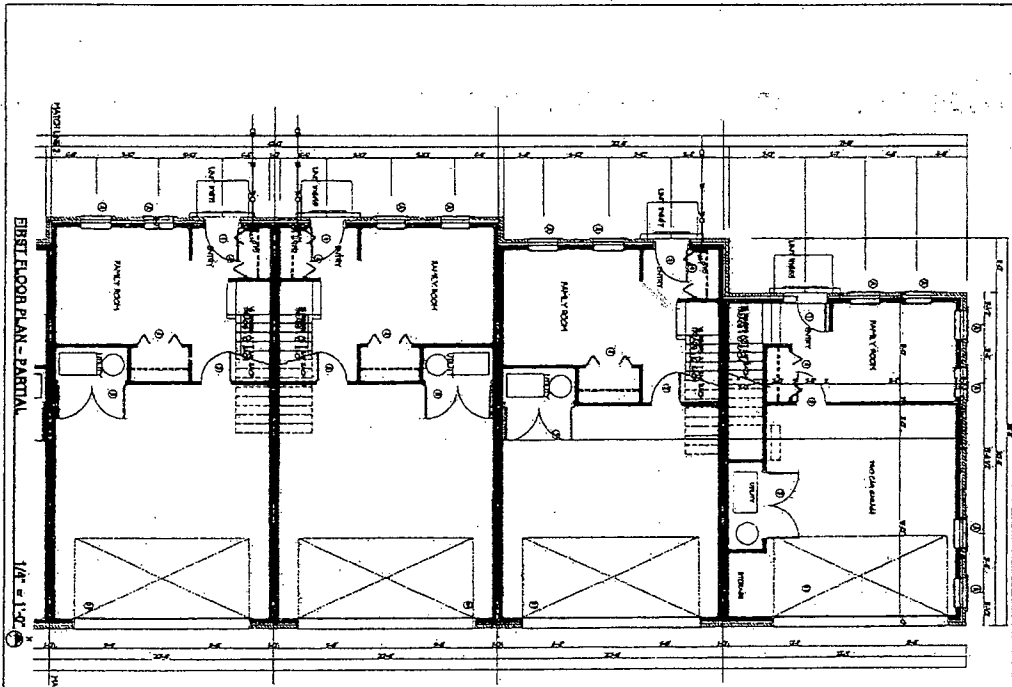
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**DAVID SCHMITT**  
 ARCHITECT  
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 847.868.8250







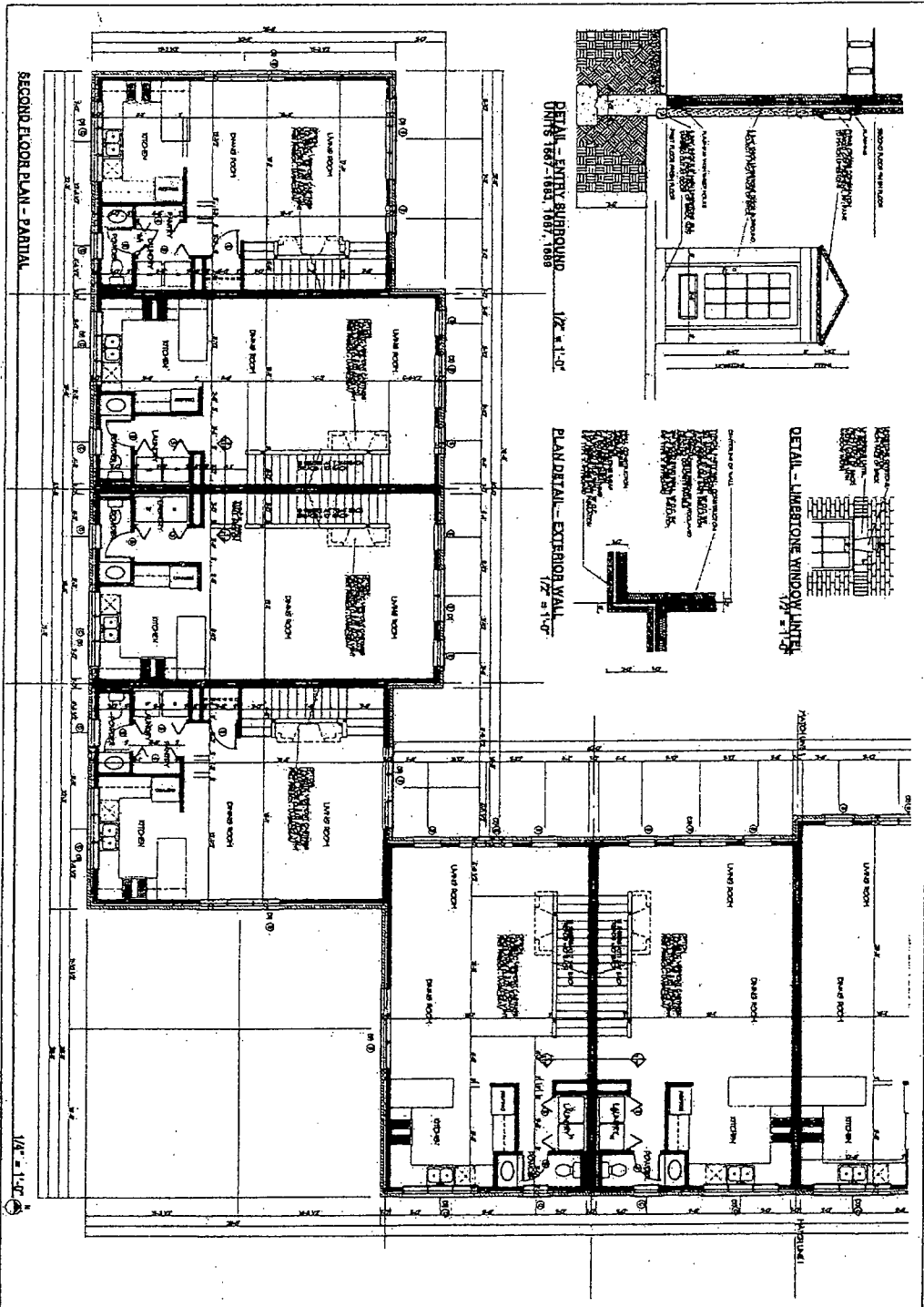


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8.26.07  
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 of 30



SECOND FLOOR PLAN - PARTIAL

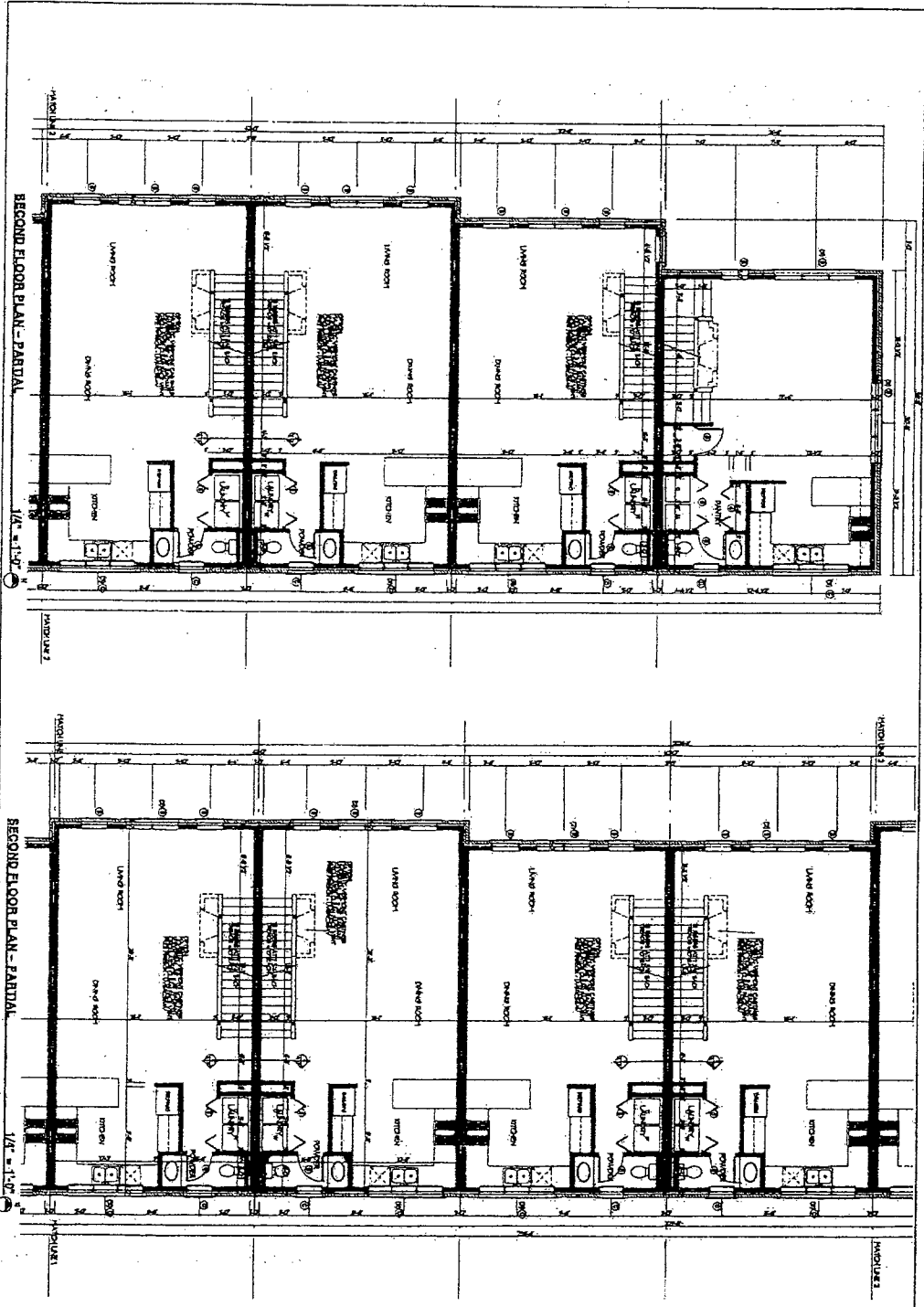
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1/4" = 1'-0"

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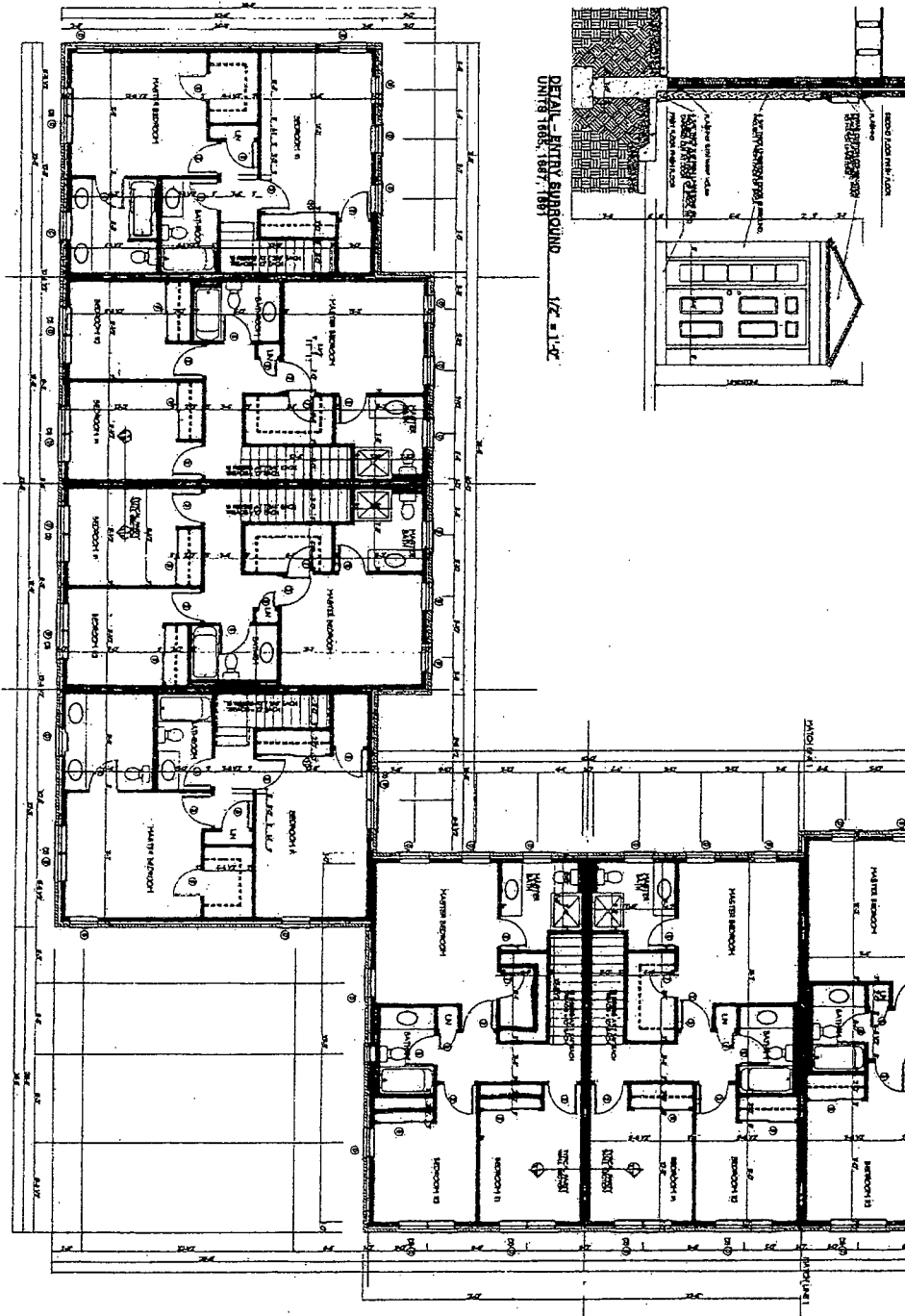
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<b>A6</b> of 30	6.28.07	prepared for: <b>Church Street Village, LLC</b> Evanston, Illinois	A Townhome Development <b>Church Street Village</b> 1665 - 1691 Church Street • Evanston, Illinois
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THIRD FLOOR PLAN - PARTIAL

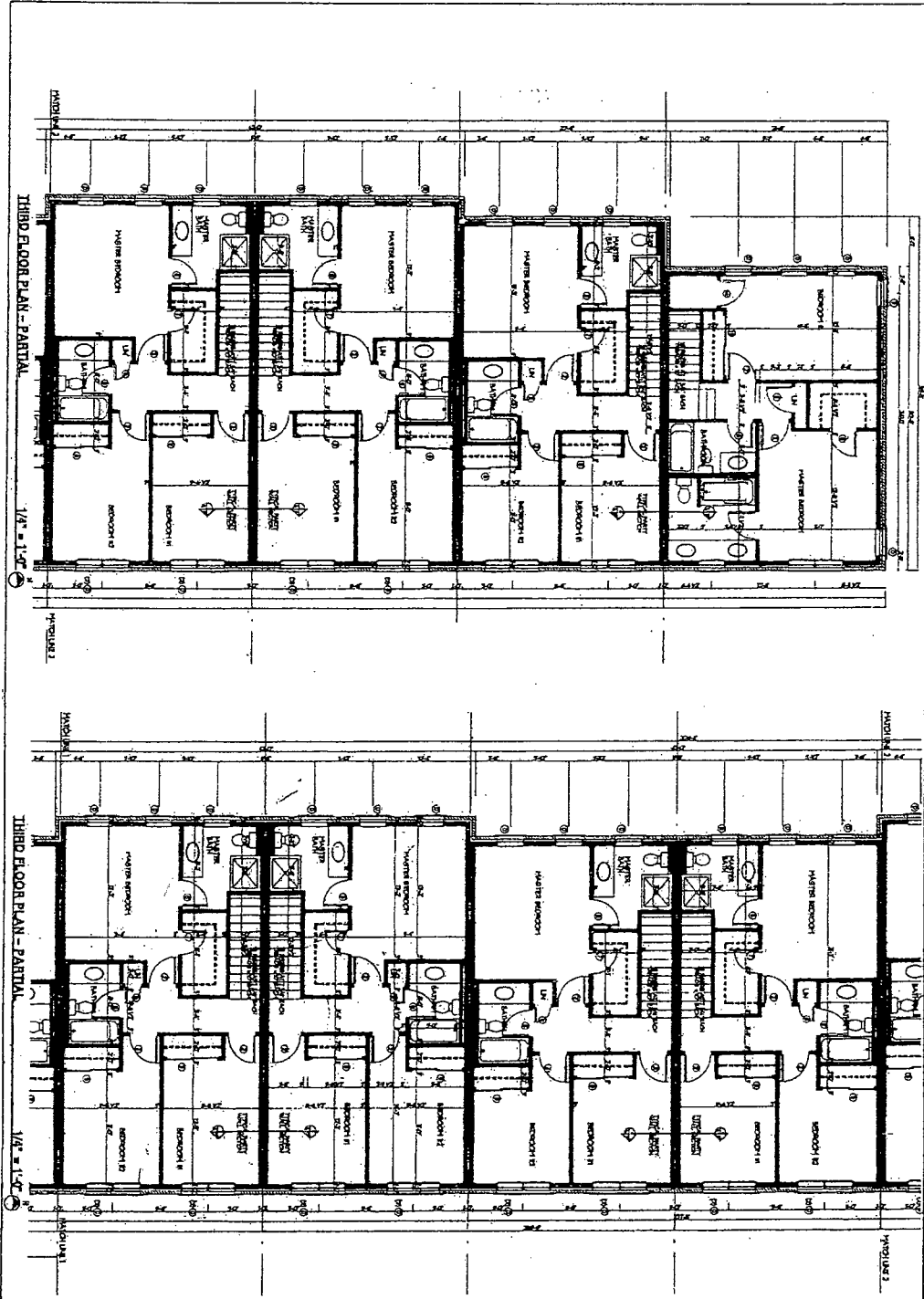


DETAIL - ENTRY SIGNING 1/2" = 1'-0"

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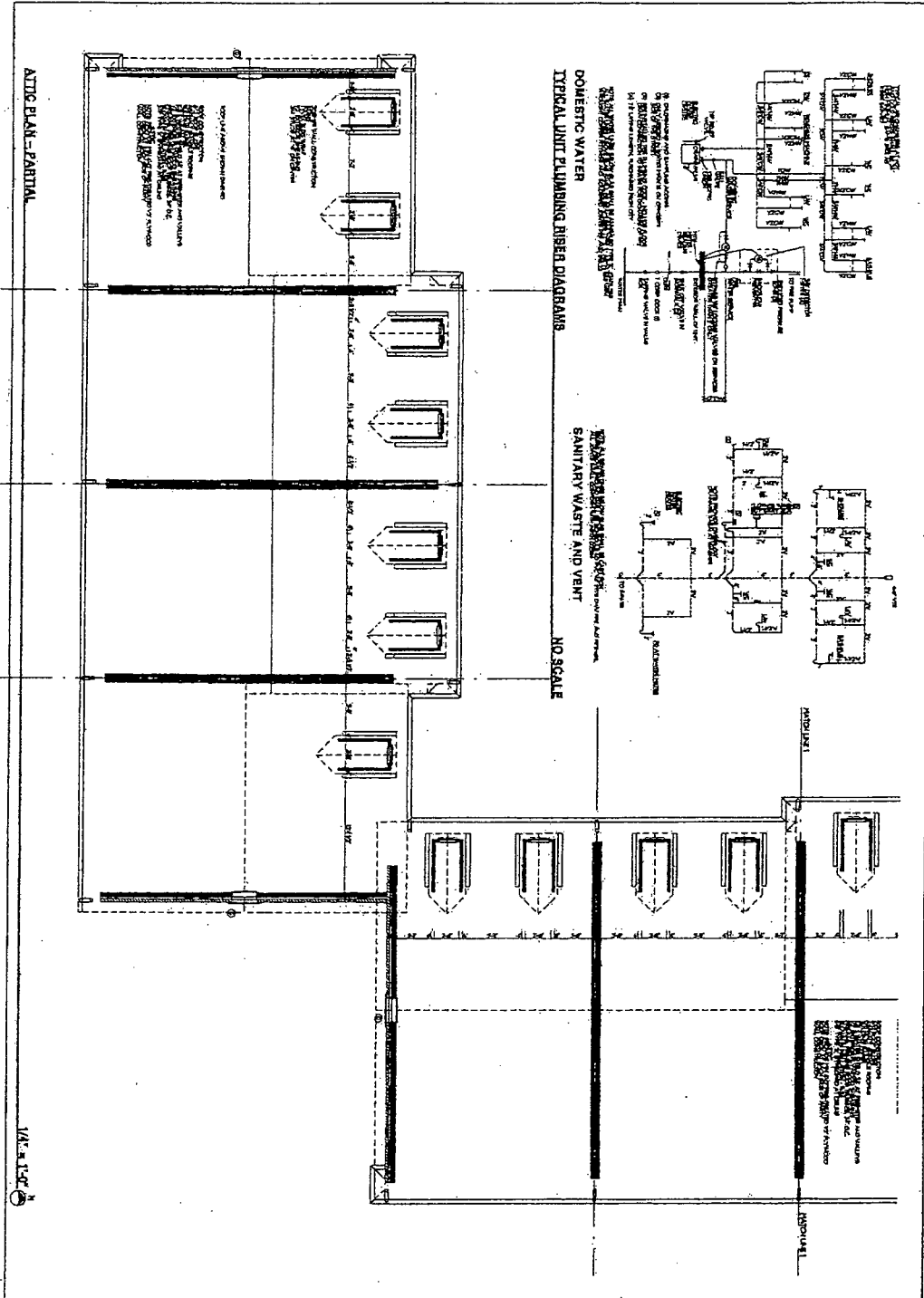
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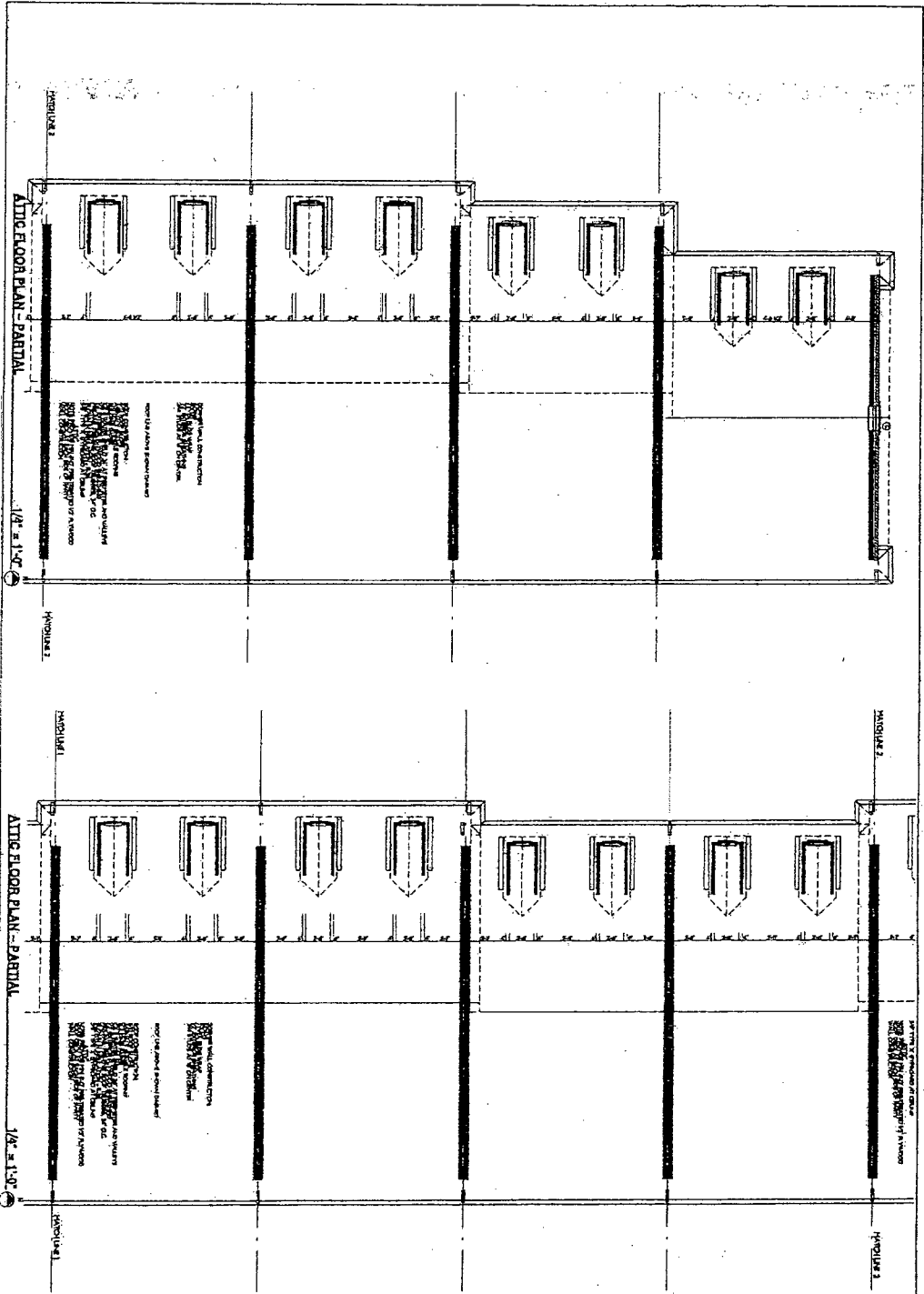
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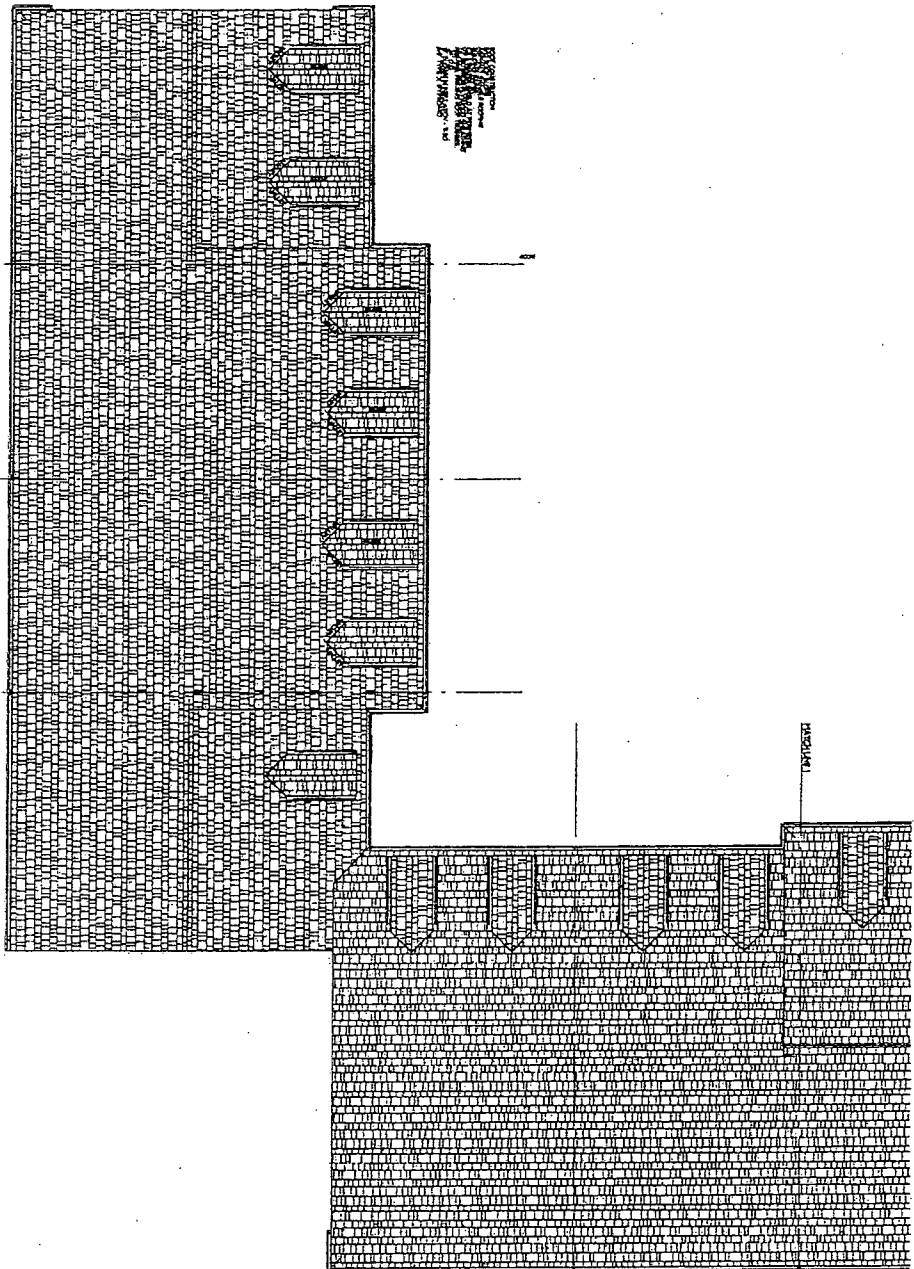
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ROOF PLAN - PARTIAL



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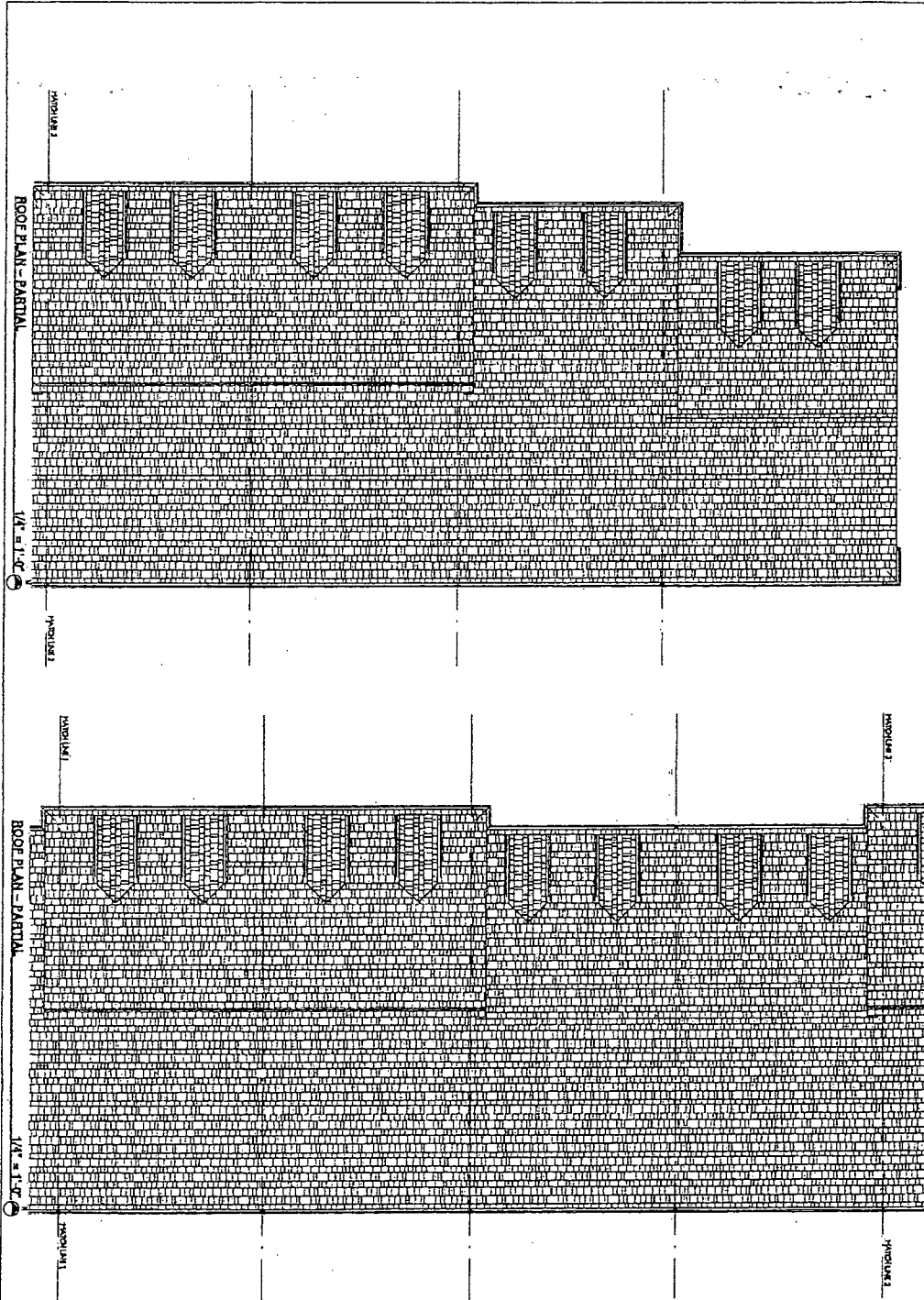
1/8" = 1'-0"

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of 30

6.26.07

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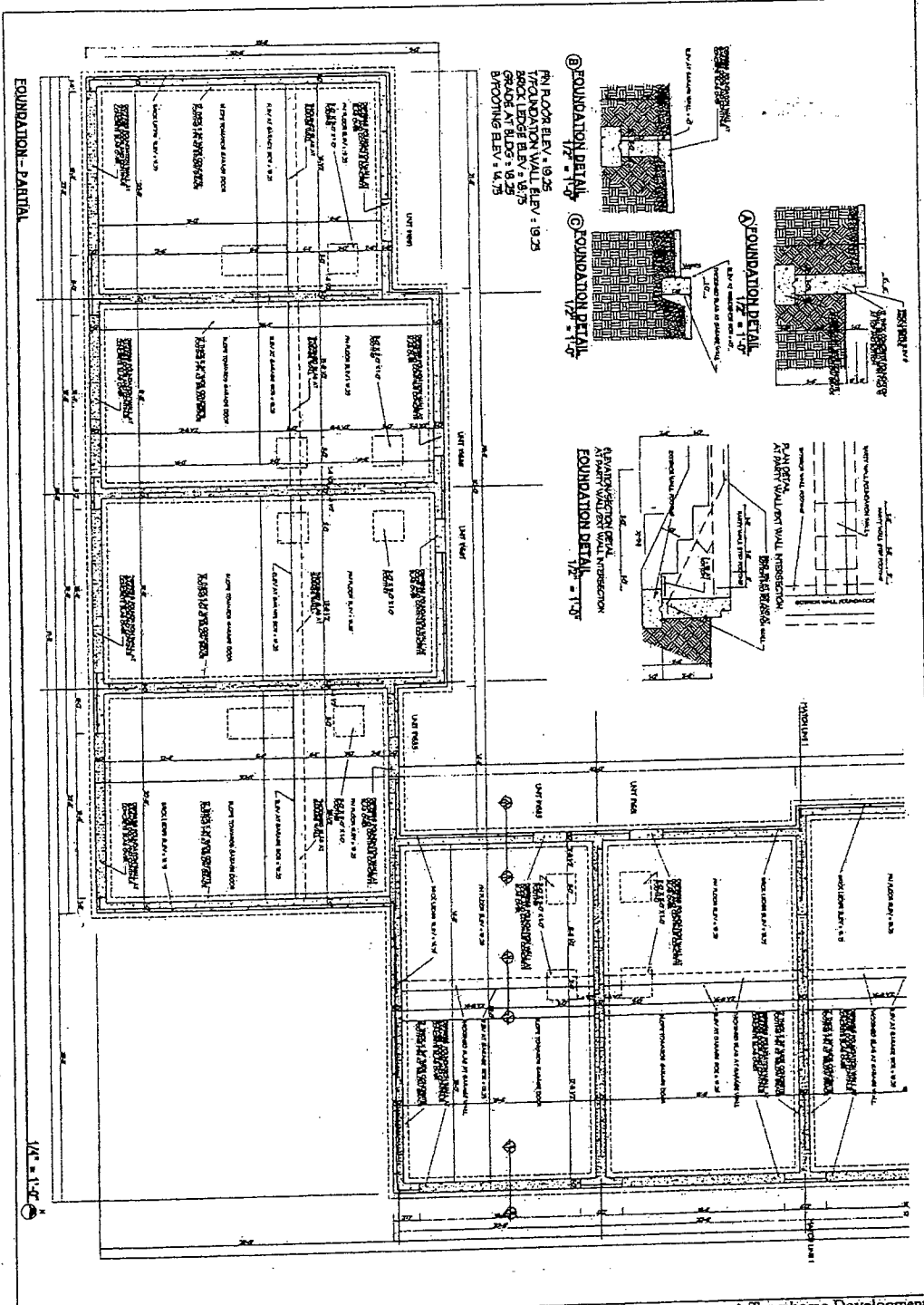
A Townhome Development  
**Church Street Village**  
 1665 - 1691 Church Street • Evanston, Illinois



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0.28.07

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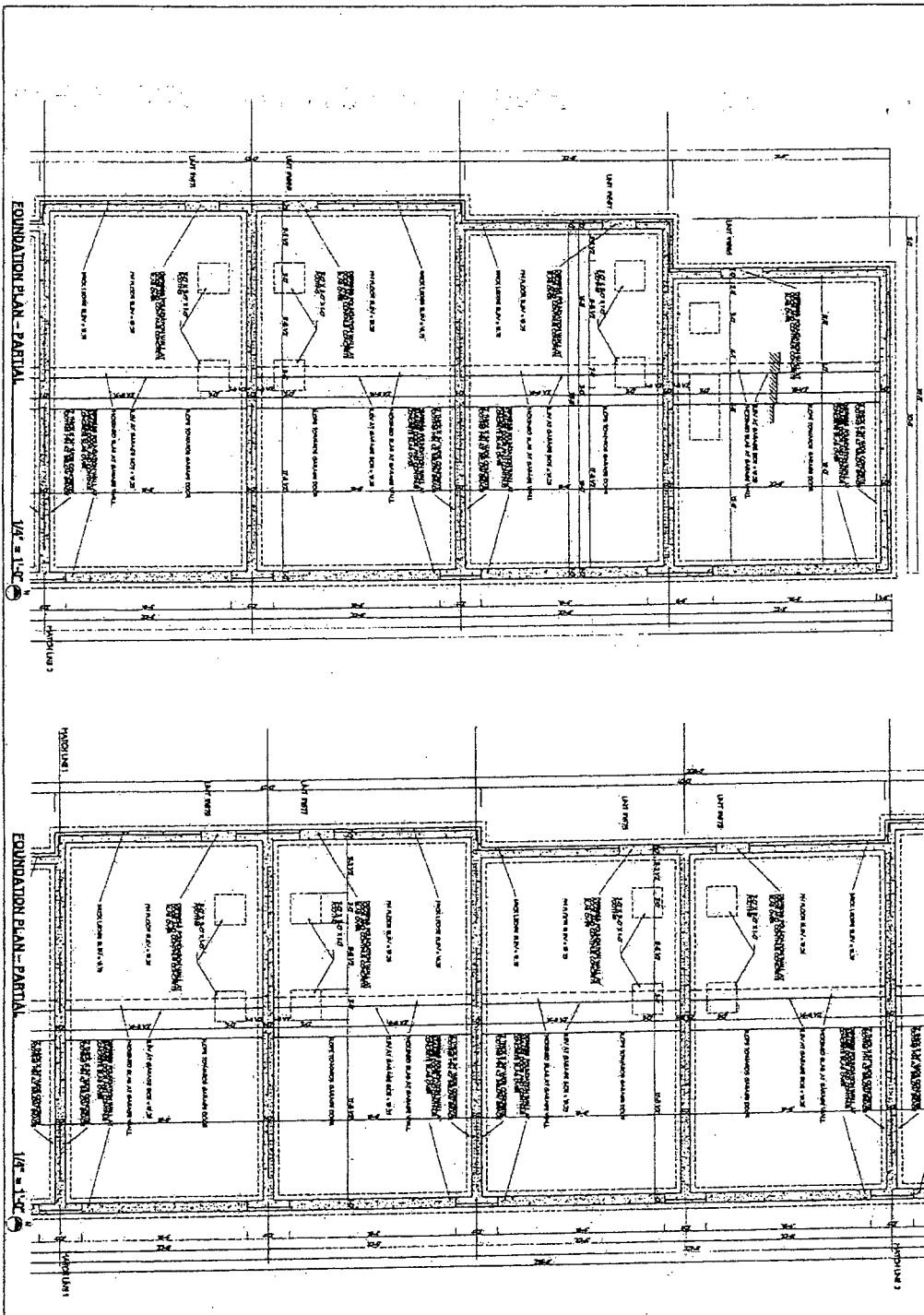
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1665 - 1691 Church Street • Evanston, Illinois



prepared for:  
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 DAVID SCHWITT ARCHITECTURE LIMITED

1/8" = 1'-0"  
**A13**  
 1/8" = 1'-0"  
 01/30



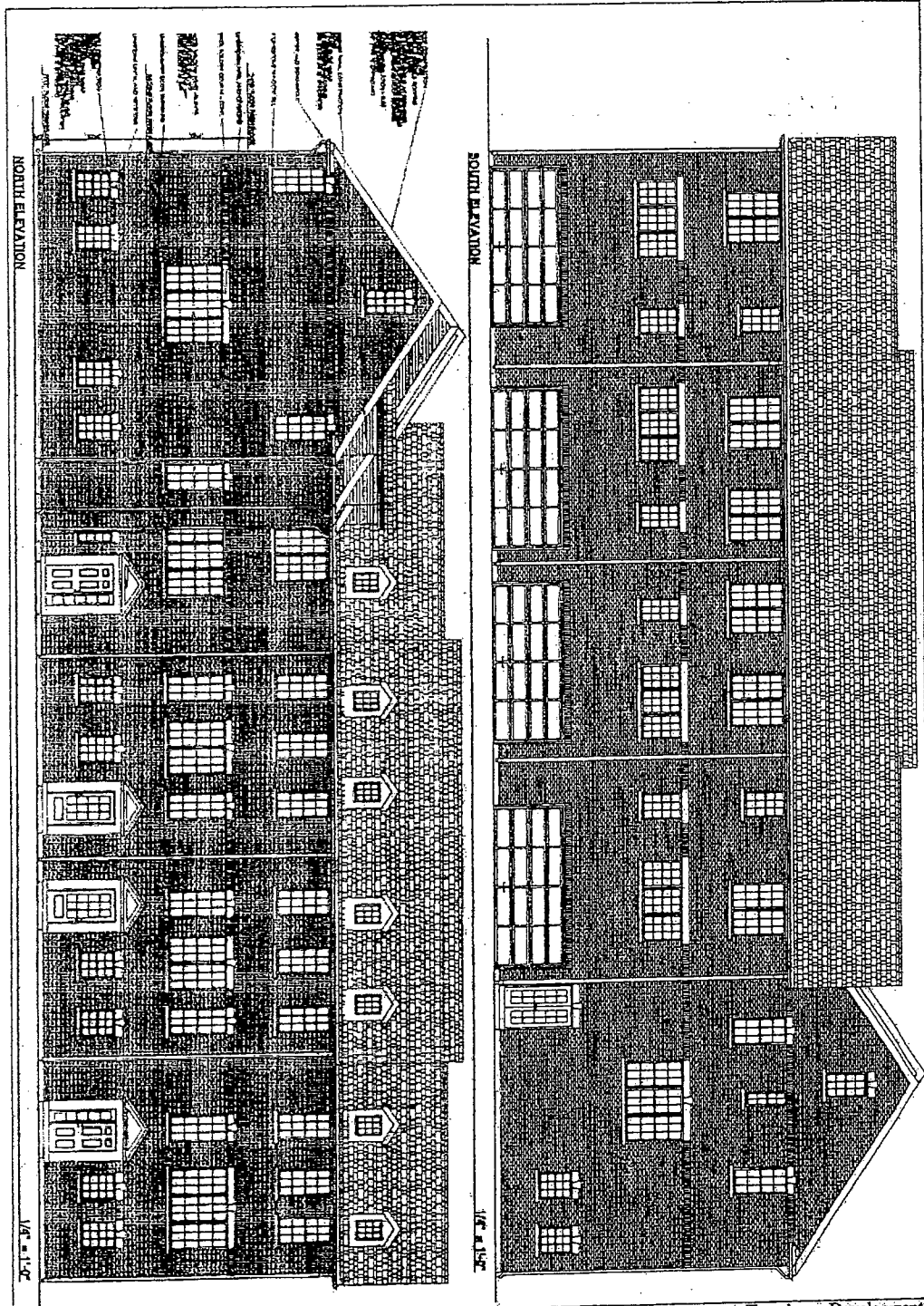
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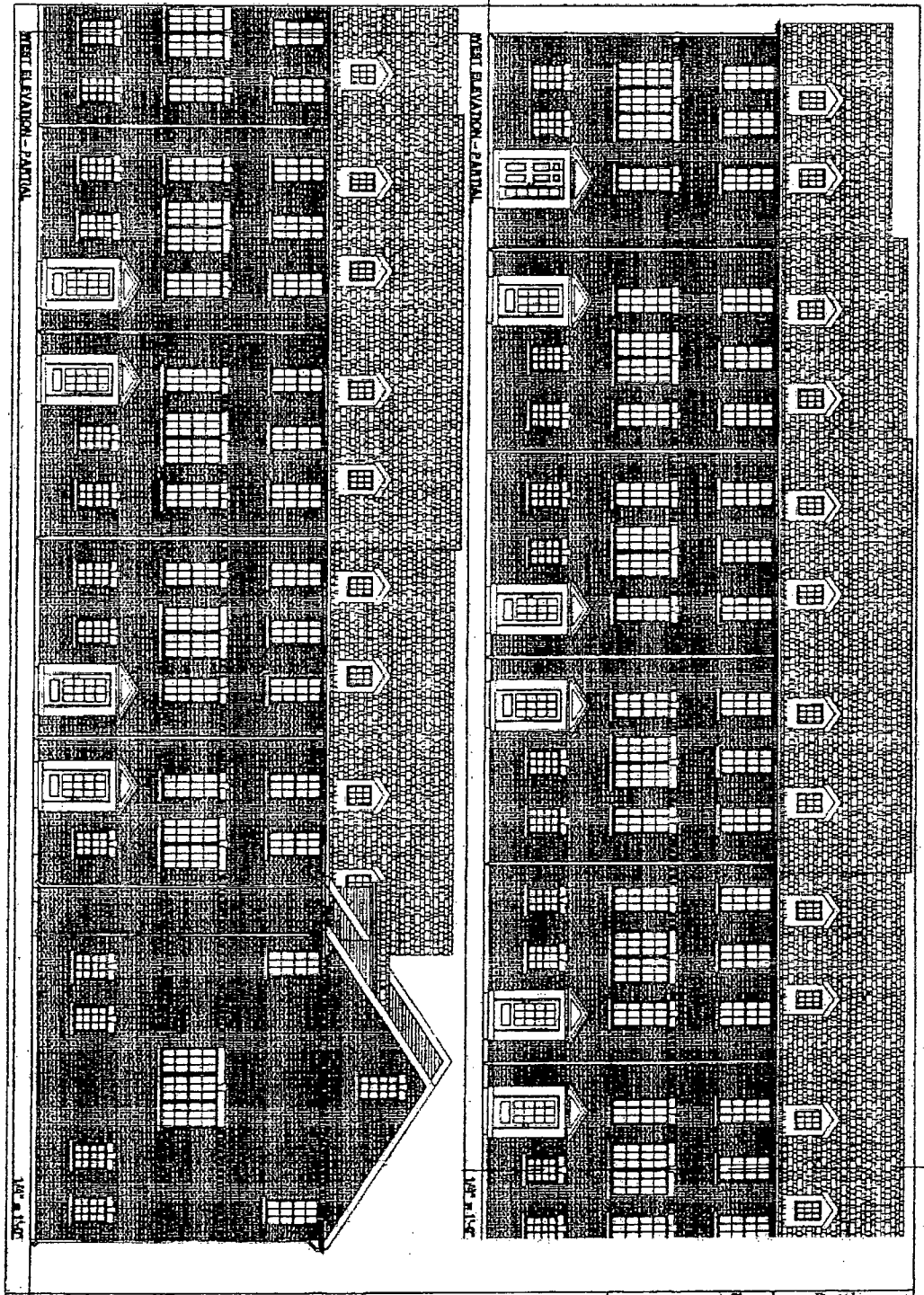


1/8" = 1'-0"  
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WEST ELEVATION - PARTIAL

WEST ELEVATION - PARTIAL

18' 0" x 13' 0"

18' 0" x 13' 0"

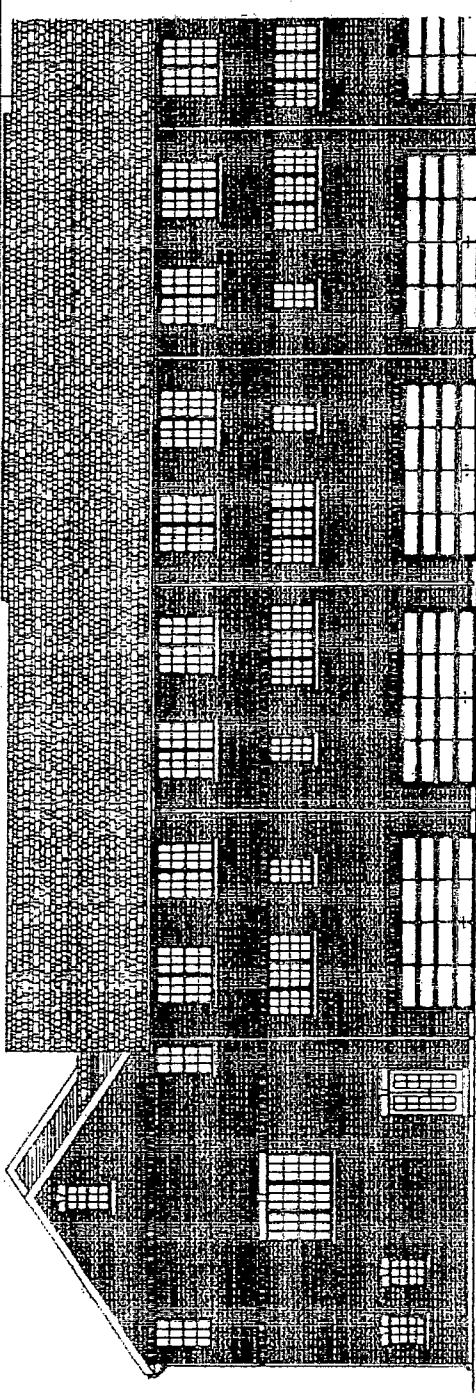
<p>08 of 08 <b>A16</b> PLAN</p>	<p>prepared for: <b>Church Street Village, LLC</b> Evanston, Illinois</p>	<p>A Townhome Development <b>Church Street Village</b> 1665 - 1691 Church Street • Evanston, Illinois</p>
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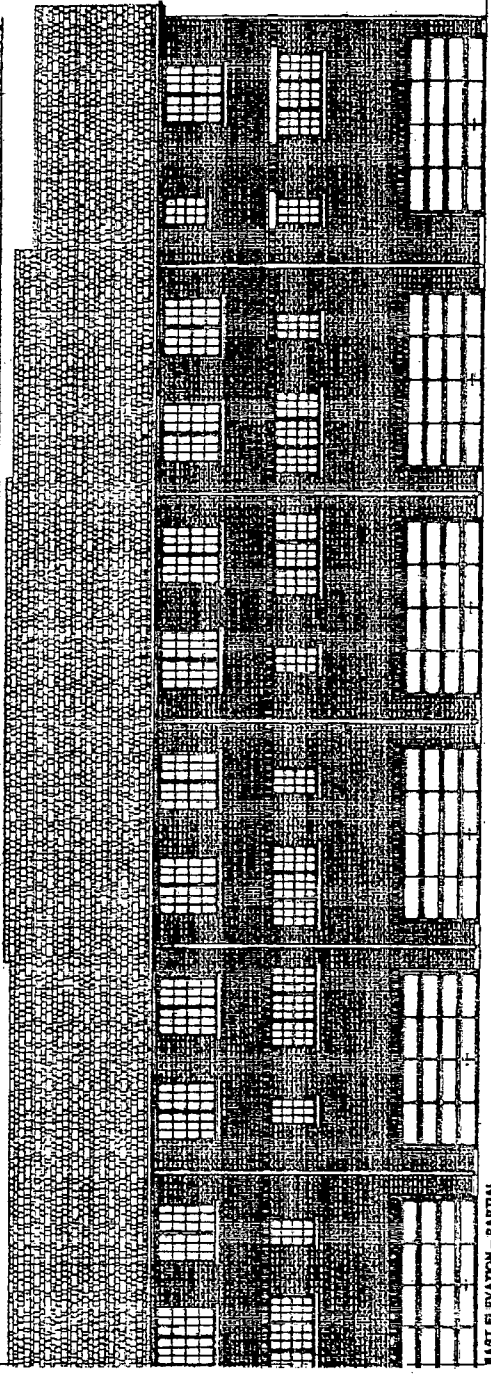


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Evanston, Illinois  
Prepared for:  
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L. BRAY  
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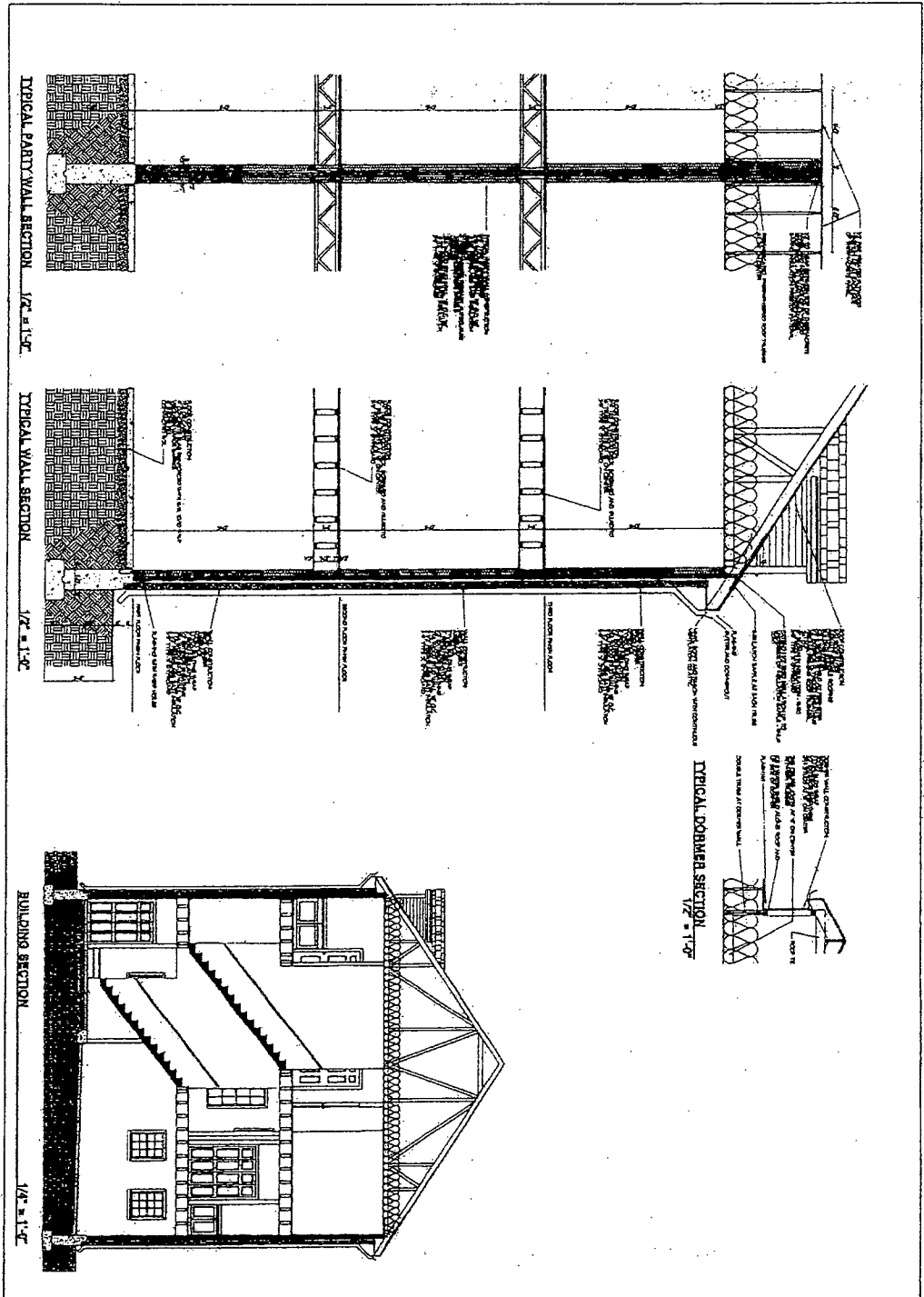


EAST ELEVATION - PARTIAL



WEST ELEVATION - PARTIAL



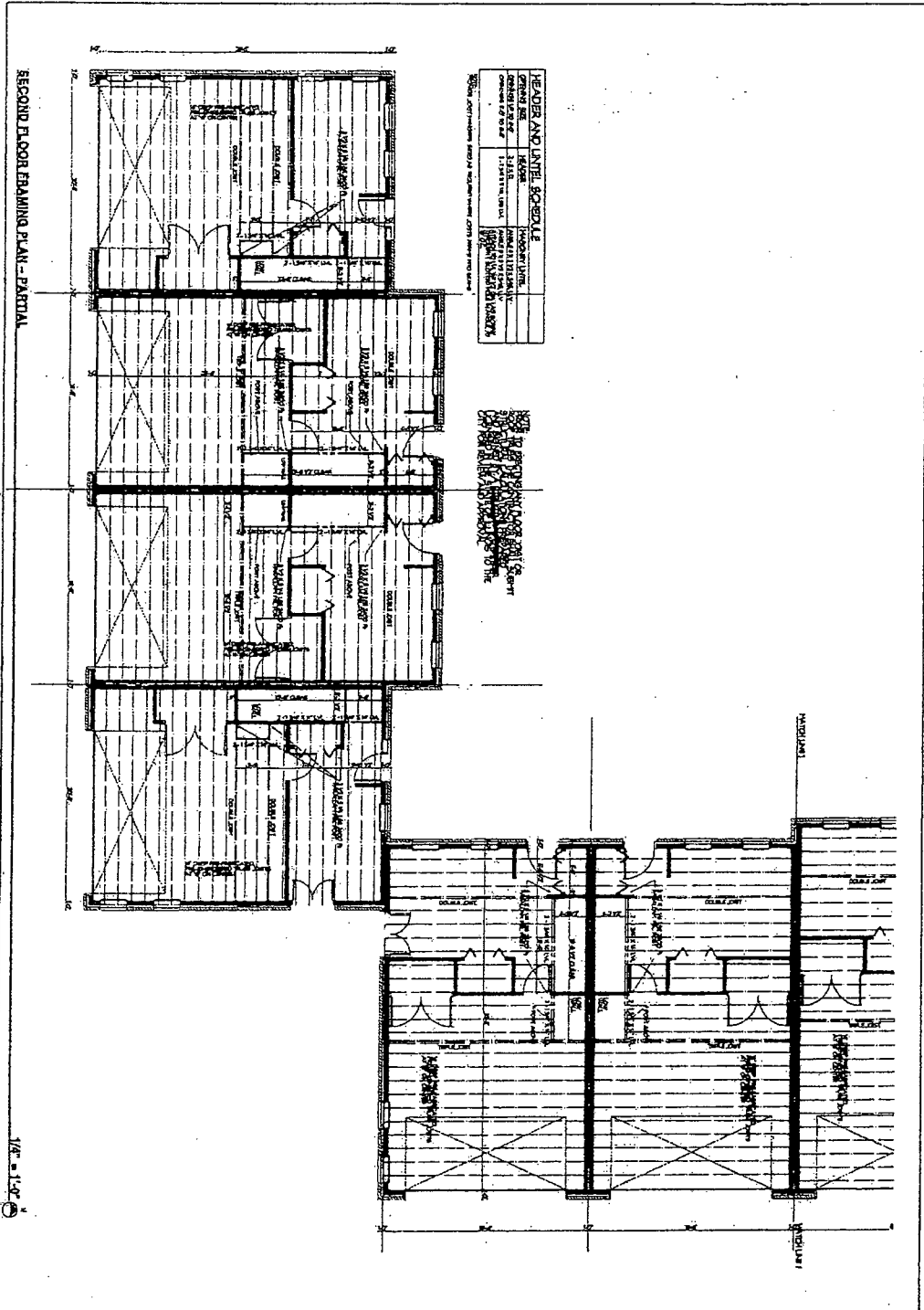


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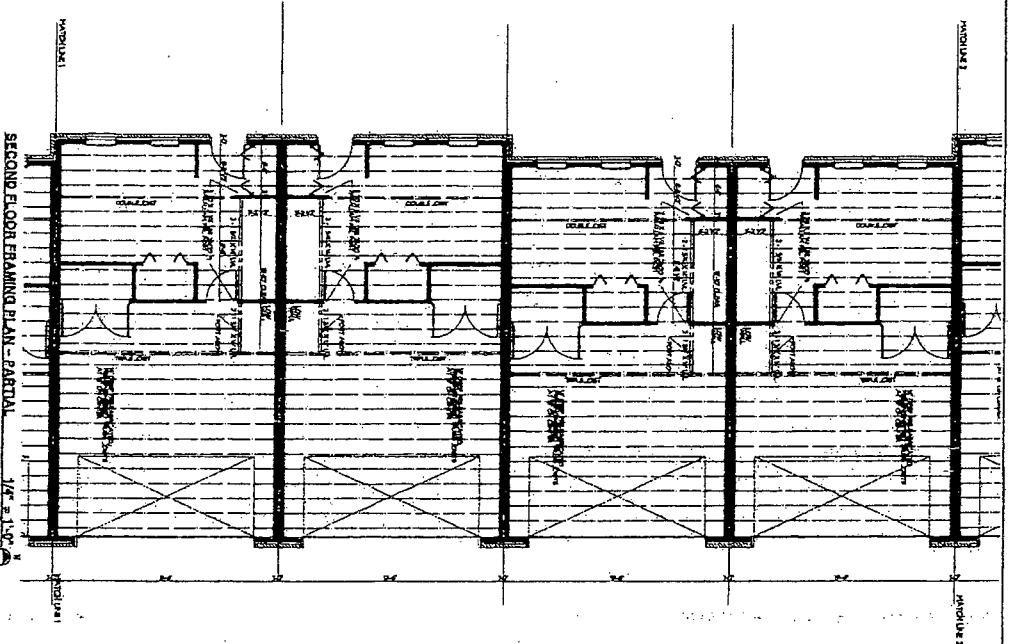
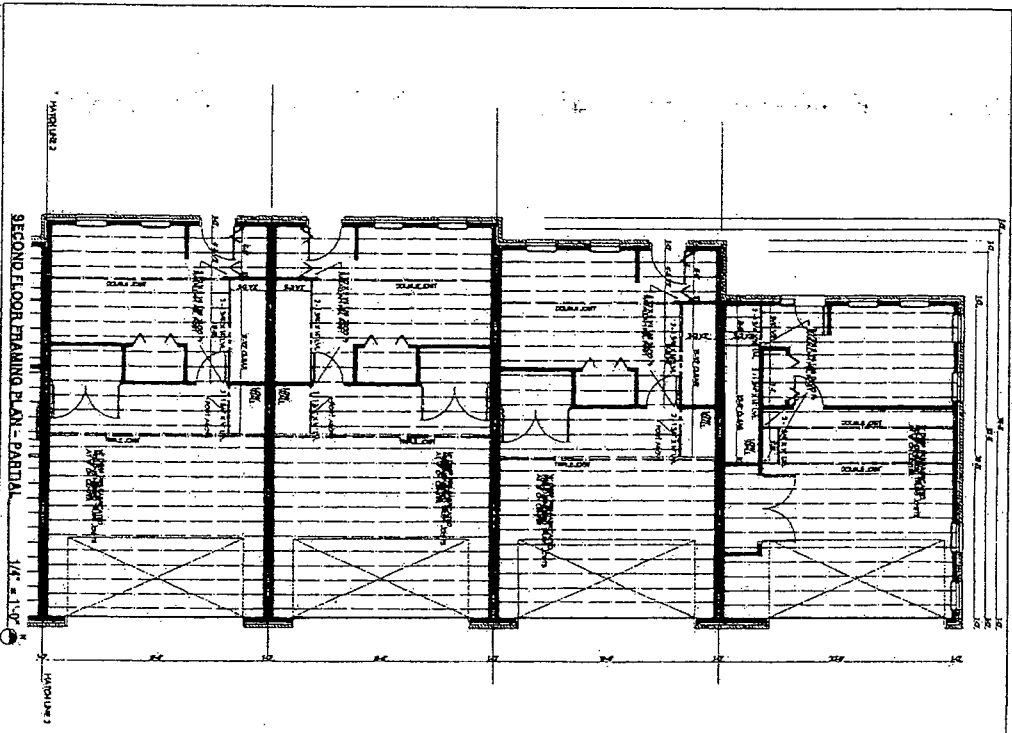
HEADLINE AND PANEL SCHEDULE	
GENERAL NO.	1000
DATE	11/15/07
PROJECT NO.	11-11507-001
PROJECT NAME	CHURCH STREET VILLAGE
PROJECT ADDRESS	1665 - 1691 CHURCH STREET, EVANSTON, ILLINOIS
PROJECT OWNER	CHURCH STREET VILLAGE, LLC
PROJECT ARCHITECT	DAVID SCHMITT ARCHITECTURE LIMITED

ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE

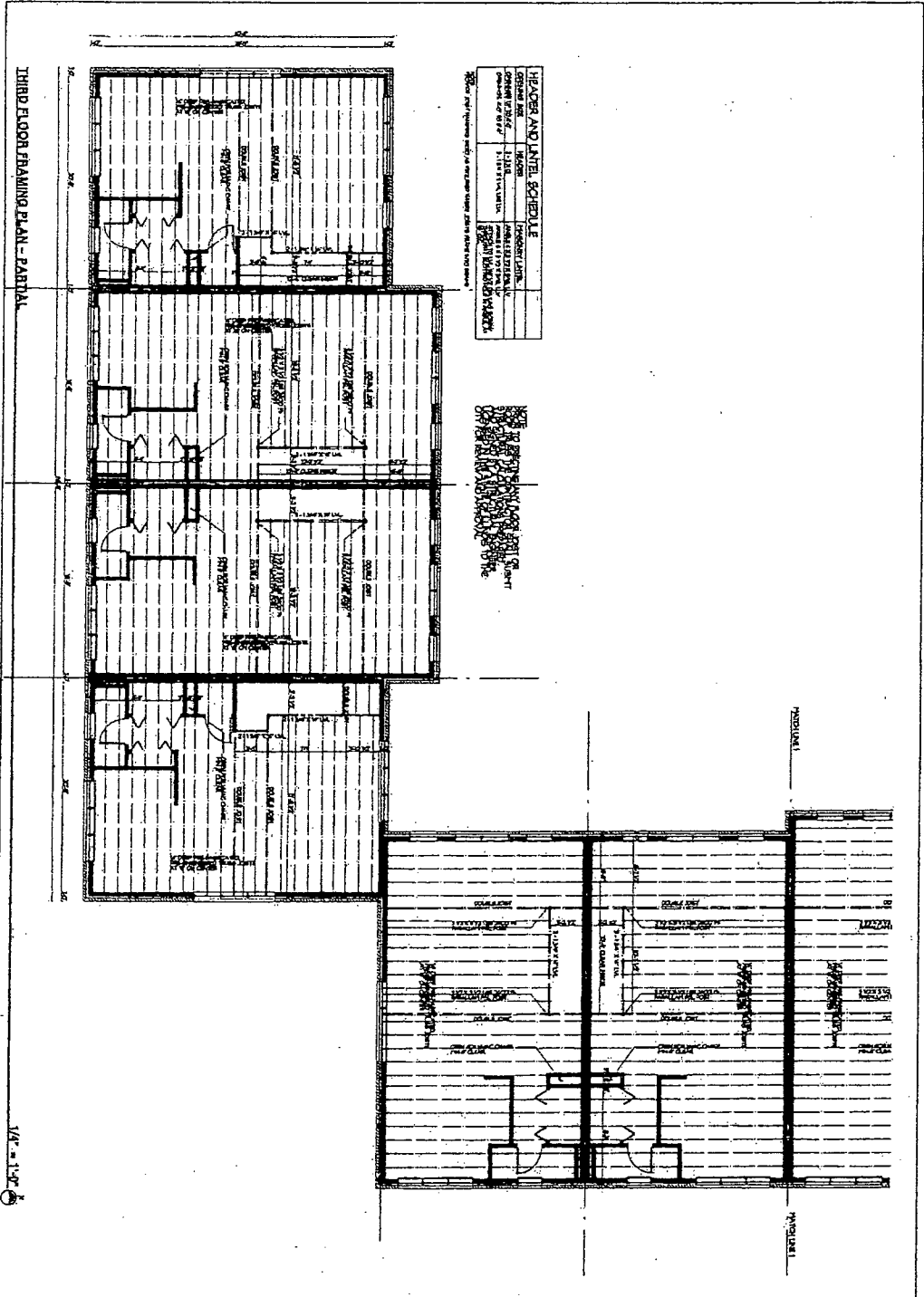
SECOND FLOOR FRAMING PLAN - PARTIAL

1/4" = 1'-0"

<b>A19</b> of 30	8.16.07	prepared for: <b>Church Street Village, LLC</b> Evanston, Illinois	A Townhome Development <b>Church Street Village</b> 1665 - 1691 Church Street - Evanston, Illinois
	1569 SHERMAN AVENUE SUITE 200 - EVANSTON, ILLINOIS 60291 FAX 847.866.7285 TELEPHONE 847.866.3250 DAVID SCHMITT ARCHITECTURE LIMITED		



<b>A20</b> <small>of 30</small>	<small>DATE</small> 1.24.07	<small>PREPARED FOR</small> <b>Church Street Village, LLC</b> Evanston, Illinois	<small>A Townhome Development</small> <b>Church Street Village</b> 1665 - 1691 Church Street - Evanston, Illinois
	<small>1589 SHERMAN AVENUE SUITE 200 EVANSTON, ILLINOIS 60201 FAX 847.866.7285 TELEPHONE 847.866.8250</small>		<small>DAVID SCHMITT ARCHITECTURE LIMITED</small>

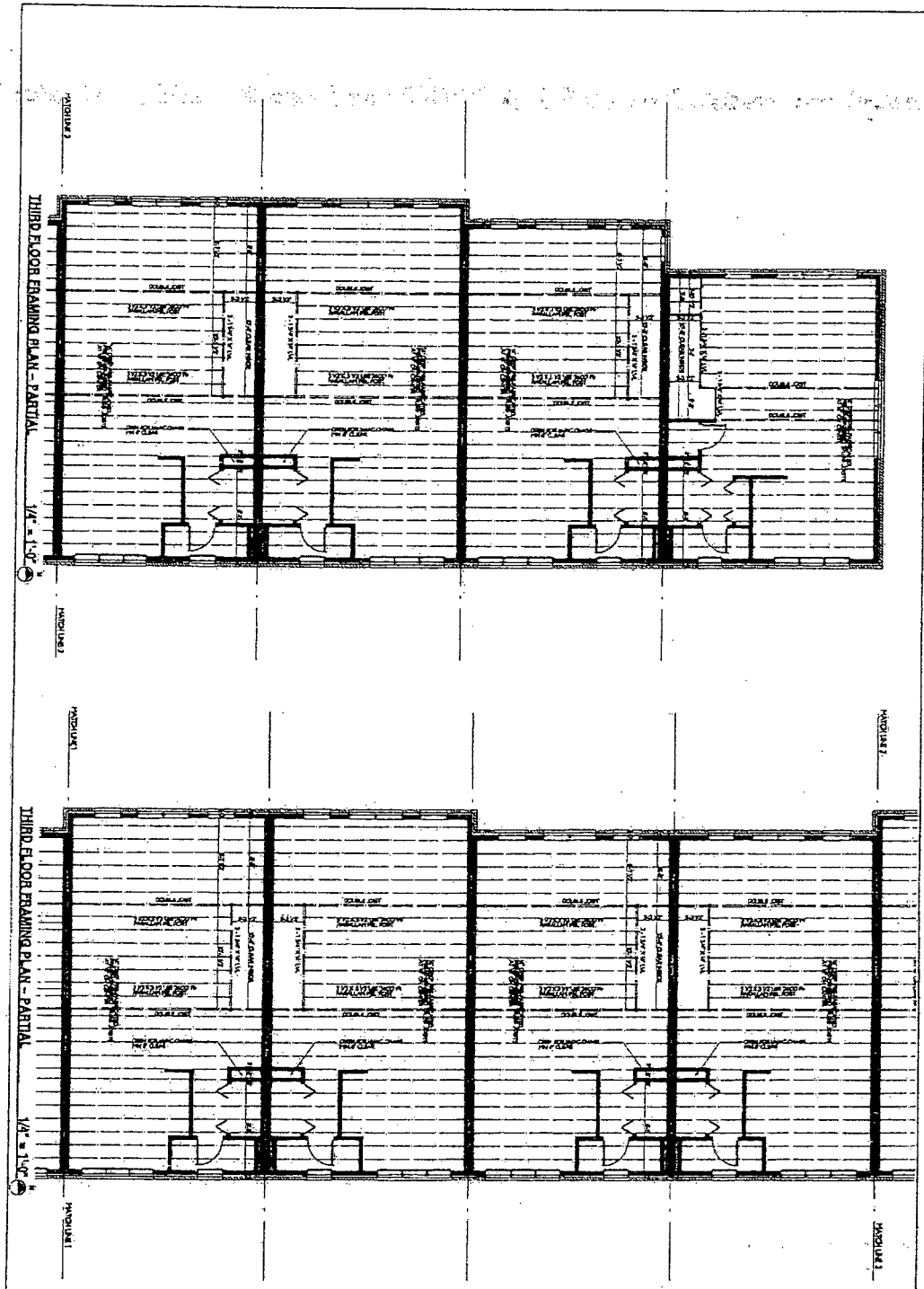


**HEADS AND INTEL. SCHEDULE**

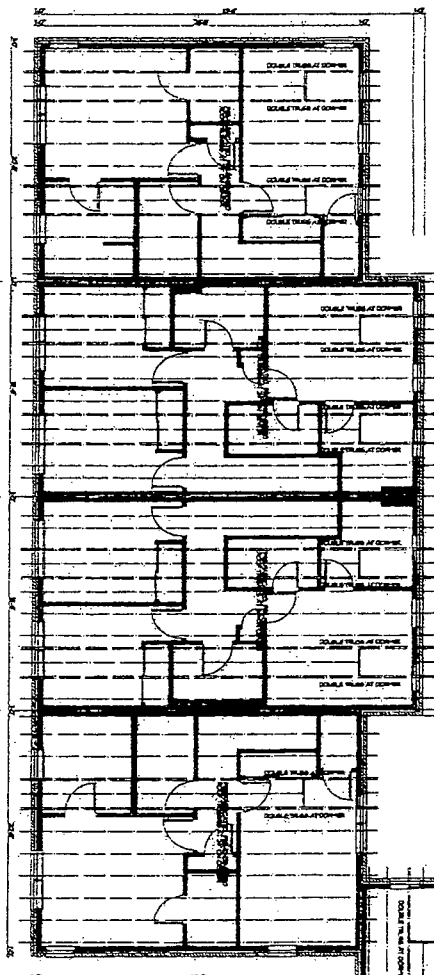
GENERAL NOTE	WORK	DESCRIPTION
1. ALL JOISTS TO BE 2X12 S.P.F.	JOIST	2X12 S.P.F.
2. ALL BEAMS TO BE 4X12 S.P.F.	BEAM	4X12 S.P.F.
3. ALL COLUMNS TO BE 12\"/>		

ALL JOISTS TO BE 2X12 S.P.F.  
ALL BEAMS TO BE 4X12 S.P.F.  
ALL COLUMNS TO BE 12\"/>

5.18.07  
**A21**  
 of 30

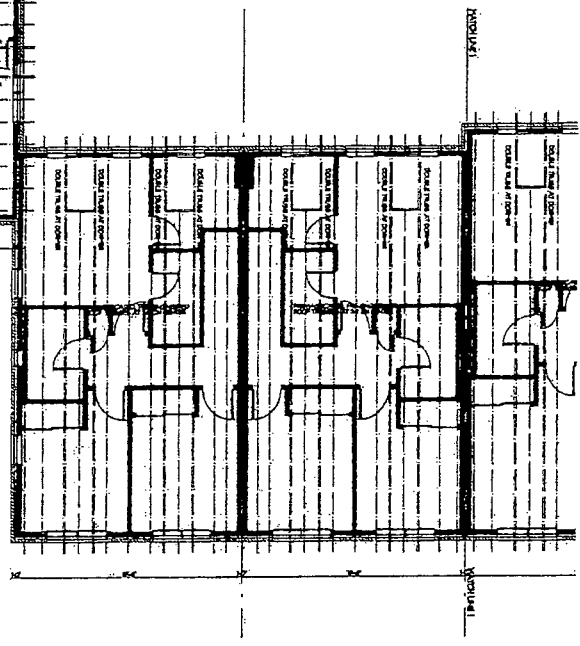
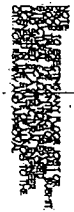


ROOF FRAMING PLAN - PARTIAL



**HEADER AND JAMBLE SCHEDULE**

GROUP NO.	HEADER	JAMBLES
1	2x12	2x12
2	2x12	2x12
3	2x12	2x12
4	2x12	2x12
5	2x12	2x12
6	2x12	2x12
7	2x12	2x12
8	2x12	2x12
9	2x12	2x12
10	2x12	2x12
11	2x12	2x12
12	2x12	2x12
13	2x12	2x12
14	2x12	2x12
15	2x12	2x12
16	2x12	2x12
17	2x12	2x12
18	2x12	2x12
19	2x12	2x12
20	2x12	2x12
21	2x12	2x12
22	2x12	2x12
23	2x12	2x12
24	2x12	2x12
25	2x12	2x12
26	2x12	2x12
27	2x12	2x12
28	2x12	2x12
29	2x12	2x12
30	2x12	2x12
31	2x12	2x12
32	2x12	2x12
33	2x12	2x12
34	2x12	2x12
35	2x12	2x12
36	2x12	2x12
37	2x12	2x12
38	2x12	2x12
39	2x12	2x12
40	2x12	2x12
41	2x12	2x12
42	2x12	2x12
43	2x12	2x12
44	2x12	2x12
45	2x12	2x12
46	2x12	2x12
47	2x12	2x12
48	2x12	2x12
49	2x12	2x12
50	2x12	2x12
51	2x12	2x12
52	2x12	2x12
53	2x12	2x12
54	2x12	2x12
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83	2x12	2x12
84	2x12	2x12
85	2x12	2x12
86	2x12	2x12
87	2x12	2x12
88	2x12	2x12
89	2x12	2x12
90	2x12	2x12
91	2x12	2x12
92	2x12	2x12
93	2x12	2x12
94	2x12	2x12
95	2x12	2x12
96	2x12	2x12
97	2x12	2x12
98	2x12	2x12
99	2x12	2x12
100	2x12	2x12



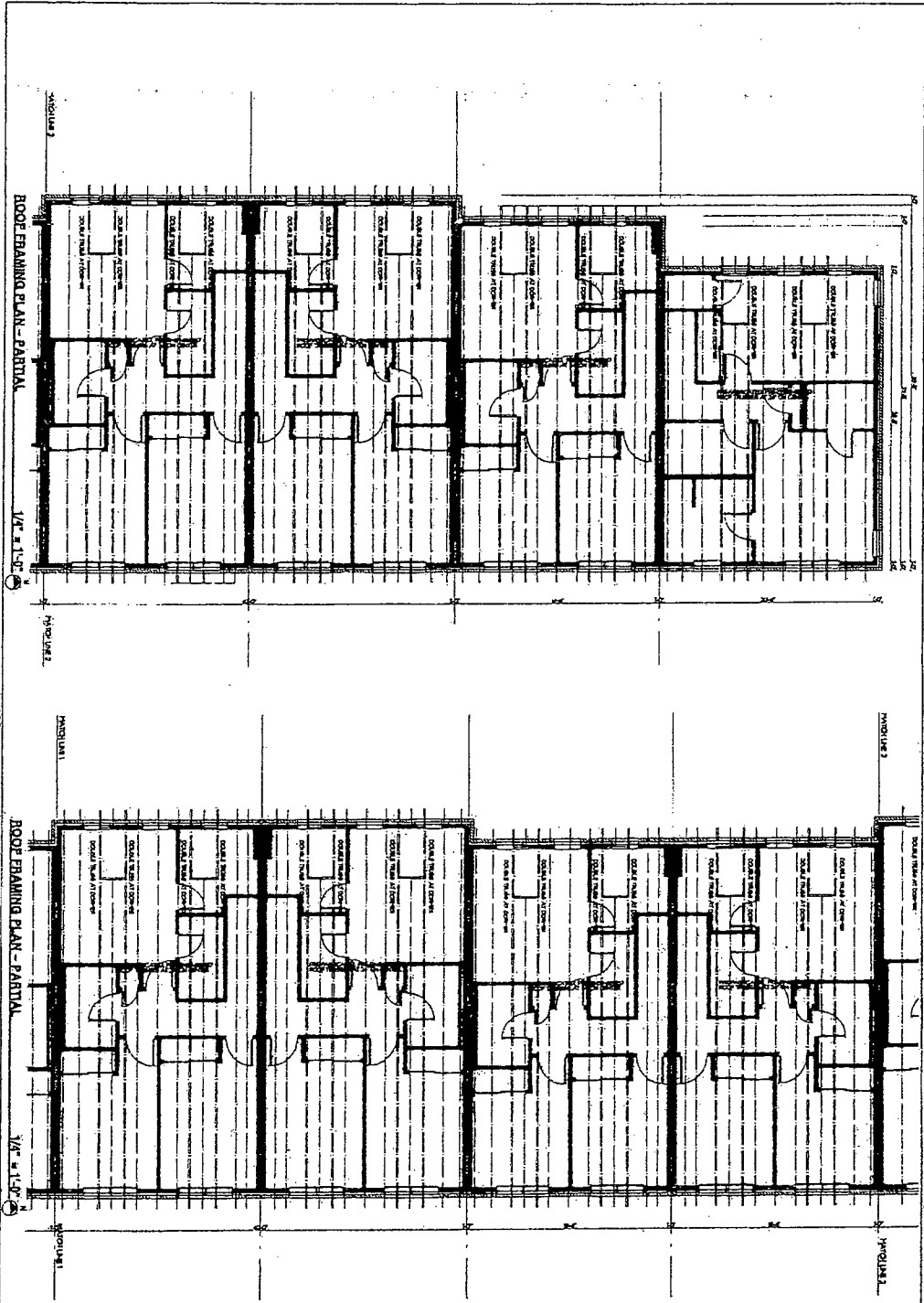
1/4" = 1'-0"

A23  
of 30

8.28.07

prepared for:  
**Church Street Village, LLC**  
Evanston, Illinois

A Townhome Development  
**Church Street Village**  
1663 - 1691 Church Street • Evanston, Illinois



prepared for:  
**Church Street Village, LLC**  
 Evanston, Illinois

A Townhome Development  
**Church Street Village**  
 1665 - 1691 Church Street - Evanston, Illinois

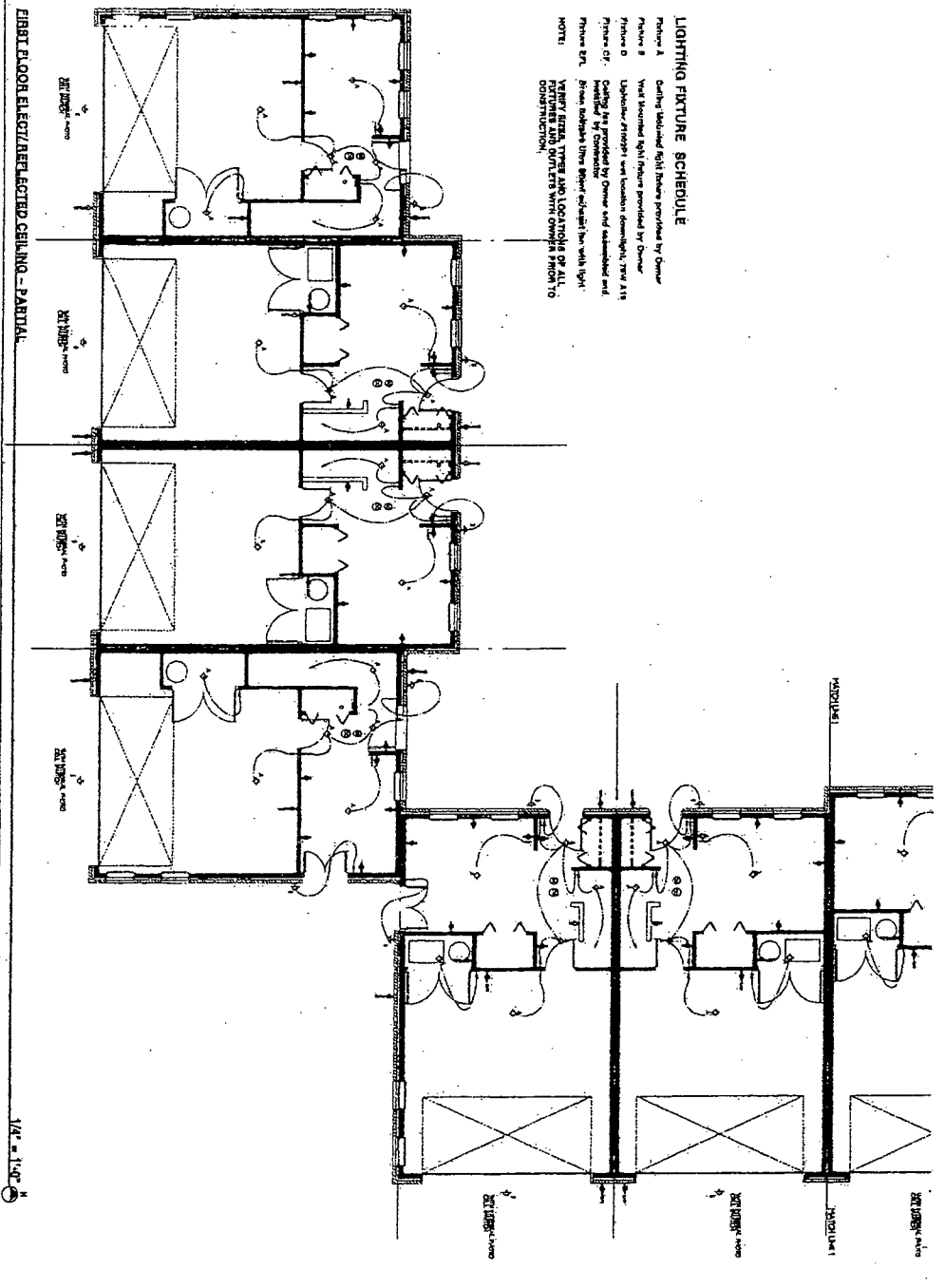
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 of 30

**LIGHTING FIXTURE SCHEDULE**

- Fixture A Ceiling Mounted Recessed Light Fixture provided by Owner
- Fixture B Wall Mounted Light Fixture provided by Owner
- Fixture C Undercabinet Light Fixture provided by Owner
- Fixture D Ceiling Fan provided by Owner and assembled and installed by Contractor
- Fixture E Kitchen Island Under Cabinet Light Fixture provided by Owner and assembled and installed by Contractor

**NOTE:** VENERY AREA, TYPE AND LOCATION OF ALL FIXTURES AND OUTLETS WITH OWNER PRIOR TO CONSTRUCTION.

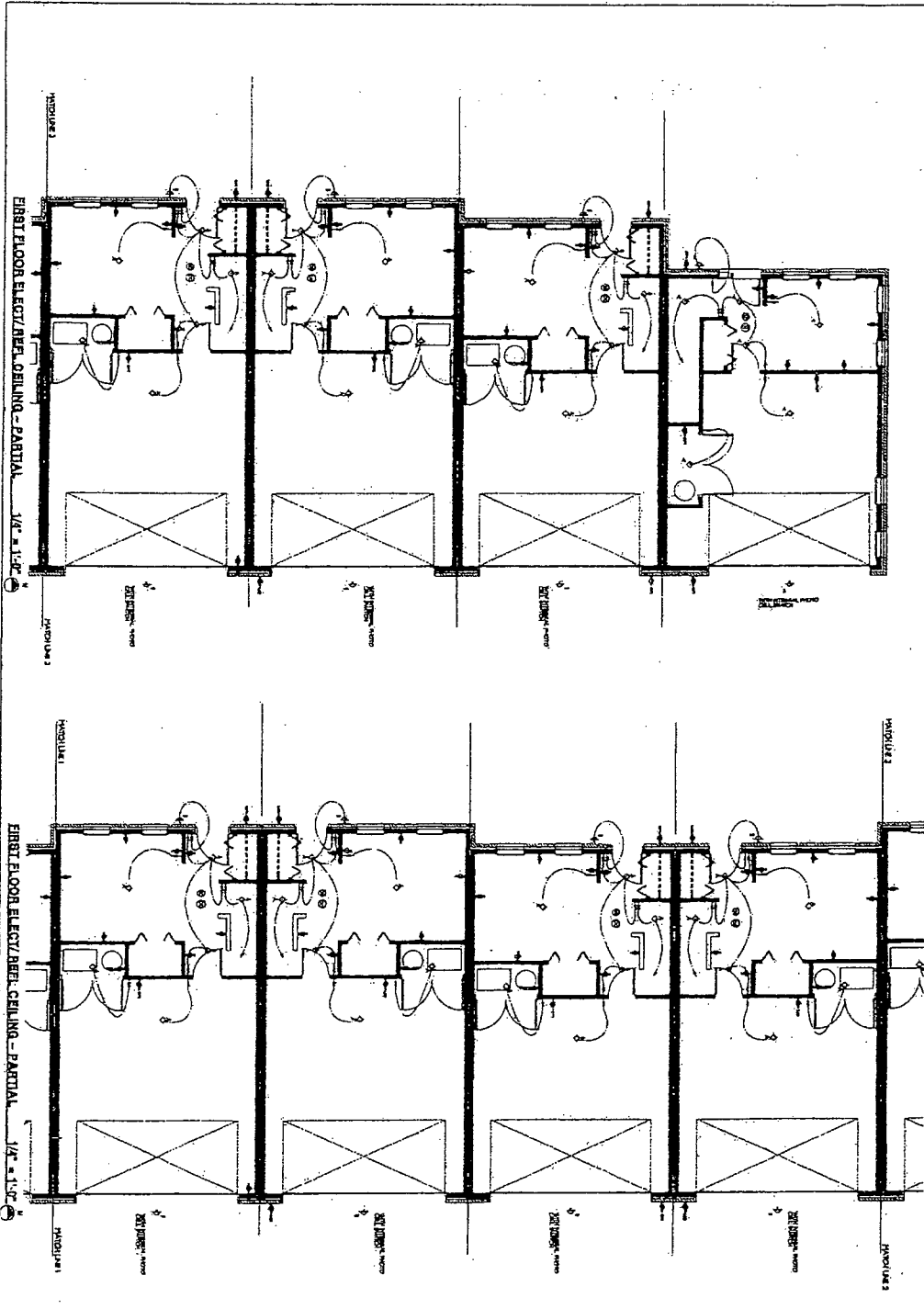


FIRST FLOOR ELECTRICAL/REFLECTED CEILING - PARTIAL

1/4" = 1'-0"

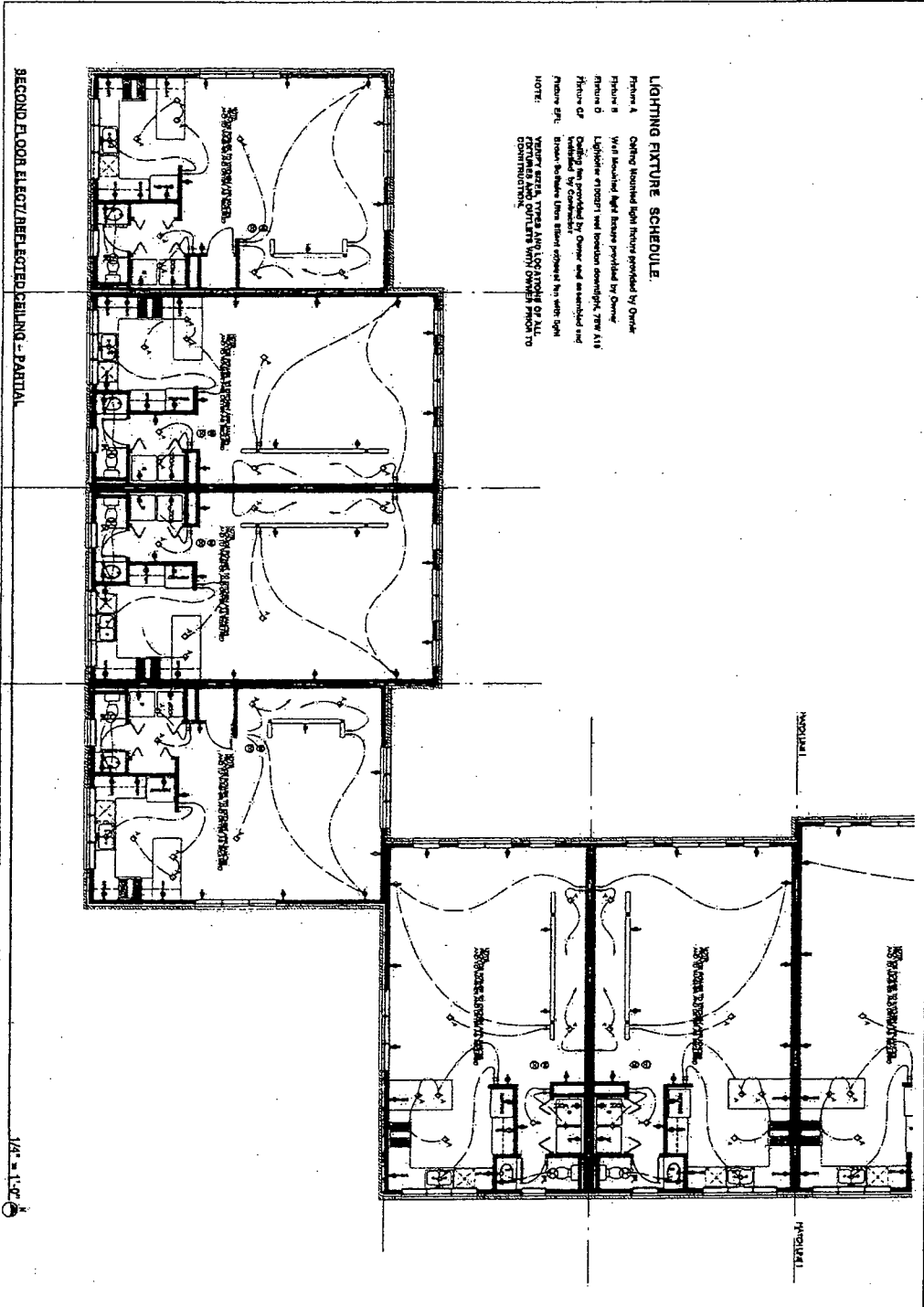
<b>A25</b> of 30	1.24.07	prepared for: <b>Church Street Village, LLC</b> Evanston, Illinois	A Townhome Development <b>Church Street Village</b> 1665 - 1691 Church Street - Evanston, Illinois
	1569 SHERMAN AVENUE SUITE 200 EVANSTON, ILLINOIS 60201 FAX 847.866.7285 TELEPHONE 847.866.8250		DAVID SCHMITT ARCHITECTURE LIMITED





<p><b>A26</b> of 30</p>	<p>4.28.07</p>	<p>prepared for: <b>Church Street Village, LLC</b> Evanston, Illinois</p>	<p>A Townhome Development <b>Church Street Village</b> 1665 - 1691 Church Street - Evanston, Illinois DAVID SCHMITT ARCHITECTURE, LIMITED</p>
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1568 SHERMAN AVENUE SUITE 200 EVANSTON, ILLINOIS 60201 FAX 847.866.7285 TELEPHONE 847.866.8250

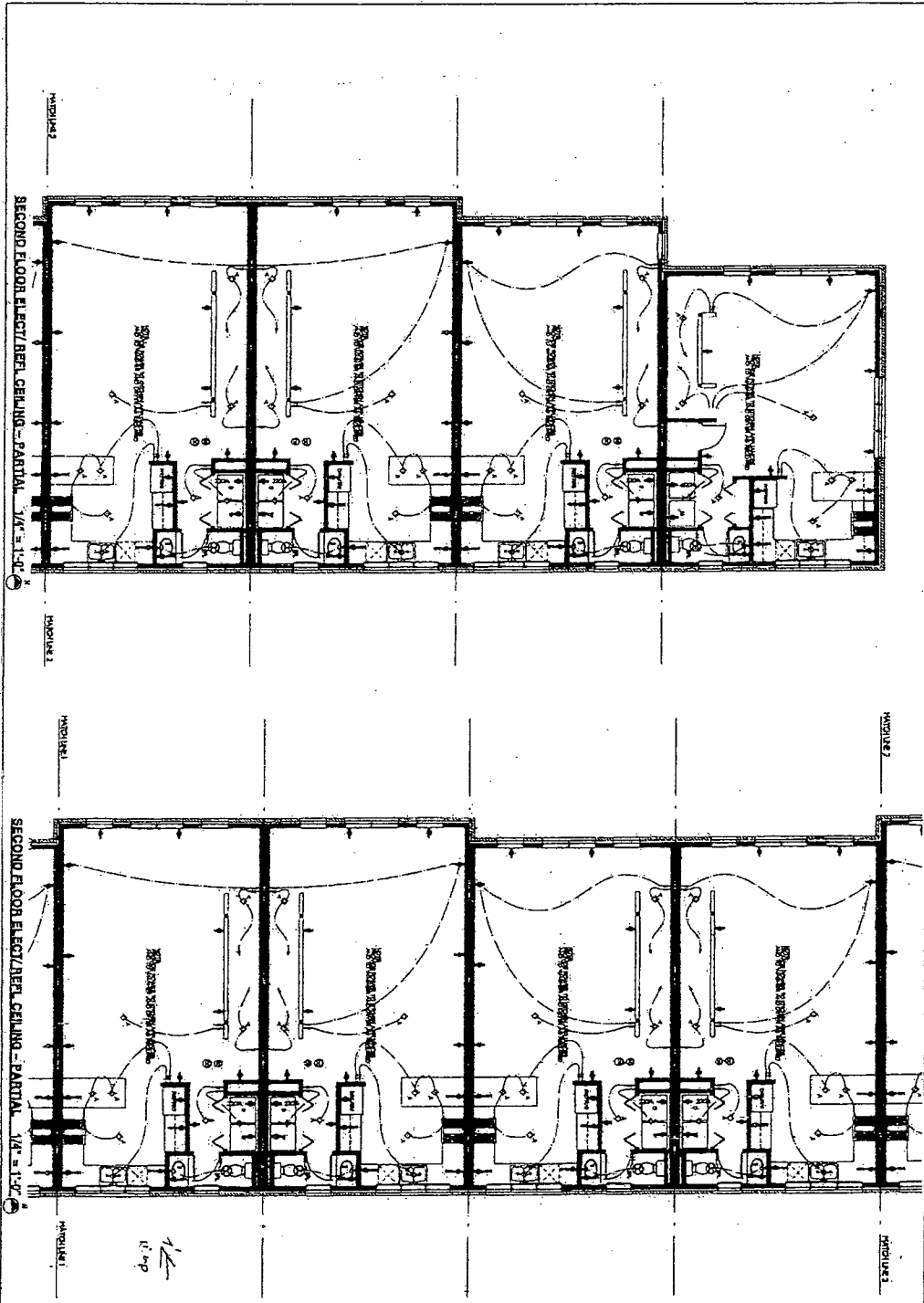


**LIGHTING FIXTURE SCHEDULE**

- Fixture A: Ceiling Mounted Light fixture provided by Owner
- Fixture B: Wall Mounted Light fixture provided by Owner
- Fixture C: Light fixture provided by Owner and described and scheduled by Contractor
- Fixture D: Light fixture provided by Owner and described and scheduled by Contractor
- NOTE: VENDOR SHALL VERIFY AND LOCATE ALL FIXTURES AND OUTLETS WITH OWNERS PRIOR TO COMMENCEMENT.

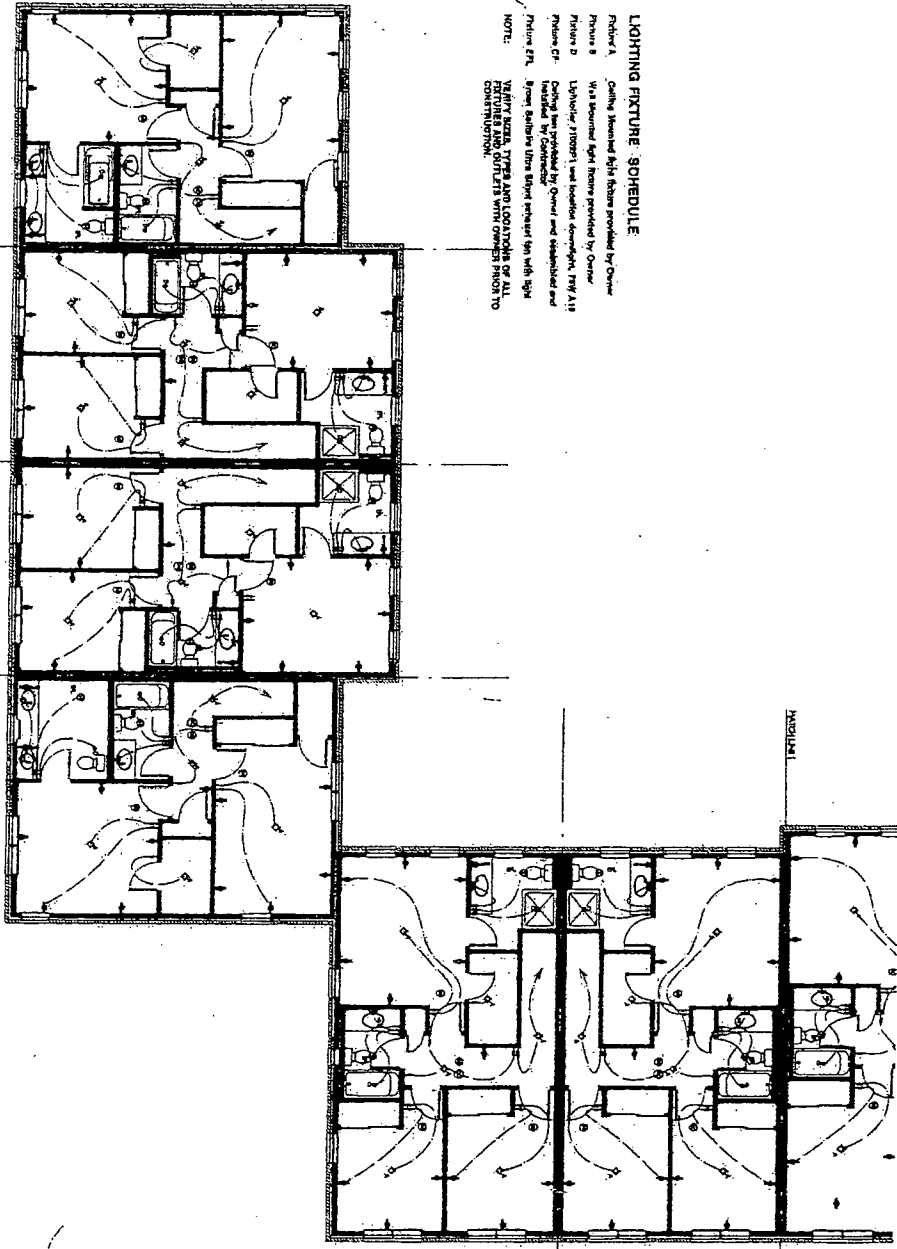
SECOND FLOOR ELECTRICAL CEILING - PARTIAL

1/4" = 1'-0"



<p>A28 of 30</p>	<p>0.28.07</p>	<p>prepared for: <b>Church Street Village, LLC</b> Evanston, Illinois</p>	<p>A Townhome Development <b>Church Street Village</b> 1665 - 1691 Church Street - Evanston, Illinois</p>
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THIRD FLOOR ELECTRIC REFLECTED CEILING - PARTIAL



**LIGHTING FIXTURE SCHEDULE**

Phase A Ceiling Mounted Recessed Fixtures provided by Owner  
 Phase B Recessed Light Fixtures provided by Owner  
 Phase C Recessed Light Fixtures provided by Owner  
 Phase D Recessed Light Fixtures provided by Owner  
 Phase E Recessed Light Fixtures provided by Owner  
 Phase F Recessed Light Fixtures provided by Owner  
 Phase G Recessed Light Fixtures provided by Owner  
 Phase H Recessed Light Fixtures provided by Owner  
 Phase I Recessed Light Fixtures provided by Owner  
 Phase J Recessed Light Fixtures provided by Owner  
 Phase K Recessed Light Fixtures provided by Owner  
 Phase L Recessed Light Fixtures provided by Owner  
 Phase M Recessed Light Fixtures provided by Owner  
 Phase N Recessed Light Fixtures provided by Owner  
 Phase O Recessed Light Fixtures provided by Owner  
 Phase P Recessed Light Fixtures provided by Owner  
 Phase Q Recessed Light Fixtures provided by Owner  
 Phase R Recessed Light Fixtures provided by Owner  
 Phase S Recessed Light Fixtures provided by Owner  
 Phase T Recessed Light Fixtures provided by Owner  
 Phase U Recessed Light Fixtures provided by Owner  
 Phase V Recessed Light Fixtures provided by Owner  
 Phase W Recessed Light Fixtures provided by Owner  
 Phase X Recessed Light Fixtures provided by Owner  
 Phase Y Recessed Light Fixtures provided by Owner  
 Phase Z Recessed Light Fixtures provided by Owner

**NOTE:** RECESSED LIGHT FIXTURE TYPES AND LOCATIONS OF ALL CONSTRUCTION SHALL BE DETERMINED BY THE OWNER PRIOR TO CONSTRUCTION.

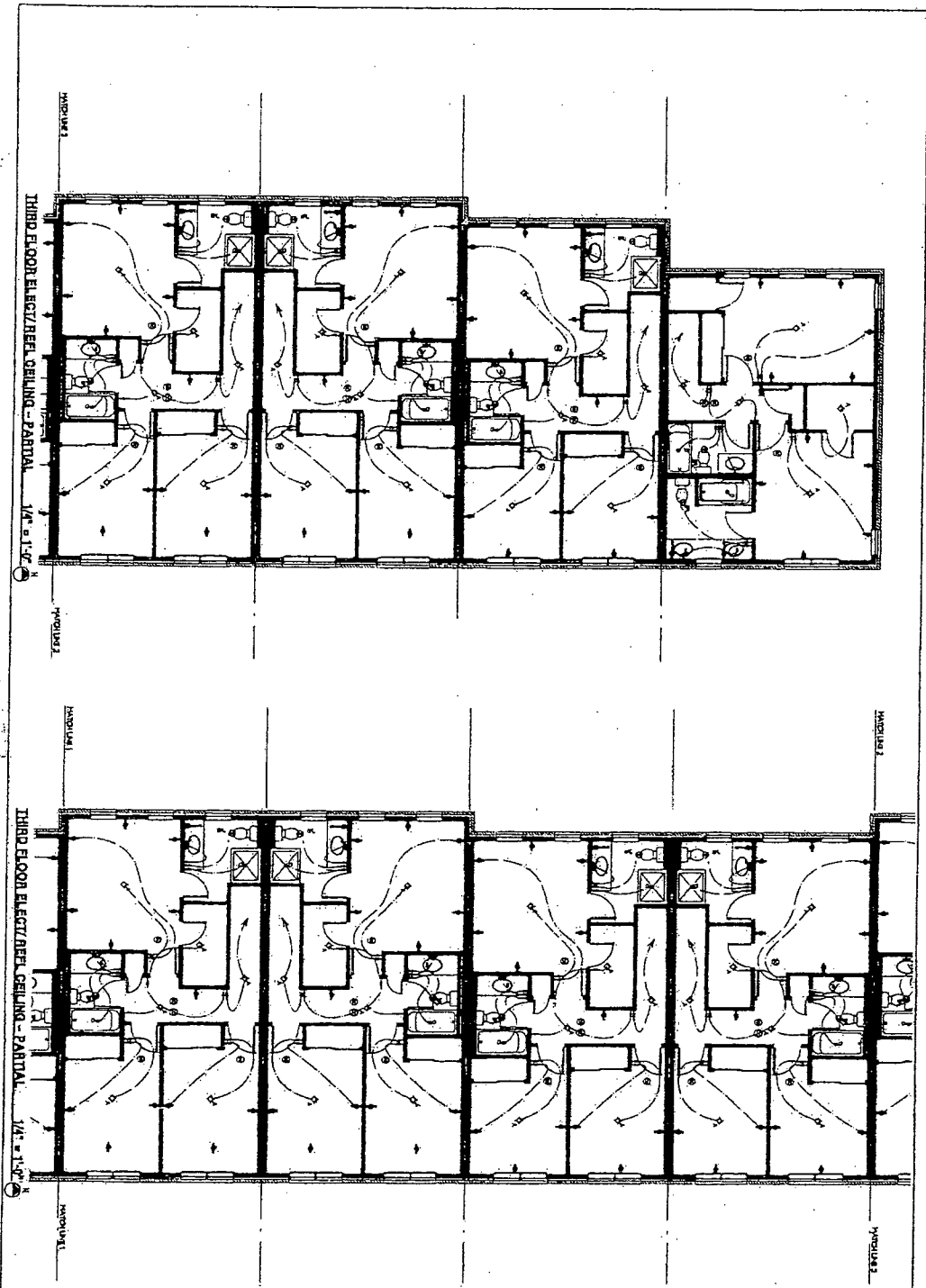
1/8" = 1'-0"

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of 30

8.28.07

prepared for:  
**Church Street Village, LLC**  
 Evanston, Illinois

A Townhome Development  
**Church Street Village**  
 1665 - 1691 Church Street - Evanston, Illinois



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of 20

Prepared for:  
Church Street Village, LLC  
Evanston, Illinois

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