

4/01/2014
4/23/2014

53-O-14

AN ORDINANCE

**Granting a Special Use Permit for a Planned Development
Located at 1515 Chicago Avenue in the D4 Downtown Transition
District**

WHEREAS, the City of Evanston is a home-rule municipality pursuant to Article VII of the Illinois Constitution of 1970; and

WHEREAS, as a home rule unit of government, the City has the authority to adopt ordinances and to promulgate rules and regulations that protect the public health, safety, and welfare of its residents; and

WHEREAS, Article VII, Section (6)a of the Illinois Constitution of 1970, states that the "powers and functions of home rule units shall be construed liberally," was written "with the intention that home rule units be given the broadest powers possible" (*Scadron v. City of Des Plaines*, 153 Ill.2d 164, 174-75 (1992)); and

WHEREAS, it is a well-established proposition under all applicable case law that the power to regulate land use through zoning regulations is a legitimate means of promoting the public health, safety, and welfare; and

WHEREAS, Division 13 of the Illinois Municipal Code (65 ILCS 5/11-13-1, *et seq.*) grants each municipality the power to establish zoning regulations; and

WHEREAS, pursuant to its home rule authority and the Illinois Municipal Code, the City has adopted a set of zoning regulations, set forth in Title 6 of the Evanston City Code of 2012, as amended, ("the Zoning Ordinance"); and

WHEREAS, Janko Group, LLC / Quadrangle, LLC (“Applicant”), the Applicant for the proposed development located at 1515 Chicago Avenue, Evanston, Illinois (the “Subject Property”), legally described in Exhibit A, which is attached hereto and incorporated herein by reference, applied, pursuant to the provisions of the Zoning Ordinance, specifically Section 6-3-5, “Special Uses”, Section 6-3-6, “Planned Developments”, and Subsection 6-11-1-10, “Planned Developments” in Downtown Zoning Districts, to permit the construction and operation of a Planned Development with accessory parking located at the Subject Property in the D4 Downtown Transition Zoning District (“D4 District”); and

WHEREAS, the Applicant sought approval to construct a new eight (8) - story eighty-five (85) foot tall extended stay hotel consisting of up to one hundred fourteen (114) hotel rooms, with a floor area ratio of 3.5, approximately seventy-eight thousand eight hundred (78,800) gross square footage of hotel space and thirty-three (33) code-compliant parking spaces; and

WHEREAS, construction of the Planned Development, as proposed in the application, requires exception from the strict application of the Zoning Ordinance with regards to the parking setback requirements from the north, east, and south lot lines, and the number of surface parking spaces provided; and

WHEREAS, pursuant to Subsection 6-3-6-5 of the Zoning Ordinance, the City Council may grant Site Development Allowances from the normal district regulations established in the Zoning Ordinance; and

WHEREAS, on March 12, 2014, in compliance with the provisions of the Illinois Open Meetings Act (5 ILCS 120/1 *et seq.*) and the Zoning Ordinance, the Plan

Commission held a public hearing on the application for a Special Use Permit for a Planned Development, case no. 14PLND-0004, heard extensive testimony and public comment, received other evidence, and made written minutes, findings, and recommendations; and

WHEREAS, the Plan Commission's written findings state that the application for the proposed Planned Development meets applicable standards set forth for Special Uses in Subsection 6-3-5-10 of the Zoning Ordinance and Planned Developments in the D4 Downtown Transition District per Subsection 6-11-1-10 of the Zoning Ordinance; and

WHEREAS, on March 12, 2014, the Plan Commission recommended the City Council approve the application with conditions; and

WHEREAS, on April 8, 2014, the Planning and Development ("P&D") Committee of the City Council held a meeting, in compliance with the provisions of the Open Meetings Act and the Zoning Ordinance, received input from the public, carefully considered and adopted the findings and recommendations of the Plan Commission, and recommended approval thereof by the City Council; and

WHEREAS, at its meetings on April 8 and April 28, 2014, held in compliance with the Open Meetings Act and the Zoning Ordinance, the City Council considered the recommendation of the P&D Committee, received additional public comment, made certain findings, and adopted said recommendation; and

WHEREAS, it is well-settled law that the legislative judgment of the City Council must be considered presumptively valid (see *Glenview State Bank v. Village of*

Deerfield, 213 Ill.App.3d 747) and is not subject to courtroom fact-finding (see *National Paint & Coating Ass'n v. City of Chicago*, 45 F.3d 1124),

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EVANSTON, COOK COUNTY, ILLINOIS, THAT:

SECTION 1: The foregoing recitals are hereby found as facts and incorporated herein by reference.

SECTION 2: Pursuant to the terms and conditions of this ordinance, the City Council hereby grants the Special Use Permit applied for in case no. 14PLND-0004, to allow construction and operation of the Planned Development described herein.

SECTION 3: The City Council hereby grants the following Site Development Allowances:

- (A) **North Side Surface Parking Setback:** A Site Development Allowance is hereby granted for a zero (0) foot setback for surface parking spaces off of the north side property line, whereas subsection 6-11-5-7(C) of the Zoning Ordinance requires surface parking to be set back five (5) feet from any side lot line when not abutting a street in the D4 District.
- (B) **South Side Surface Parking Setback:** A Site Development Allowance is hereby granted for a zero (0) foot setback for surface parking spaces off of the south side property line, whereas subsection 6-11-5-7(C) of the Zoning Ordinance requires surface parking to be set back five (5) feet from any side lot line when not abutting a street in the D4 District.
- (C) **East Side Surface Parking Setback:** A Site Development Allowance is hereby granted for a zero (0) foot setback for surface parking spaces off of the East (rear) property line, whereas subsection 6-11-5-7(D) of the Zoning Ordinance requires surface parking to be set back five (5) feet from a rear lot line when not abutting a residential district side yard or rear yard in the D4 District.
- (D) **Number of Parking Spaces:** A Site Development Allowance is hereby granted for a total of thirty-three (33) parking spaces, whereas subsection 6-16-3-5 of the Zoning Ordinance requires a minimum of thirty-four (34) parking spaces for the proposed hotel.

SECTION 4: Pursuant to Subsection 6-3-5-12 of the Zoning Ordinance, the City Council imposes the following conditions on the Special Use Permit granted hereby, which may be amended by future ordinance(s), and violation of any of which shall constitute grounds for penalties or revocation of said Special Use Permit pursuant to Subsections 6-3-10-5 and 6-3-10-6 of the Zoning Ordinance:

- (A) **Compliance with Applicable Requirements:** The Applicant shall develop and operate the Planned Development authorized by the terms of this ordinance in substantial compliance with the following: the terms of this ordinance; the Site and Landscape Plans in Exhibit B and C, attached hereto and incorporated herein by reference; all applicable City Code requirements; the Applicant's testimony and representations to the Site Plan and Appearance Review Committee, the Plan Commission, the P&D Committee, and the City Council; and the approved documents on file in this case.
- (B) **Construction Management Plan:** The Applicant shall sign and agree to a construction management plan, including but not limited to a construction staging plan prior to the issuance of the building permit.
- (C) **Foundation Survey:** Applicant agrees to provide the City of Evanston prior to the commencement of any construction activities with a foundation survey results of the following properties:
 - a. 1501 – 1509 Chicago Avenue, Evanston, IL; and
 - b. 525 – 531 Grove Street, Evanston, IL;

Applicant also agrees to provide the City of Evanston, upon completion of all construction activities, the results of the final foundation survey in order for the City of Evanston to provide the Final Certificate of Occupancy and said survey shall be certified to the City of Evanston, including any other applicable parties.

- (D) **Changes in Property Use:** Any change as to the property's use in the future must be processed and approved as an amendment to the Planned Development.
- (E) **Maximum Vehicle and Truck Length:** Any vehicle and/or trucks servicing the building shall not exceed thirty (30) feet in length.
- (F) **Traffic Sign Installation:** Applicant agrees to install the following signs, at its sole cost and expense and in consultation with the City's Traffic Engineer, in the east-west alley:

- a. **One-Way Traffic Sign:** Sign shall be installed at the access point to the east-west alley adjacent to and immediately north of 1515 Chicago Avenue and in consultation;
 - b. **No-Right-Turn Sign:** Sign shall be installed at the intersection of the alleys in order to prohibit any trucks servicing the building making the southbound movements; and
 - c. **Do-Not-Enter Sign:** Sign shall be installed at the intersection of the alleys in order to prohibit any vehicles going westbound in the east-west alley.
- (G) **Operable Windows on the North Side of the First Floor (west elevation):** Applicant agrees to install operable windows that open at the north end of the west elevation of the first floor adjacent to the hotel bar/restaurant space so as to encourage sidewalk café-like environment and public interaction on Chicago Avenue.
- (H) **Snow Removal Plan:** Applicant agrees to comply with the Snow Removal Plan in Exhibit D, attached hereto and incorporated herein by reference.
- (I) **No SUV and Pick-Up Truck Parking:** Applicant shall install "No SUV and Pick-Up Truck Parking" signs in all parking spaces that have direct access off of the alleys.
- (J) **Permanent Parking Meter Loss Compensation:** The Applicant shall pay a one-time payment of thirty thousand and no/100 dollars (\$30,000) to offset the loss of City revenue for two (2) on-street parking spaces which will be permanently removed for the benefit of the Planned Development. Such payment shall be for the City Parking Fund and the Applicant shall pay such amount to the City concurrently with the issuance of a Final Certificate of Occupancy.
- (K) **Temporary Parking Meter Loss Compensation:** The Applicant shall pay a yearly fee of two thousand seven hundred eighty-four and 60/100 dollars (\$2,784.60) per each meter temporarily removed to the City of Evanston for loss of revenue per meter taken from use on the public way during construction (the "Parking Meter Fee"). Any meters temporarily lost will be temporarily capped or removed during the construction period and the Parking Meter Fee does not relate to the fee paid by Applicant in Subsection 4(J) for the permanent loss of the parking meters. Such yearly payments shall be allocated to the City Parking Fund and the Applicant's yearly payment shall be paid in advance of the annual use of the metered space for construction and the City shall reimburse the prorated amount of the annual Parking Meter Fee after all the subject meters have been restored to use.
- (L) **Green Roof Construction:** The Applicant shall construct a green roof on the two (2) story portion of the building south of the main entrance to the hotel. A two (2) year minimum maintenance plan must be submitted to the City prior to the issuance of the building permit.

- (M) **Employees:** That the Applicant will have, as a primary goal, the employment of ten (10) Evanston residents, with a required minimum amount of five (5) Evanston resident employees during construction. Said residents, without regard to sex, race or ethnicity, can be contractors, sub-contractors or vendors to the development and/or employees of the same. The Applicant will use good faith efforts to hire qualified minority and/or women Evanston subcontractors, workers, and residents for the construction project.
- (N) **Alley Reconstruction:** In consideration of the City of Evanston completing a full reconstruction (excavation and pavement) of the east-west alley adjacent to and immediately north of the Subject Property, Applicant agrees to pay thirty six thousand dollars (\$36,000.00) to the City of Evanston, which is estimated to be half of the total cost of reconstruction, prior to obtaining its Final Certificate of Occupancy.
- (O) **Landscape Design:** The Applicant shall install and maintain landscaping as depicted in Exhibit C.
- (P) **Streetscape Improvements:** The Applicant shall construct the streetscape improvements along Chicago Avenue per proposed development plans and landscape plans in Exhibit B and Exhibit C.
- (Q) **Wall Sign Installation:** The Applicant shall install a wall sign on its building along Chicago Avenue for the proposed hotel bar/restaurant space on the ground floor substantially and in accordance with the Wall Sign Plan in Exhibit E. The wall sign shall be a maximum of two (2) feet in height by six (6) feet in width, with total sign surface area not exceeding twelve (12) square feet. The sign shall be subject to a maximum height limitation of seventeen (17) feet and six (6) inches measured from the adjoining ground level or the elevation of the street upon which the sign faces, whichever is lower, to the tallest portion of the sign. Applicant agrees to maintain the sign pursuant to the provisions set forth in City Code 4-10-12. The aforementioned wall sign is hereby approved and must also comply with all provisions more fully set forth in Title 4, Chapter 10 of the Evanston City Code of 2012, as amended.
- (R) **Installation of New Tree:** Subject to the Applicant entering into an agreement (the "Tree Agreement") with the owners of the property abutting the southeast corner of the Subject Property (in a form mutually acceptable to both parties) to enable planting of the New Tree (as defined below), the Applicant, at its sole cost and expense, shall install a new nine (9) inch caliper tree ("New Tree") in the southeast corner of the Subject Property. Subject to executing the Tree Agreement, the Applicant shall convert the parking space located in the southeastern corner of the Property into a compact parking space and coordinate with the property owner abutting the subject lot line to accommodate a planting bed area, which will be a minimum of 8 feet wide by 6 feet long. Should the Applicant not enter into the Tree Agreement prior to issuance of the Final Certificate of Occupancy, the Applicant shall remit five thousand dollars

(\$5,000.00) to the City for deposit in the City's Urban Reforestation Fund in which case the Applicant shall not be required to convert the parking space located in the southeastern corner of the Property into a compact space. Planting of the New Tree or payment of the foregoing five thousand dollars (\$5,000.00) shall satisfy the Applicant's obligations under the Tree Preservation Ordinance with respect to the removal of the Elm tree currently located on the southeast corner of the Property.

- (S) **Construction Schedule:** Pursuant to Subsection 6-11-1-10(A)4 of the Zoning Ordinance, the Applicant shall obtain a building permit within twelve (12) months of the passing of this Ordinance. Additionally, the Applicant must complete the construction of this Planned Development within twenty-four (24) months from the date the Applicant receives its building permit.
- (T) **Recordation:** Pursuant to Subsection 6-3-6-10 of the Zoning Ordinance, the Applicant shall, at its cost, record a certified copy of this ordinance, including all exhibits attached hereto, with the Cook County Recorder of Deeds, and provide proof of such recordation to the City, before the City may issue any permits pursuant to the Planned Development authorized by the terms of this ordinance.

SECTION 5: When necessary to effectuate the terms, conditions, and purposes of this ordinance, "Applicant" shall be read as "Applicant's tenants, agents, assigns, and successors in interest."

SECTION 6: This ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

SECTION 7: Except as otherwise provided for in this ordinance, all applicable regulations of the Zoning Ordinance and the entire City Code shall apply to the Subject Property and remain in full force and effect with respect to the use and development of the same. To the extent that the terms and provisions of any of said documents conflict with the terms herein, this ordinance shall govern and control.

SECTION 8: All ordinances or parts of ordinances that are in conflict with the terms of this ordinance are hereby repealed.

SECTION 9: If any provision of this ordinance or application thereof to any person or circumstance is ruled unconstitutional or otherwise invalid, such invalidity

shall not affect other provisions or applications of this ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this ordinance is severable.

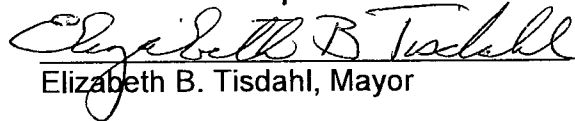
SECTION 10: The findings and recitals herein are hereby declared to be prima facie evidence of the law of the City and shall be received in evidence as provided by the Illinois Compiled Statutes and the courts of the State of Illinois.

Introduced: April 8, 2014

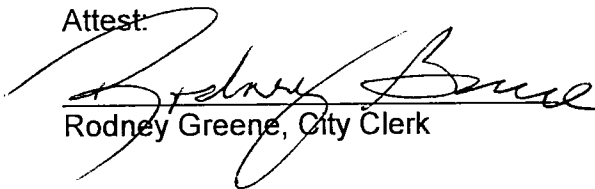
Approved:

Adopted: April 28, 2014

May 2, 2014


Elizabeth B. Tisdahl, Mayor

Attest:


Rodney Greene, City Clerk

Approved as to form:

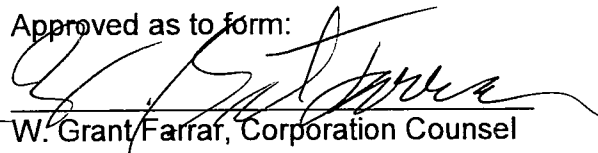

W. Grant Farrar, Corporation Counsel

EXHIBIT A

Legal Description

LOTS 9 AND 10 IN BLOCK 26 IN EVANSTON IN THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 41 NORTH, RANGE 14 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PINs: 11-18-408-002-0000

COMMONLY KNOWN AS: 1515 Chicago Avenue, Evanston, IL

EXHIBIT B

Development Plans



VICINITY MAP

PROPOSED DEVELOPMENT SUMMARY

ZONING DISTRICT:	D4 Downtown Transition District
LOT AREA:	22,532 sf
FLOOR AREA*:	78,729 sf
F.A.R.:	3.5
USE:	Hotel
GUEST ROOMS:	107 Guest Rooms (approx.)
PARKING:	35 Spaces

* Per Evanston City Code Title 6 Zoning, Chapter 18 Definitions; the floor area of the building excludes any space devoted to required off-street parking or loading for the building, elevator shafts, stairwells, space used solely for heating, cooling, mechanical, electrical and mechanical penthouses, refuse rooms and uses accessory to the building.

ADJACENT LAND USES

- A. Restaurant / Retail
- B. Office / Medical Office
- C. Residential
- D. Residential
- E. Residential
- F. Residential
- G. Residential / Retail
- H. Residential
- I. Commercial (AT&T Switch)
- J. Retail / Office



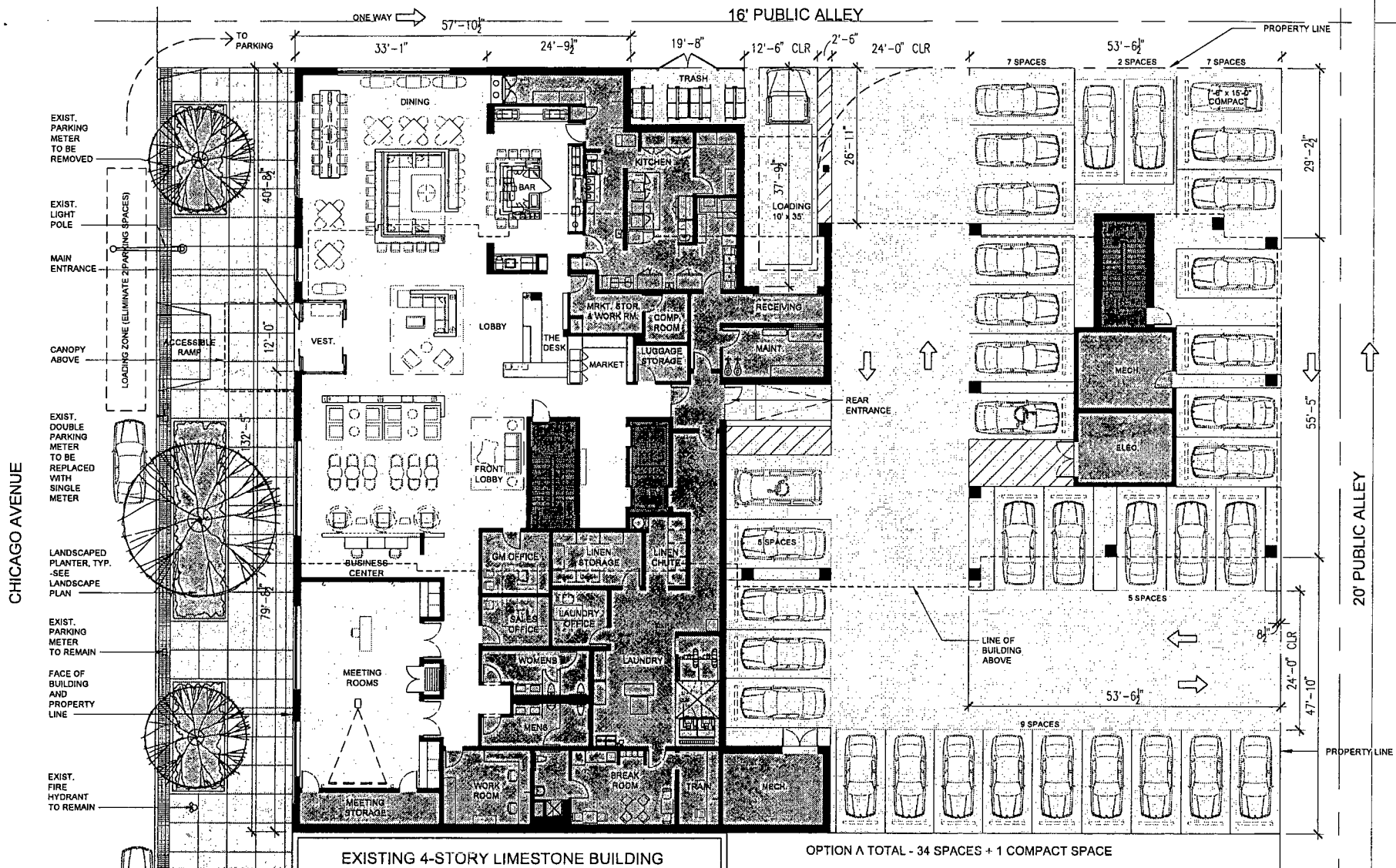
© 2013 Solomon Cordwell Buenz



BUILDING INFORMATION
EVANSTON EXTENDED STAY HOTEL
PLANNED DEVELOPMENT APPLICATION

12/31/13





© 2014 Solomon Cordwell Buenz



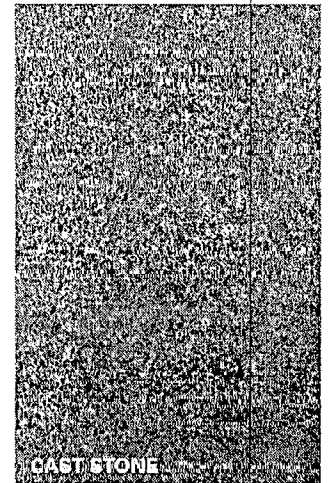
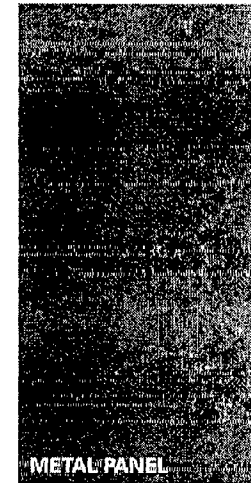
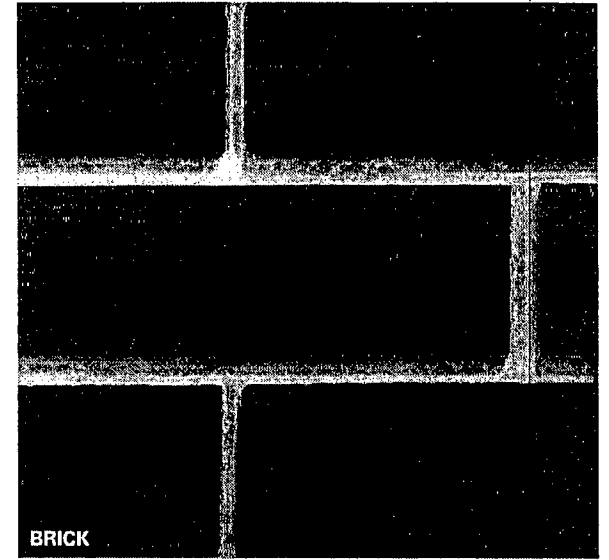
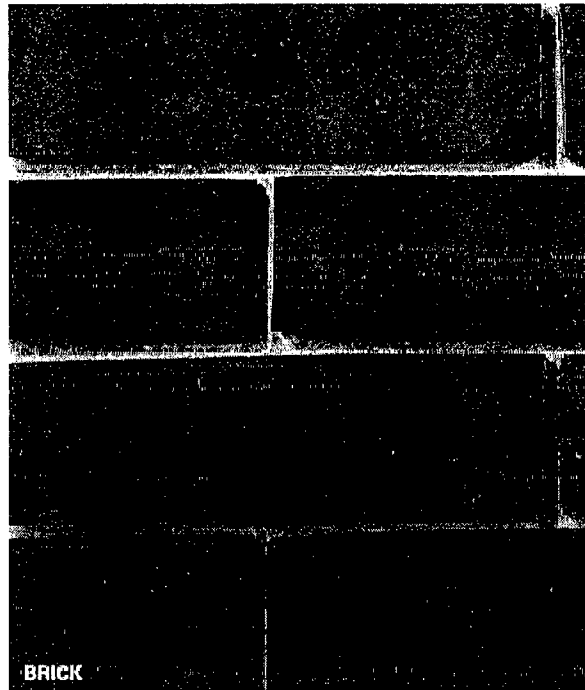
FIRST FLOOR PLAN - OPTION A
EVANSTON EXTENDED STAY HOTEL
PLANNED DEVELOPMENT SUBMISSION

02/26/14

0 8 16



A1



© 2014 Solomon Cordwell Buenz



ILLUSTRATIVE CONCEPTUAL EXTERIOR MATERIALS
EVANSTON EXTENDED STAY HOTEL
PLANNED DEVELOPMENT SUBMISSION

02/26/14



© 2014 Solomon Cardwell Buenz

JANKO GROUP  **QUADRANGLE**

CHICAGO AVENUE PERSPECTIVE
EVANSTON EXTENDED STAY HOTEL
PLANNED DEVELOPMENT SUBMISSION

02/26/14



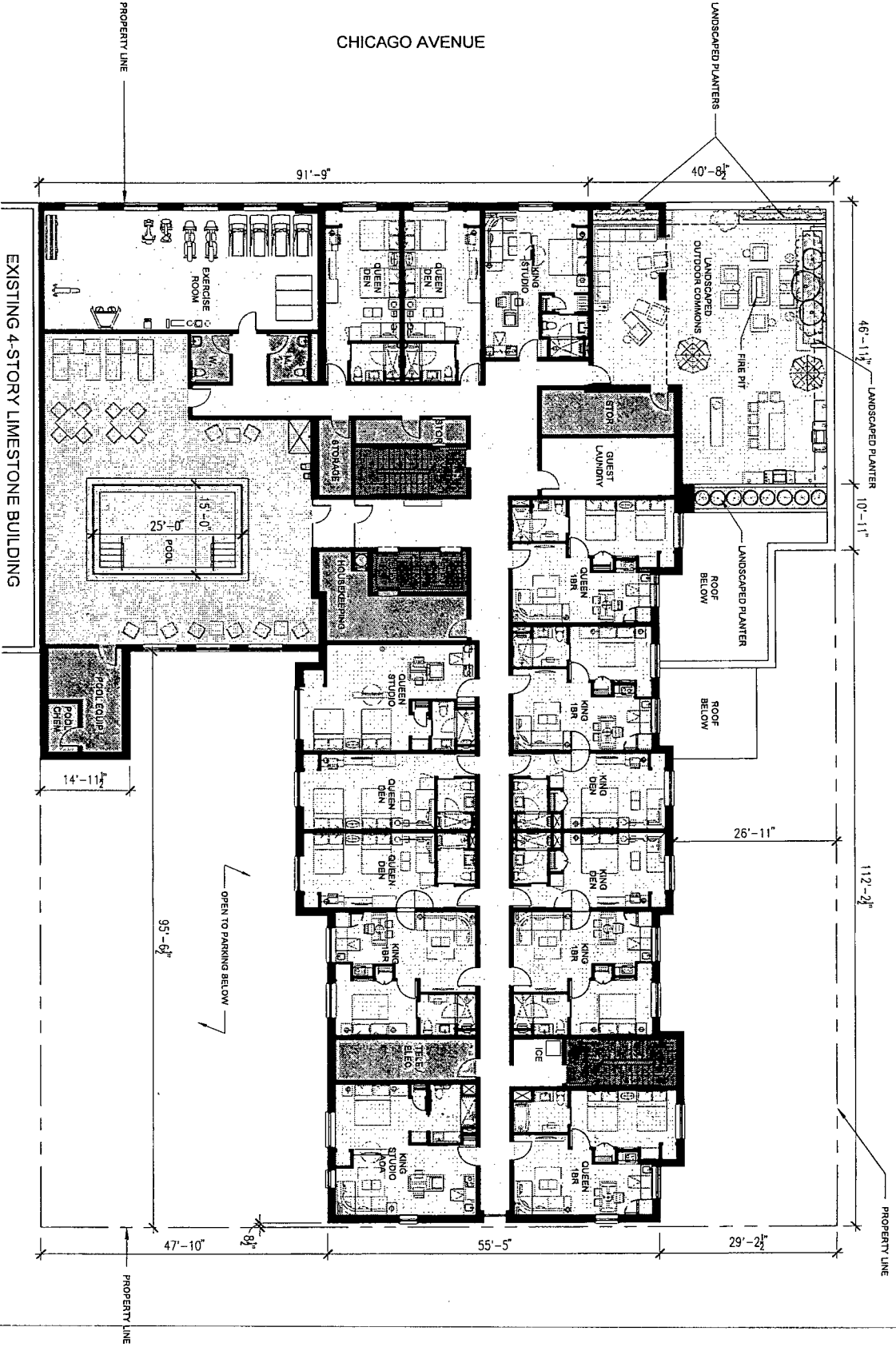
© 2014 Solomon Cordwell Buenz



AERIAL PERSPECTIVE FROM SOUTH
EVANSTON EXTENDED STAY HOTEL
PLANNED DEVELOPMENT SUBMISSION

02/26/14

CHICAGO AVENUE



© 2014 Solomon Cordwell Buenz

JANKO GROUP QUADRANGLE

SECOND FLOOR PLAN
 EVANSTON EXTENDED STAY HOTEL
 PLANNED DEVELOPMENT SUBMISSION

02/28/14



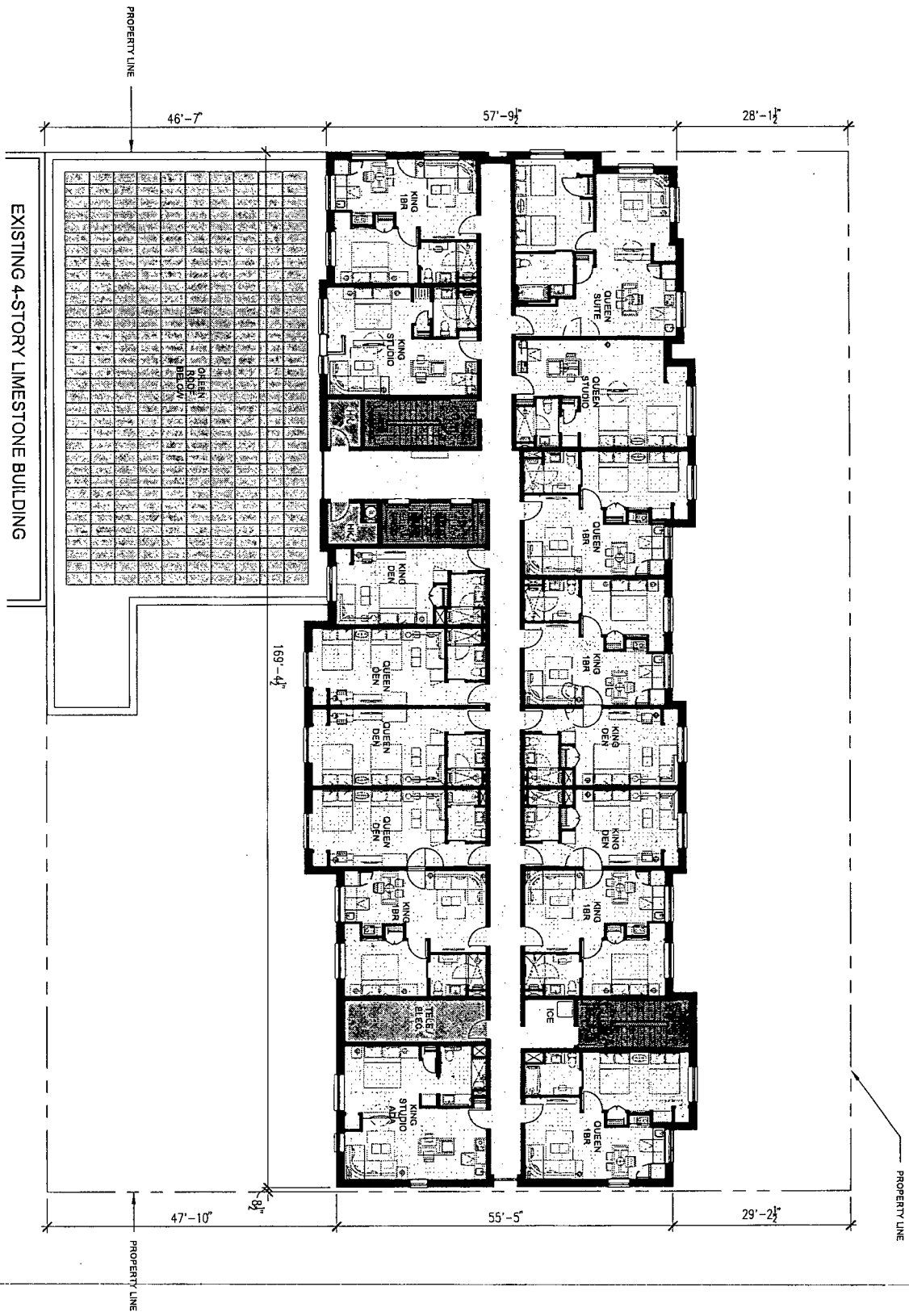
A2

18



© 2014 Solomon Cordwell Burns

CHICAGO AVENUE

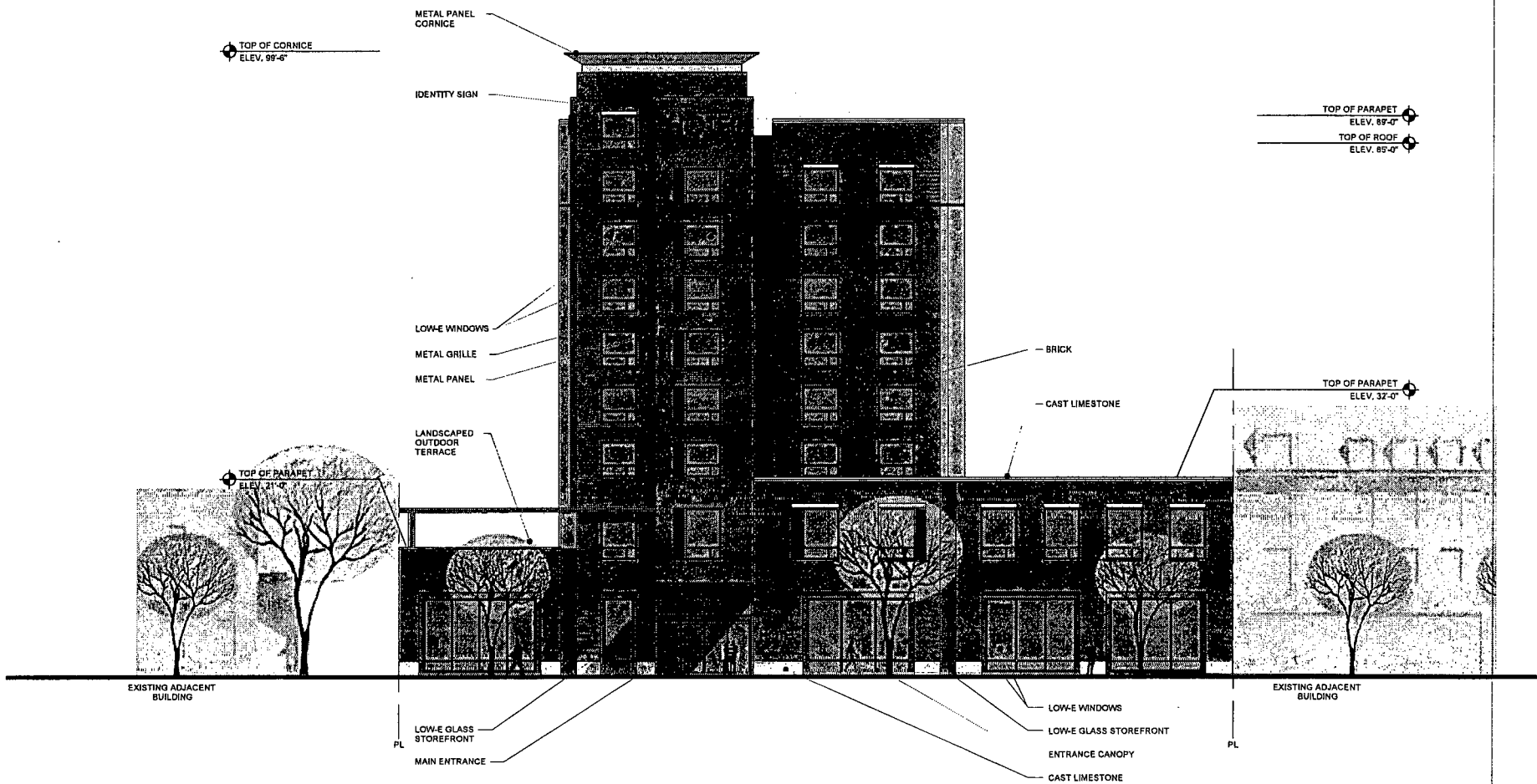


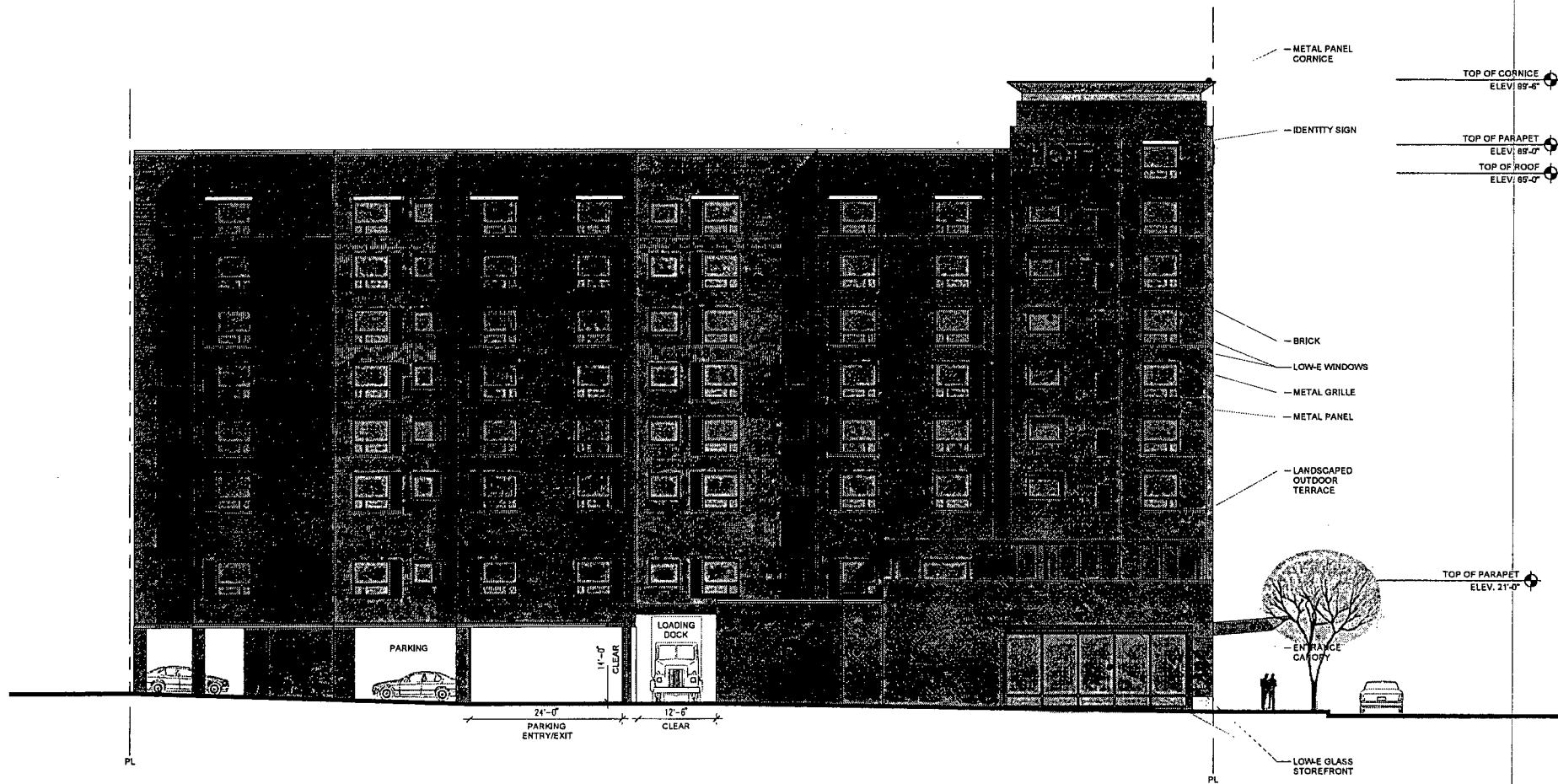
JANKO GROUP

QUADRANGLE

TYPICAL FLOOR PLAN, 3RD TO 8TH
EVANSTON EXTENDED STAY HOTEL
PLANNED DEVELOPMENT SUBMISSION

02/26/14





TOP OF PARAPET
ELEV. 69'-0"
TOP OF ROOF
ELEV. 85'-0"

TOP OF CORNICE
ELEV. 99'-0"

TOP OF PARAPET
ELEV. 32'-0"

BRICK

LOW-E WINDOWS
CAST LIMESTONE

LANDSCAPED OUTDOOR
TERRACE

TOP OF PARAPET
ELEV. 21'-0"

EXISTING ADJACENT
BUILDING

24'-0"
PARKING
ENTRY/EXIT

EXISTING ADJACENT
BUILDING

PL

PL



© 2014 Solomon Cordwell Buenz



EAST ELEVATION
EVANSTON EXTENDED STAY HOTEL
PLANNED DEVELOPMENT SUBMISSION

02/26/14

0 8 16

A6

TOP OF CORNICE
ELEV. 89'-0"

TOP OF PARAPET
ELEV. 89'-0"

TOP OF ROOF
ELEV. 85'-0"

METAL PANEL
CORNICE

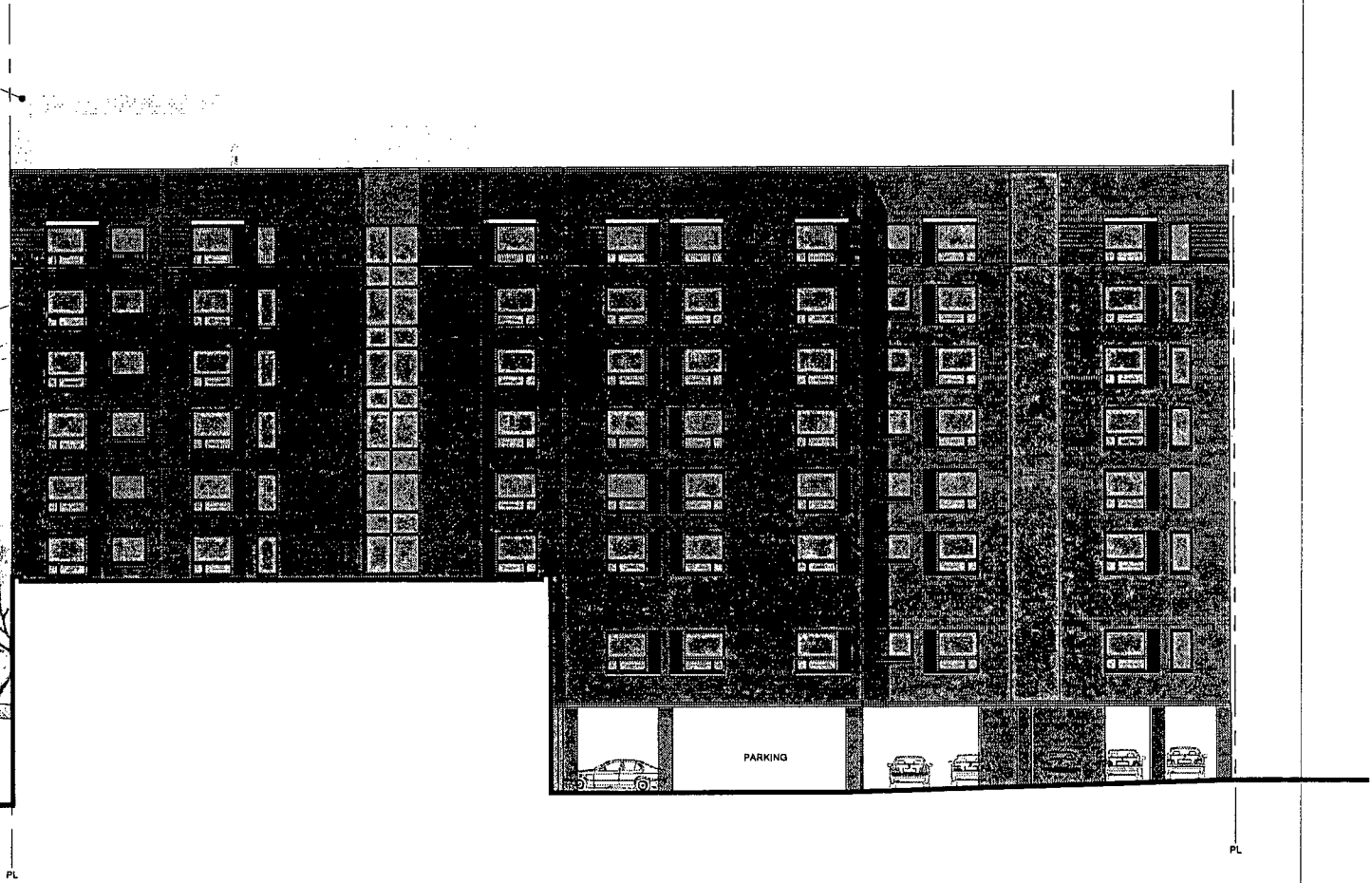
BRICK

LOW-E WINDOWS

METAL GRILLE

TOP OF PARAPET
ELEV. 32'-0"

ENTRANCE
CANOPY



© 2014 Solomon Cordwell Buenz

JANKO GROUP  **QUADRANGLE**

SOUTH ELEVATION
EVANSTON EXTENDED STAY HOTEL
PLANNED DEVELOPMENT SUBMISSION

02/26/14

0 8 16

A7

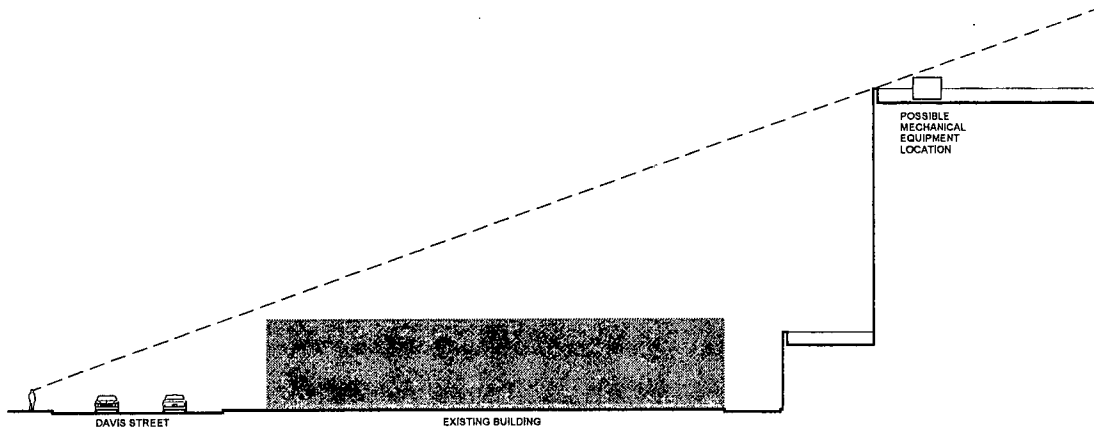


Diagram showing line of sight from Davis Street

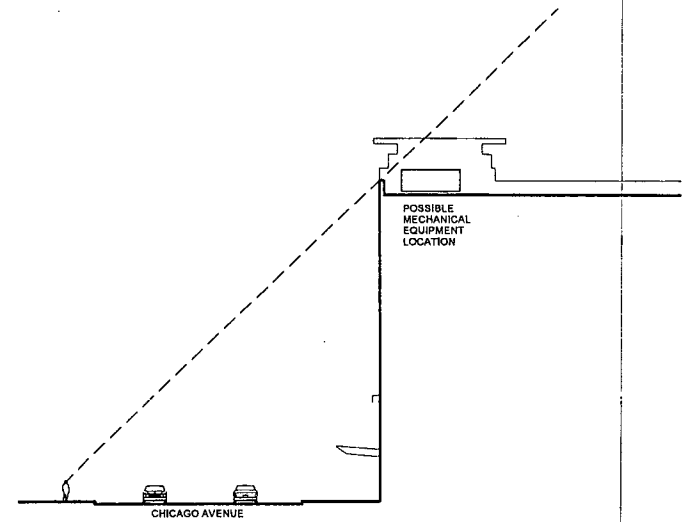


Diagram showing line of sight from Chicago Avenue

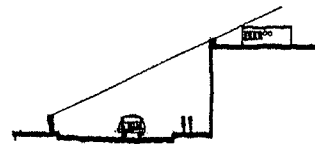


Diagram from Design Guidelines for Planned Developments, Section III.A, Figure 7a



© 2013 Solomon Cordwell Buenz



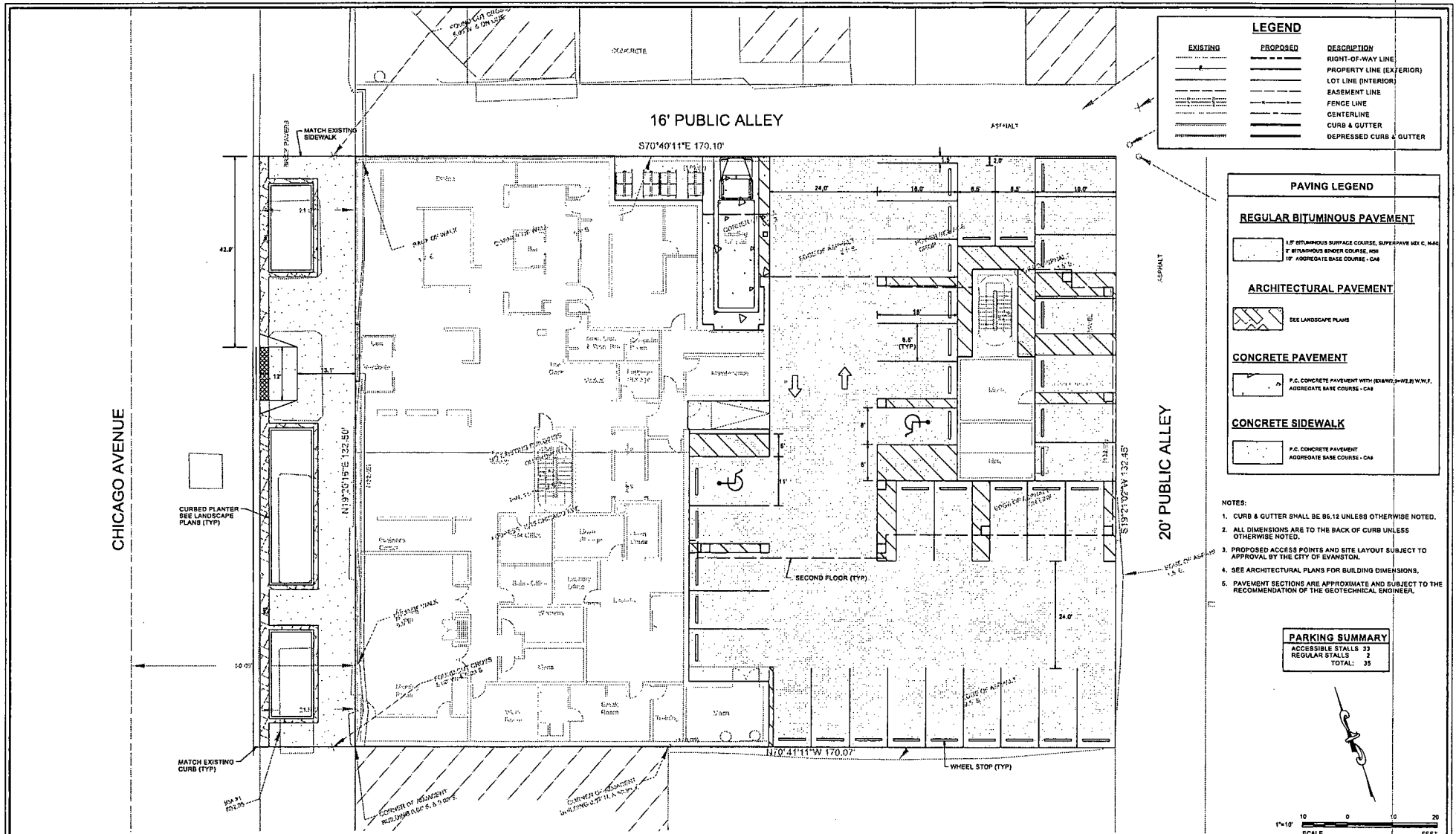
MECHANICAL SCREENING DIAGRAM
EVANSTON EXTENDED STAY HOTEL
PLANNED DEVELOPMENT APPLICATION

01/15/14

Floor Number	Description	Rooms per Floor	Parking Count	GSF per Floor*
8	Guest Rooms	16		9,423 SF
7	Guest Rooms	16		9,423 SF
6	Guest Rooms	16		9,423 SF
5	Guest Rooms	16		9,423 SF
4	Guest Rooms	16		9,423 SF
3	Guest Rooms	16		9,423 SF
2	Guest Rooms / Amenity	18		12,461 SF
1	Lobby & Amenity		34	9,730 SF
TOTAL		114	34	78,729 SF

** Per Evanston City Code Title 6 Zoning, Chapter 18 Definitions; the floor area of the building excludes any space devoted to required off-street parking or loading for the building, elevator shafts, stairwells, space used solely for heating, cooling, mechanical, electrical and mechanical penthouses, refuse rooms and uses accessory to the building.*



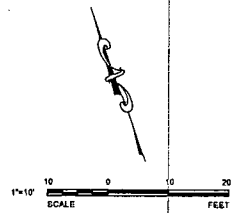


LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		RIGHT-OF-WAY LINE
		PROPERTY LINE (EXTERIOR)
		LOT LINE (INTERIOR)
		EASEMENT LINE
		FENCE LINE
		CENTERLINE
		CURB & GUTTER
		DEPRESSED CURB & GUTTER

PAVING LEGEND	
REGULAR BITUMINOUS PAVEMENT	
	1" BITUMINOUS SURFACE COURSE, DIFFERENTIAL C, MAX
	1" BITUMINOUS BINDER COURSE, MIN
	10" AGGREGATE BASE COURSE - C&G
ARCHITECTURAL PAVEMENT	
	SEE LANDSCAPE PLANS
CONCRETE PAVEMENT	
	P.C. CONCRETE PAVEMENT WITH (24"X12"X4") W.W.F.,
	AGGREGATE BASE COURSE - C&G
CONCRETE SIDEWALK	
	P.C. CONCRETE PAVEMENT
	AGGREGATE BASE COURSE - C&G

- NOTES:
1. CURB & GUTTER SHALL BE 85.12 UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 3. PROPOSED ACCESS POINTS AND SITE LAYOUT SUBJECT TO APPROVAL BY THE CITY OF EVANSTON.
 4. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
 5. PAVEMENT SECTIONS ARE APPROXIMATE AND SUBJECT TO THE RECOMMENDATION OF THE GEOTECHNICAL ENGINEER.

PARKING SUMMARY	
ACCESSIBLE STALLS	33
REGULAR STALLS	2
TOTAL	35



V3 Companies
2329 Jones Avenue
Westbrook, IL 60091
830.734.8300 phone
830.734.8300 fax
www.v3co.com

SCP
**Solomon
Cordwell
Buenz**

QUADRANGLE
JANKO GROUP

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

PROJECT NO.	13190	DESIGNED BY:	LJS
FILE NAME:	C1.0 Lay13190	DRAWN BY:	DB
ORIGINAL ISSUE DATE:	12.31.13	CHECKED BY:	LJS
SCALE:	1" = 10'	PROJECT MANAGER:	LJS

**EVANSTON EXTENDED
STAY HOTEL**

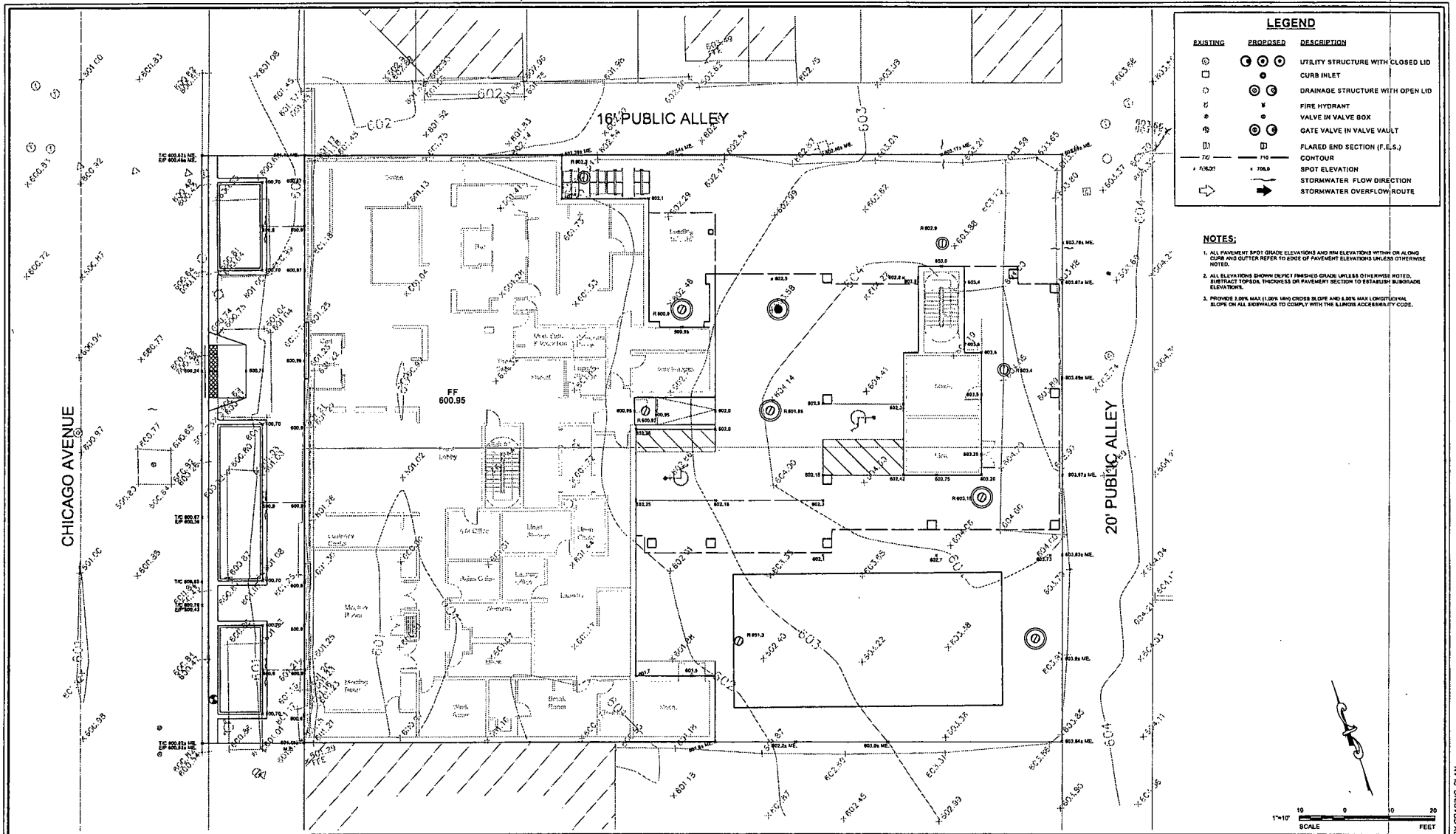
1515 CHICAGO AVENUE
EVANSTON ILLINOIS

PRELIMINARY LAYOUT PLAN

C1

DRAWING NO.

13190 - PRELIMINARY LAYOUT PLAN



LEGEND

EXISTING	PROPOSED	DESCRIPTION
⊙	⊙	UTILITY STRUCTURE WITH CLOSED LID
⊠	⊠	CURB INLET
⊙	⊙	DRAINAGE STRUCTURE WITH OPEN LID
⊙	⊙	FIRE HYDRANT
⊙	⊙	VALVE IN VALVE BOX
⊙	⊙	GATE VALVE IN VALVE VAULT
⊙	⊙	FLARED END SECTION (F.E.S.)
⊙	⊙	CONTOUR
⊙	⊙	SPOT ELEVATION
→	→	STORMWATER FLOW DIRECTION
→	→	STORMWATER OVERFLOW ROUTE

- NOTES:**
1. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
 2. ALL ELEVATIONS SHOWN (UNLESS) FINISHED GRADE UNLESS OTHERWISE NOTED. EXTRACT TOP SOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
 3. PROVIDE 3.0% MAX (1.00% MIN) CROSS SLOPE AND 6.0% MAX LONGITUDINAL SLOPE ON ALL SIDEWALKS TO COMPLY WITH THE ILDRS ACCESSIBILITY CODE.



V2 Complete
 2329 Janss Avenue
 Woodridge, IL 60417
 815.734.2300 phone
 815.734.2399 fax
 www.v2ee.com

SCM Solomon
 Cordwell
 Buenz

QUADRANGLE
JANKO GROUP

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
					C2.0-Grd13190

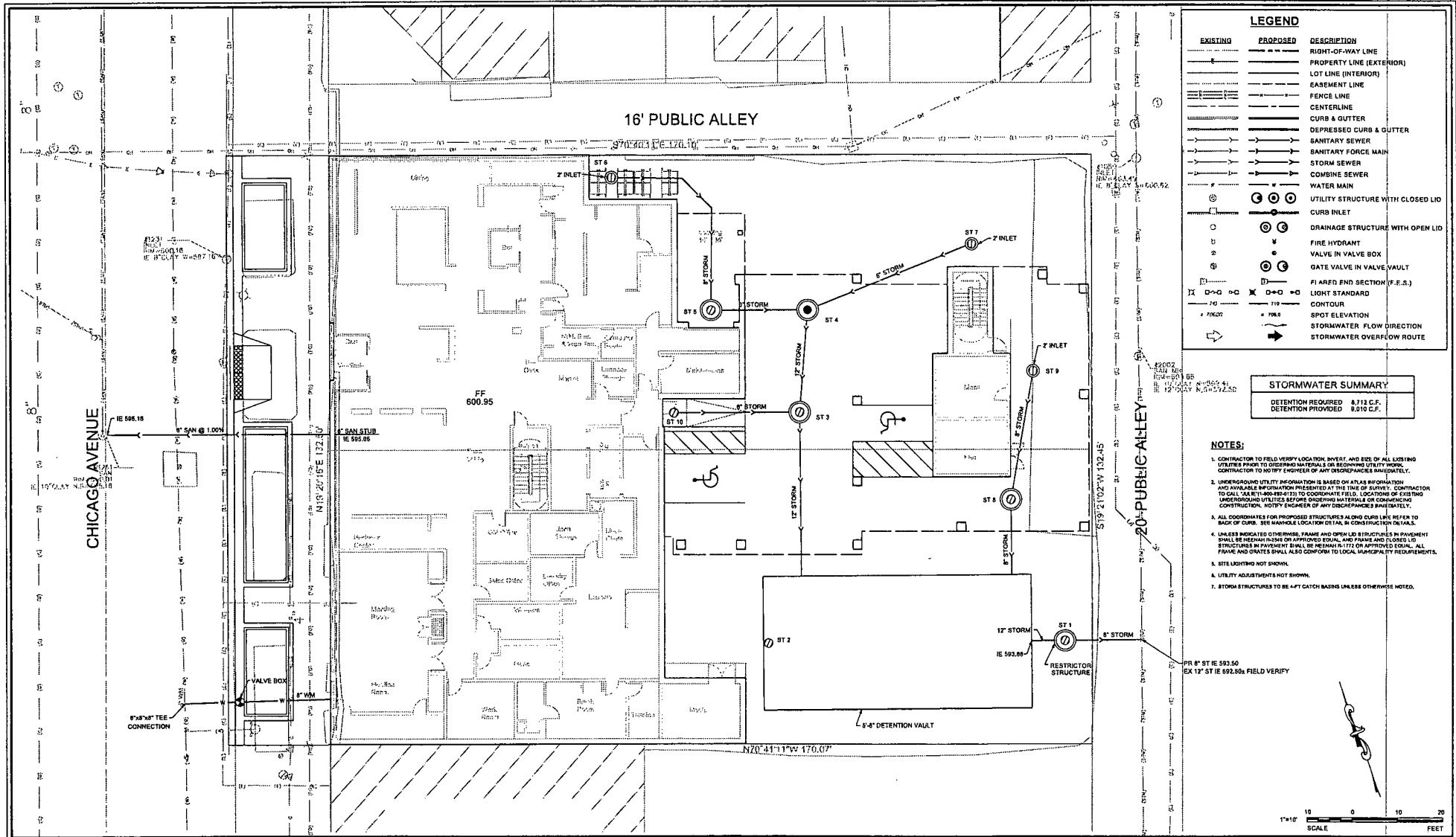
PROJECT NO.	13190	DRAWING BY:	LJS
FILE NAME:		DRAWN BY:	DB
ORIGINAL ISSUE DATE:	12.31.13	CHECKED BY:	LJS
SCALE:	1"=10'	PROJECT MANAGER:	LJS

EVANSTON EXTENDED STAY HOTEL
 1515 CHICAGO AVENUE
 EVANSTON ILLINOIS

PRELIMINARY GRADING PLAN

DRAWING NO.
C2

13190 - PRELIMINARY GRADING PLAN



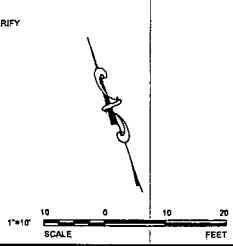
LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	RIGHT-OF-WAY LINE
---	---	PROPERTY LINE (EXTERIOR)
---	---	LOT LINE (INTERIOR)
---	---	EASEMENT LINE
---	---	FENCE LINE
---	---	CENTERLINE
---	---	CURB & GUTTER
---	---	DEPRESSED CURB & GUTTER
---	---	SANITARY SEWER
---	---	SANITARY FORCE MAIN
---	---	STORM SEWER
---	---	COMBINE SEWER
---	---	WATER MAIN
---	---	UTILITY STRUCTURE WITH CLOSED LID
---	---	CURB INLET
---	---	DRAINAGE STRUCTURE WITH OPEN LID
---	---	FIRE HYDRANT
---	---	VALVE IN VALVE BOX
---	---	GATE VALVE IN VALVE VAULT
---	---	FIARED END SECTION (F.E.S.)
---	---	LIGHT STANDARD
---	---	CONTOUR
---	---	SPOT ELEVATION
---	---	STORMWATER FLOW DIRECTION
---	---	STORMWATER OVERFLOW ROUTE

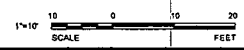
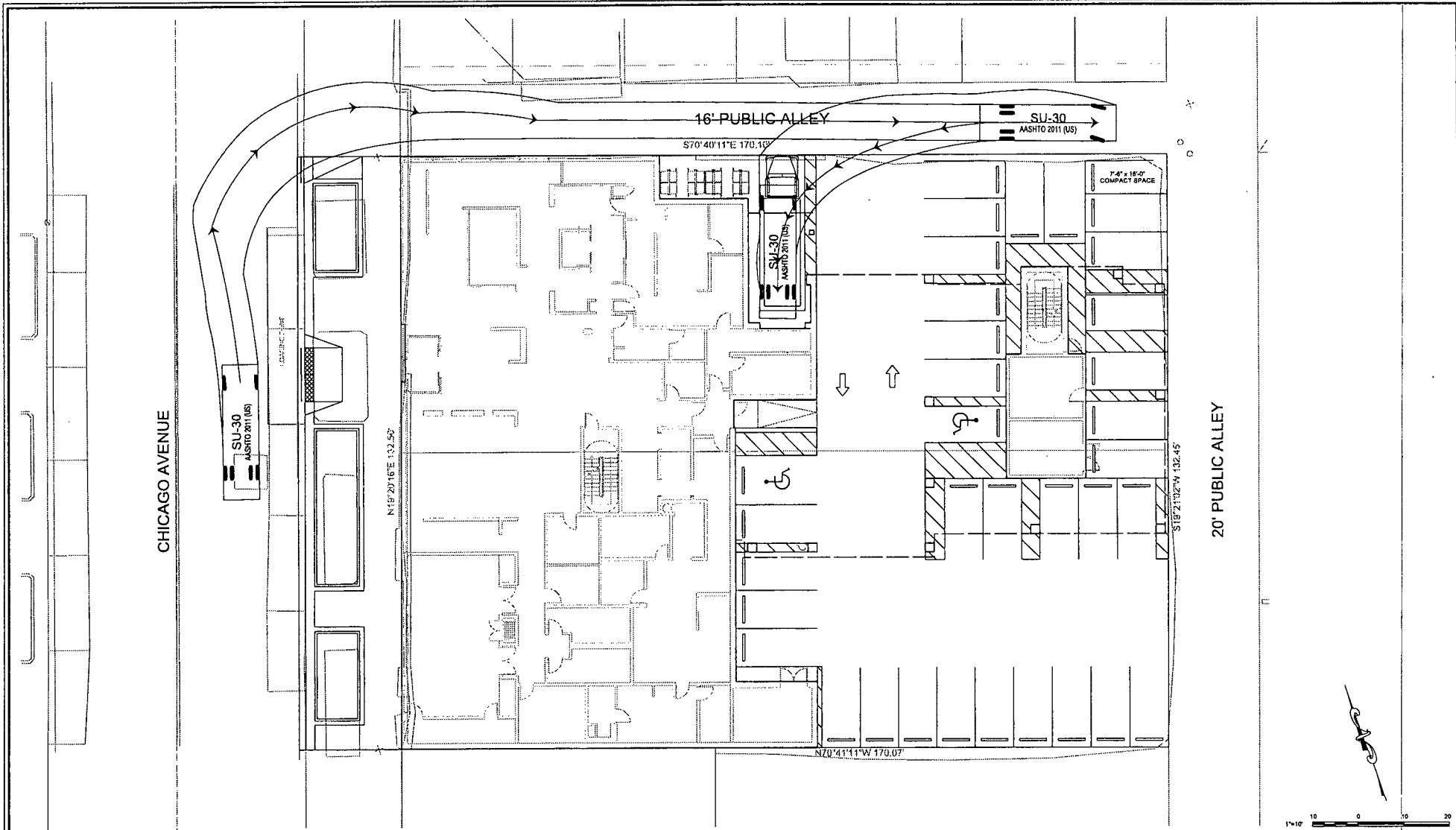
STORMWATER SUMMARY

DETENTION REQUIRED	8,712 C.F.
DETENTION PROVIDED	9,010 C.F.

- NOTES:**
- CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO ORDERING MATERIALS OR BEGINNING UTILITY WORK. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
 - UNDERGROUND UTILITY INFORMATION IS BASED ON ATLAS INFORMATION AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR TO CALL (CALL BEFORE YOU DIG) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR BEGINNING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
 - ALL COORDINATES FOR PROPOSED STRUCTURES ALONG CURB LINE REFER TO BACK OF CURB. SEE MANHOLE LOCATION DETAILS IN CONSTRUCTION DETAILS.
 - UNLESS INDICATED OTHERWISE, FRAME AND OPEN LID STRUCTURES IN PAVEMENT SHALL BE HESMAN IN THE ON APPROVED SIZES. ALL FRAME AND OPEN LID STRUCTURES IN PAVEMENT SHALL BE HESMAN R-173 ON APPROVED EQUAL. ALL FRAME AND GRATES SHALL ALSO CONFORM TO LOCAL MUNICIPALITY REQUIREMENTS.
 - SITE LIGHTING NOT SHOWN.
 - UTILITY ADJUSTMENTS NOT SHOWN.
 - STORM STRUCTURES TO BE 4-FIT CHAIN BASINS UNLESS OTHERWISE NOTED.



<p>V3 Companies 7338 Jones Avenue Wood Dale, IL 60191 630.774.9300 phone 630.774.9300 fax www.v3cc.com</p>	<p>Solomon Cordwell Buenz</p>	<p>QUADRANGLE</p>	<p>JANKO GROUP</p>	<p>NO. DATE DESCRIPTION</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION							<p>PROJECT NO. 13190</p> <p>DESIGNED BY: LJS</p> <p>FILE NAME: DB</p> <p>ORIGINAL ISSUE DATE: 12.31.13</p> <p>CHECKED BY: LJS</p> <p>SCALE: 1"=10'</p> <p>PROJECT MANAGER: LJS</p>	<p>EVANSTON EXTENDED STAY HOTEL</p> <p>1515 CHICAGO AVENUE</p> <p>ILLINOIS</p>	<p>PRELIMINARY UTILITY PLAN</p> <p>C3</p>	<p>DRAWING NO. C3</p>
				NO.	DATE	DESCRIPTION												
<p>THIS DOCUMENT IS THE PROPERTY OF V3 COMPANIES AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 COMPANIES.</p>				<p>DATE: 12/27/2013 9:09:37 AM</p>														



V3 Companies
7325 Janna Avenue
Woodridge, IL 60511
630.734.9200 ext101
630.734.9200 fax
www.v3inc.com



Solomon
Cordwell
Buenz



REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	01.15.14	REVISED PER CITY REVIEW			
2	01.31.14	REVISED PER CITY REVIEW			

PROJECT NO.
13190

DESIGNED BY:
LJS

FILE NAME:
ORIGIN BY:
OB

ORIGINAL ISSUE DATE:
12.31.13

CHECKED BY:
LJS

SCALE:
LJS

PROJECT MANAGER:
LJS

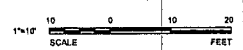
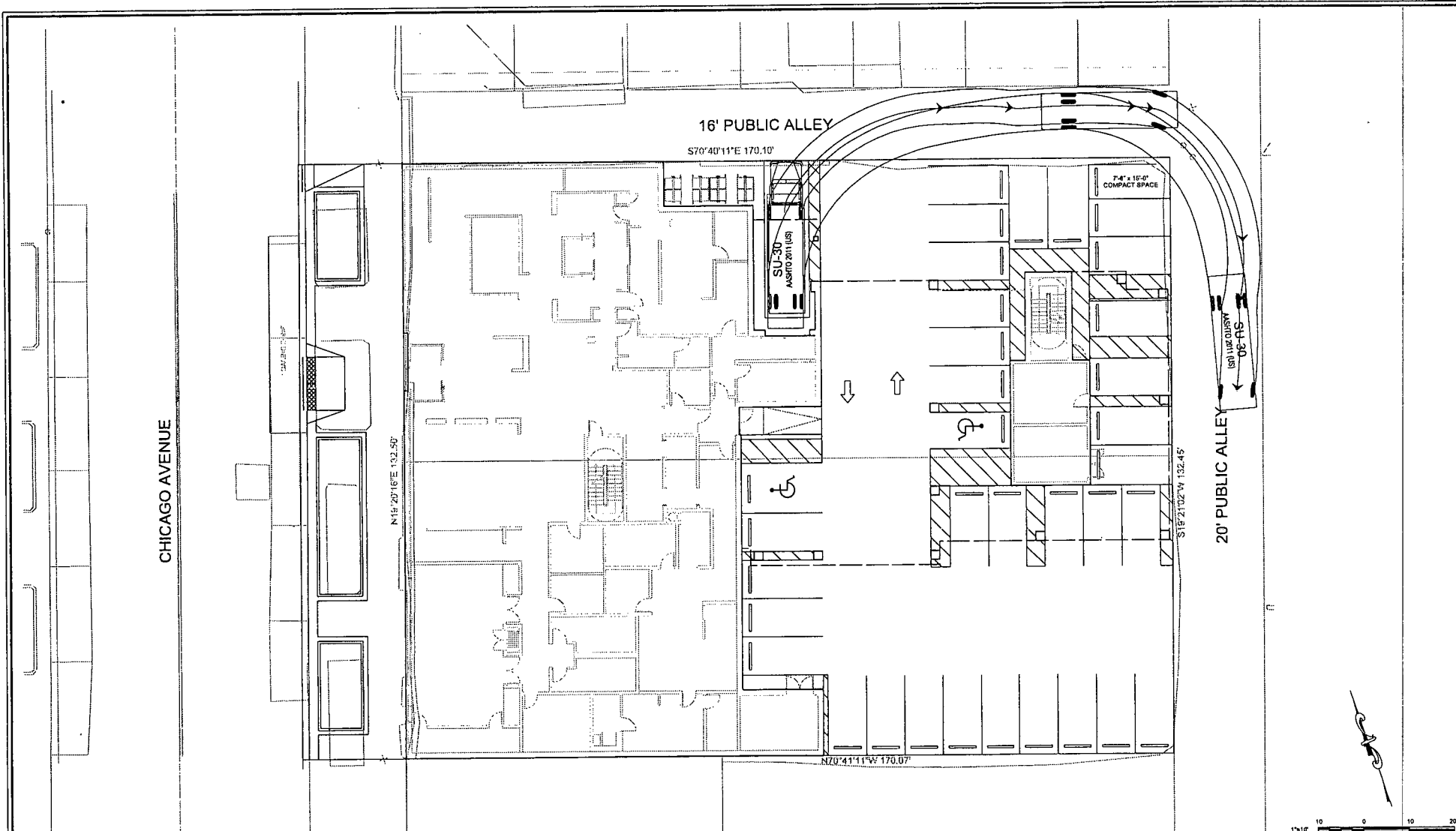
EVANSTON EXTENDED
STAY HOTEL

DELIVERY TRUCK EXHIBIT
APPROACH

DRAWING NO.
C4

EVANSTON 1515 CHICAGO AVENUE ILLINOIS

THIS DOCUMENT IS THE PROPERTY OF V3 COMPANIES AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 COMPANIES.



REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	01.13.14	REVISED PER CITY REVIEW			
2	01.31.14	REVISED PER CITY REVIEW			

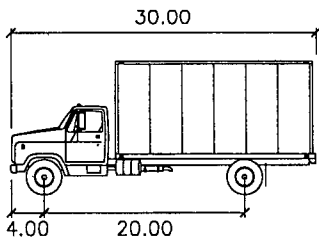
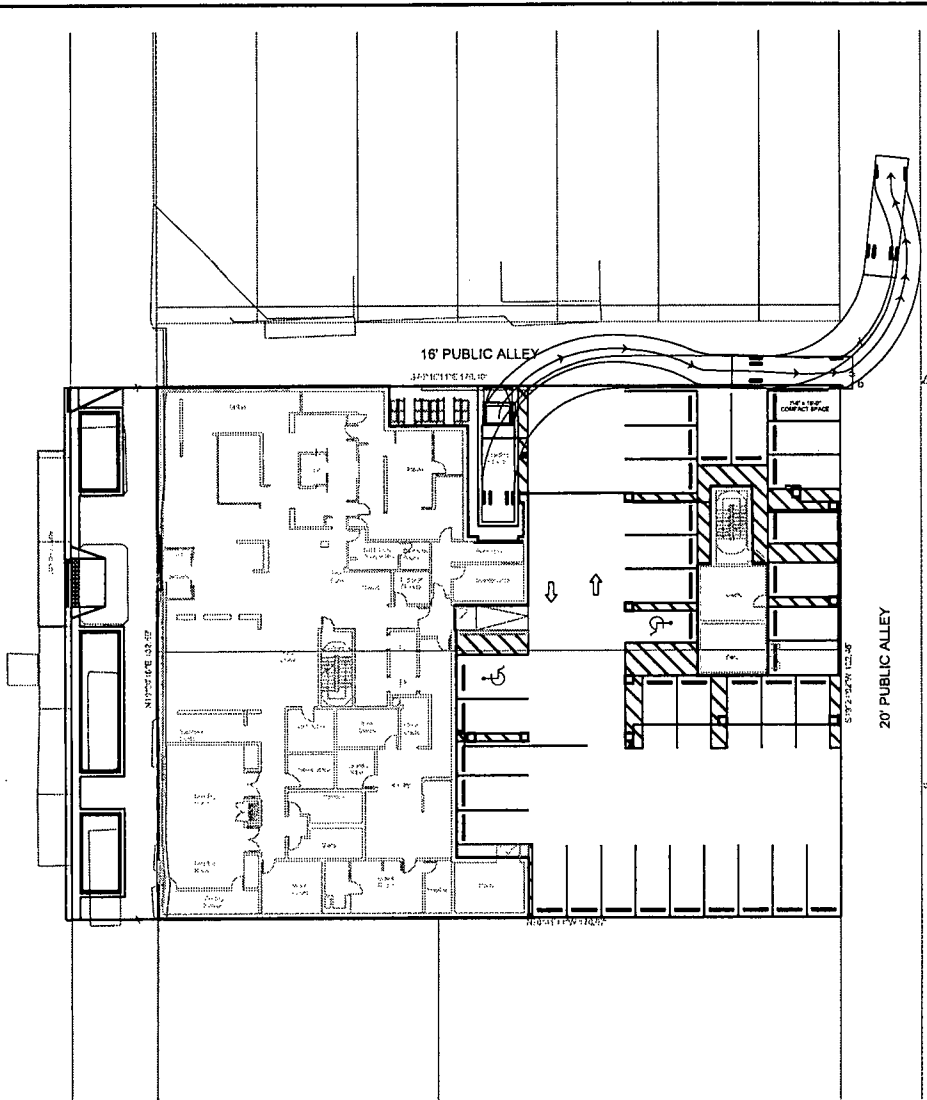
PROJECT NO:	13190	DESIGNED BY:	LJS
FILE NAME:		DRAWN BY:	DB
ORIGINAL ISSUE DATE:	12.31.13	CHECKED BY:	LJS
SCALE:		PROJECT MANAGER:	LJS

EVANSTON EXTENDED STAY HOTEL
 1515 CHICAGO AVENUE
 ILLINOIS

DELIVERY TRUCK EXHIBIT EXIT

DRAWING NO. **C5**

THIS DOCUMENT IS THE PROPERTY OF V2 COMPANY AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V2 COMPANY



IDOT-SU	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 35.0

CHICAGO AVENUE

20' PUBLIC ALLEY

16' PUBLIC ALLEY



V3 Companies
 7325 Jones Avenue
 Woodridge, IL 60517
 830.724.9200 phone
 830.724.9202 fax
 www.v3co.com

EVANSTON HOTEL

EVANSTON

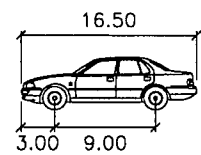
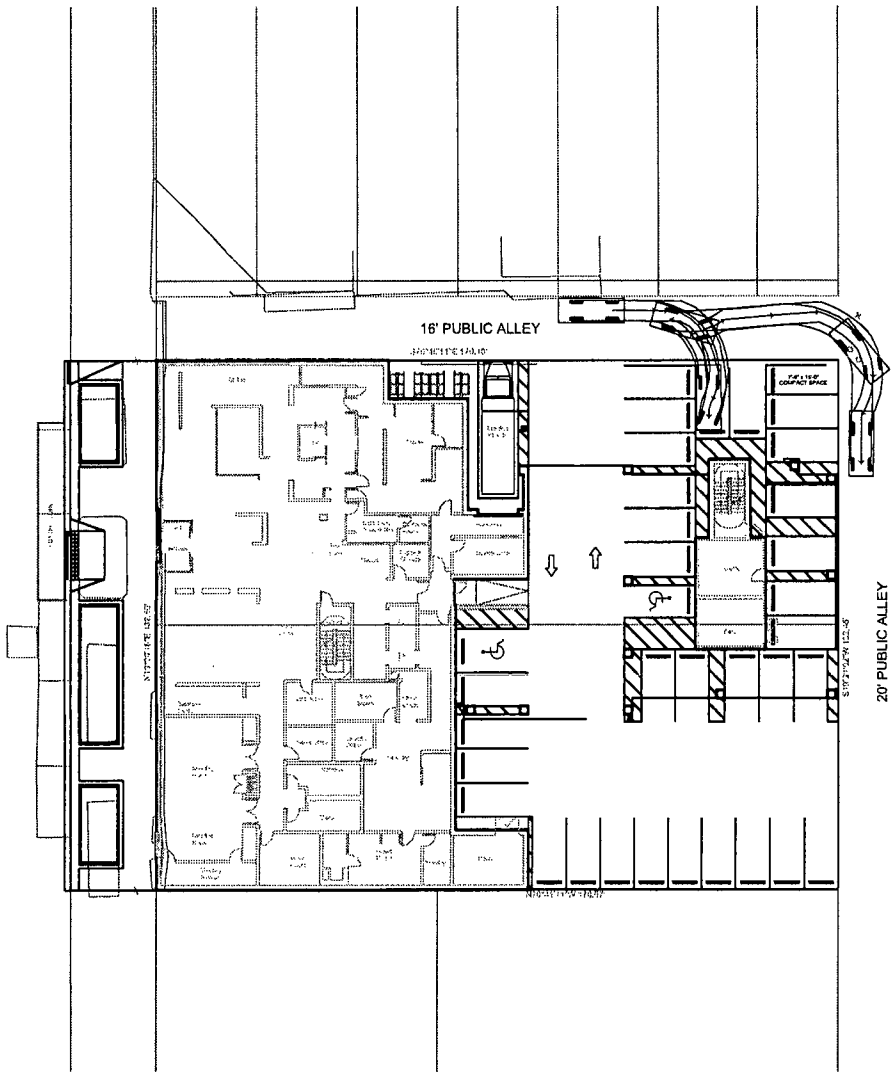
ILLINOIS

DELIVERY TRUCK EXHIBIT
 NORTH EXIT - OPTION 1

DATE: 02-19-14



SCALE: 1"= 30'



Ford Taurus feet
 Width : 6.10
 Track : 5.10
 Lock to Lock Time : 4.0
 Steering Angle : 31.4



V3 Companies
 7325 James Avenue
 Woodridge, IL 60517
 630.724.9200 phone
 630.724.9202 fax
 www.v3co.com

EVANSTON HOTEL

CAR PARKING EXHIBIT
 OPTION 1

DATE: 03-04-14



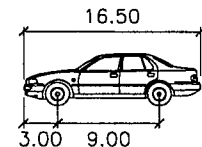
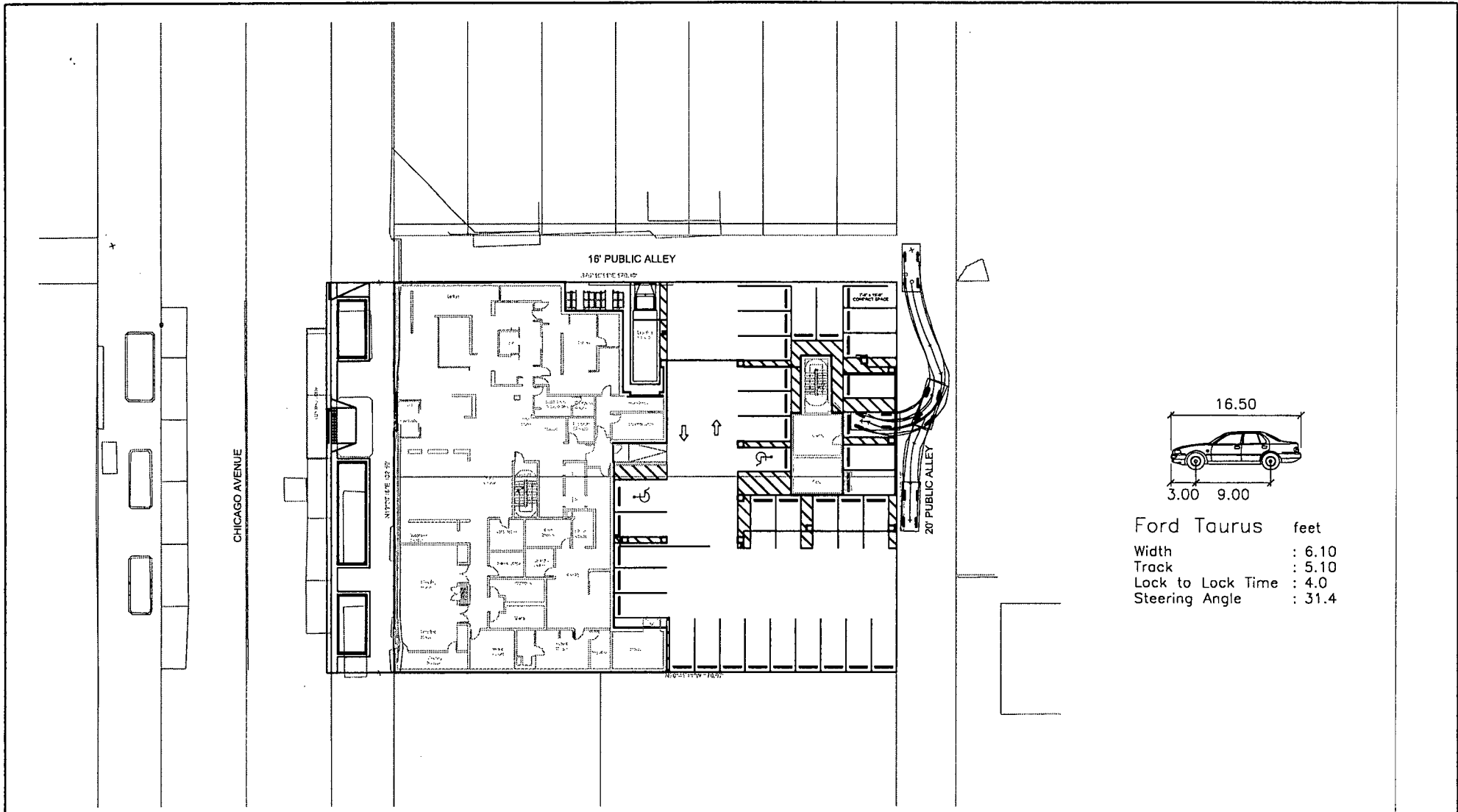
SCALE: 1"= 30'

EVANSTON

ILLINOIS

E:\2013\13190\Drawings\Main\Exhibit\Car Parking Exhibit_13190.dgn

3/4/2014 9:18:16 AM



Ford Taurus feet
 Width : 6.10
 Track : 5.10
 Lock to Lock Time : 4.0
 Steering Angle : 31.4



V3 Companies
 7325 Jones Avenue
 Woodridge, IL 60517
 630.724.9200 phone
 630.724.9202 fax
 www.v3co.com

EVANSTON HOTEL

CAR PARKING EXHIBIT
 OPTION 3

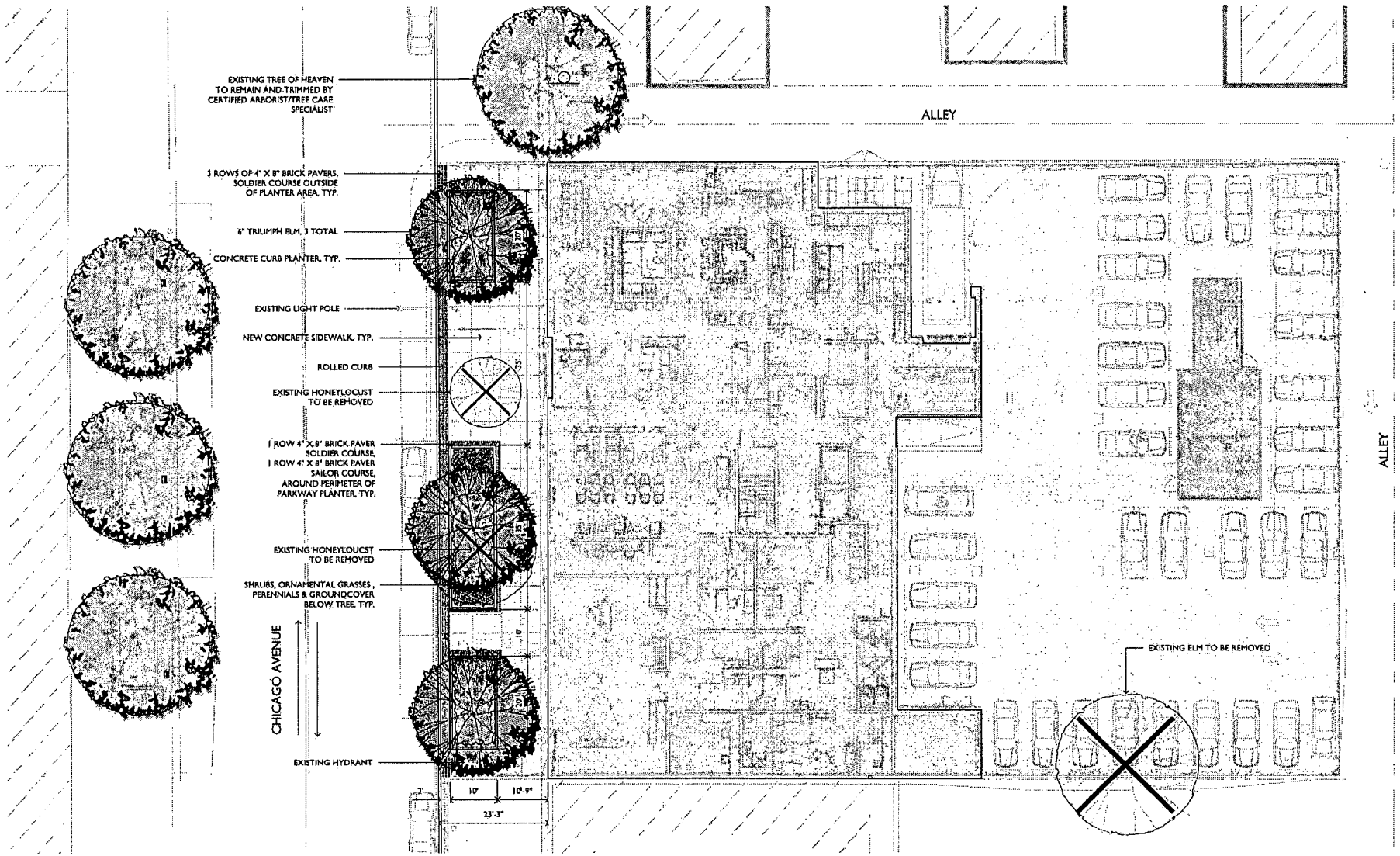
DATE: 03-04-14



SCALE: 1"= 30'

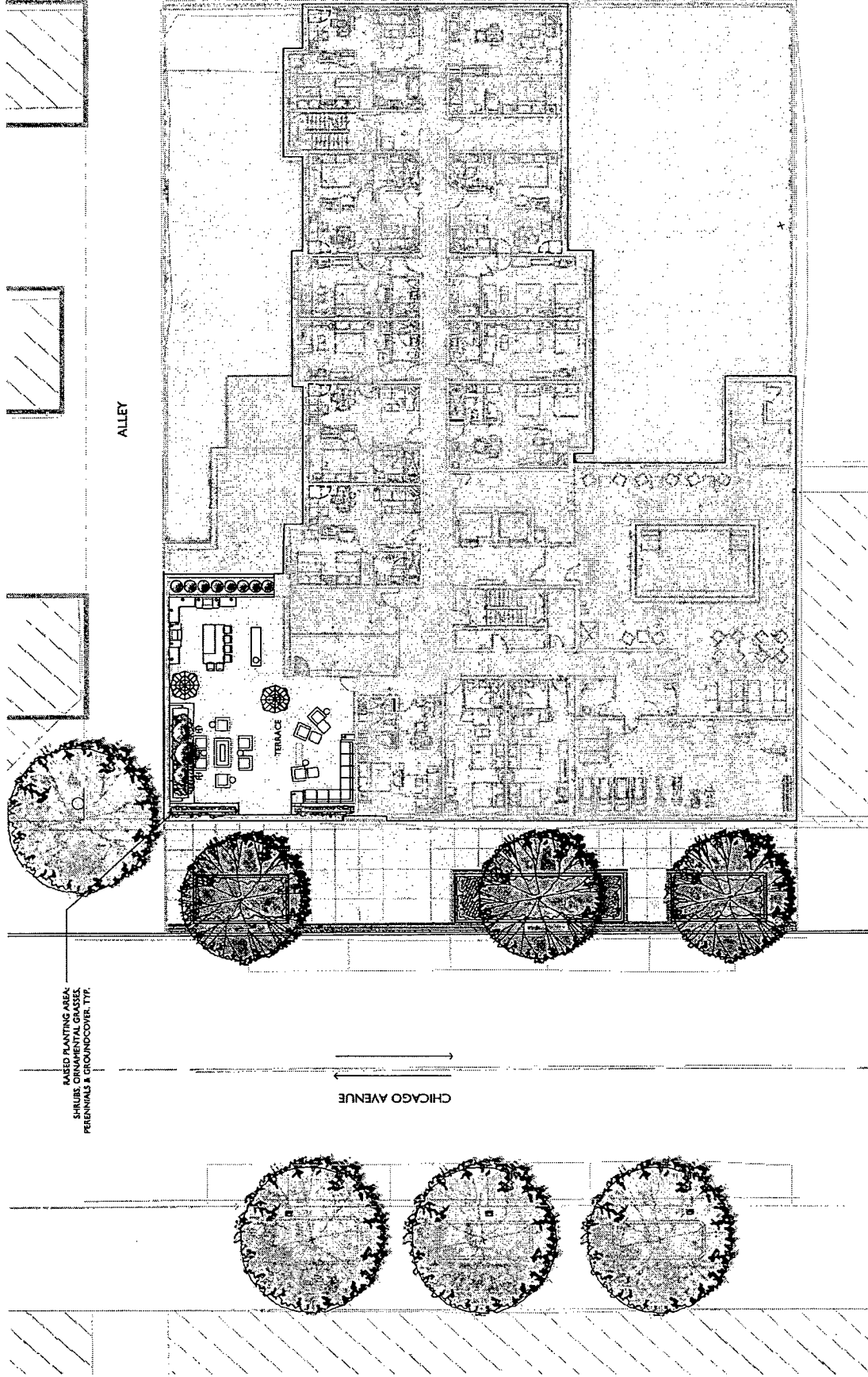
EVANSTON

ILLINOIS



LANDSCAPE PLAN
SCALE: 1" = 10'-0"

NOTE: PROPOSED TREE SIZES HAVE CHANGED FROM 4" CALIPER TREES TO 6" CALIPER TREES



BASED PLANTING AREA
 SHRUBS
 PERENNIALS & GROUND COVER, TYP.

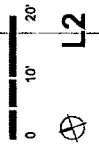
CHICAGO AVENUE

ALLEY

ALLEY

TERRACE

LEVEL 2 LANDSCAPE PLAN
 SCALE 1" = 10'-0"

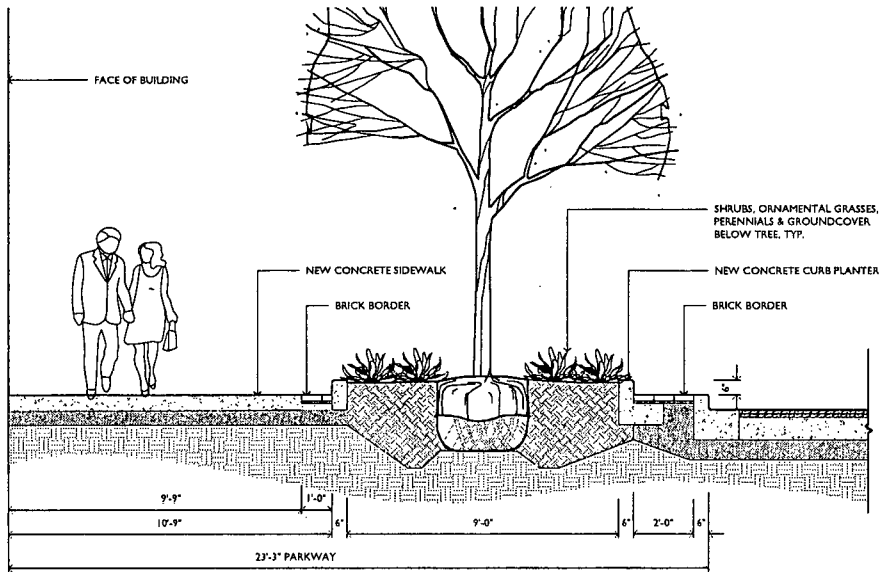


03/06/2014
 2013050

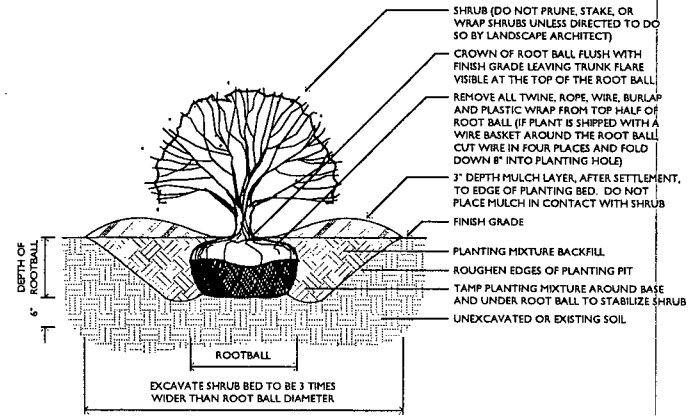
EVANSTON EXTENDED STAY HOTEL
 THE JANKO GROUP/QUADRANGLE

JANKO GROUP QUADRANGLE

L2



SECTION THROUGH SIDEWALK & PARKWAY PLANTER
SCALE: 1/2" = 1'-0"

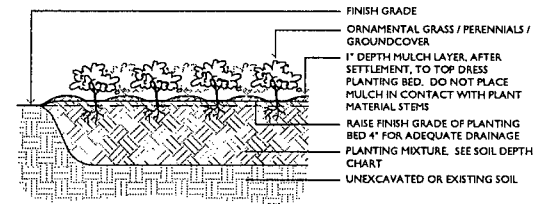
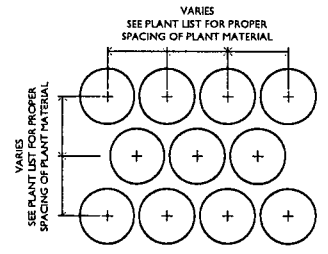


2 SHRUB PLANTING DETAIL
SCALE: 1" = 1'-0"

PLANTING PALETTE

CODE	BOTANICAL NAME	COMMON NAME	QTY	CAL	HT	SPRD	ROOT	REMARKS
LFH3	LAFIUS X HORTON 'GLOSSY'	TRUMPET BLM	3	6"	-	-	B&S	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
DS	DIERVILLA SEAUFOLIA	SOUTHERN BUSH HONEYUCKLE	-	-	-	-	#3	4'-0" ON CENTER
JCSG	JUNIPERUS CHINENSIS SEA GREEN	SEA GREEN JUNIPER	-	-	-	-	#3	4'-0" ON CENTER
JHF	JUNIPERUS HORIZONTALIS	ANDROMEDA COFFICE JUNIPER	-	-	-	-	#3	3'-0" ON CENTER
RSE	PHYSCOCARPUS OYALBICELLUS 'SEWARD'	SURFER WAVE PERENNA	-	-	-	-	#3	4'-0" ON CENTER
RAE	RIBES ALPNUM	ALPINE CURRANT	-	-	-	-	#3	4'-0" ON CENTER
RACL	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	-	-	-	-	#3	3'-0" ON CENTER
KPRO	KOSA X 'RED KNOCK OUT'	RED KNOCKOUT ROSE	-	-	-	-	#3	3'-0" ON CENTER
KRO	KOSA X 'RED KNOCK OUT'	RED KNOCKOUT ROSE	-	-	-	-	#3	3'-0" ON CENTER
SPRA	SPINEA X 'GOLDPLAHE'	GOLDPLAHE SPINEA	-	-	-	-	#3	3'-0" ON CENTER
TFW	TASUS X 'RED WAVE'	RED WAVE	-	-	-	-	B&S	3'-0" ON CENTER
CAKE	CALAMAGROSTIS ACUTIFLORA 'KARL FORSTER'	KARL FORSTER FEATHER REED GRASS	-	-	-	-	#3	3'-0" ON CENTER
HMP	HISCANTHUS SIBENSIS 'PURPURASCENS'	PURPLE MAIDEN GRASS	-	-	-	-	#3	3'-0" ON CENTER
PMS	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH RED SWITCH GRASS	-	-	-	-	#3	3'-0" ON CENTER
PAK	PANICUM ALPHELOIDES 'SHARLEY'	SHARLEY DWARF EQUINE GRASS	-	-	-	-	#3	3'-0" ON CENTER
PH	SPOROBIOLUS HETEROLEPIS	PLAINE CROPPED	-	-	-	-	#1	1'-4" ON CENTER
SPC	SPERMATOPHYTES 'COLOBATUS'	PURPLE LEAF WINTERCREEPER	-	-	-	-	Q7	1'-2" ON CENTER
EPI	ECHINACEA PURPUREA 'MAGNUS'	MAGNUS PURPLE CONEFLOWER	-	-	-	-	#1	1'-2" ON CENTER
HSH	HEPEROCALLIS SPECIES PKX	DAILY	-	-	-	-	#1	1'-4" ON CENTER
HP	HEPETA X 'MAASSEN'	CATHYNE	-	-	-	-	#1	1'-4" ON CENTER
PR	PASTINACELLA QUINQUEFOIDA	VERONA CREEPER	-	-	-	-	#1	3'-0" ON CENTER

NOTE: QUANTITIES ON THE PLANT LIST ARE PROVIDED FOR INFORMATION ONLY. PLANT QUANTITIES UNDER THE CONTRACT ARE INDICATED ON THE PLANS. IN THE EVENT OF ANY DISCREPANCIES, THE CONTRACT SHALL BE BASED ON THE QUANTITIES SHOWN ON THE PLANS.



3 ORNAMENTAL GRASSES, SHRUBS, PERENNIALS & GROUND COVER PLANTING DETAIL
SCALE: 1" = 1'-0"

BOUNDARY AND TOPOGRAPHICAL SURVEY
FOR
EVANSTON EXTENDED STAY HOTEL
EVANSTON, IL.

LOTS 9 AND 10 IN BLOCK 28 IN EVANSTON IN THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 41 NORTH, RANGE 14 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

BASIS OF BEARINGS

BASIS OF BEARINGS IN THE ILLINOIS STATE PLANE SYSTEM - EAST ZONE (1201)
SCALE FACTOR 1.0000141001

GRAPHIC SCALE



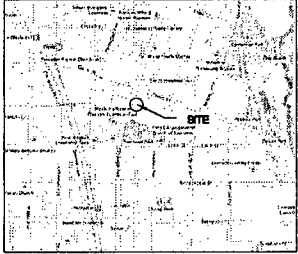
BENCHMARK

BENCH:
STATION DESIGNATION: 708 BENCHMARK B.M.P.
ESTABLISHED BY: CITY OF EVANSTON
DATE: 10TH OF EVANSTON DATUM
DATE: AUGUST 1985
ELEVATION: 18.25 (PUBLISHED) CITY OF EVANSTON DATUM
ELEVATION: 118.54 (MEASURED AND REDUCED) NAVD83 DATUM
(SITE ELEVATIONS ARE ON NAVD83 DATUM)
DESCRIPTION: BRASS PINS AT THE NORTHEASTERLY CORNER OF DAVIS STREET AND FOREST PLACE.

BENCH:
STATION DESIGNATION: 709 BENCHMARK B.M.P.
ESTABLISHED BY: CITY OF EVANSTON
DATE: AUGUST 1985
ELEVATION: 36.81 (PUBLISHED) CITY OF EVANSTON DATUM
ELEVATION: 118.84 (MEASURED AND REDUCED) NAVD83 DATUM
(SITE ELEVATIONS ARE ON NAVD83 DATUM)
DESCRIPTION: BRASS PINS AT THE NORTHEASTERLY CORNER OF ROOSEVELT AVENUE AND DEWEY STREET.

BENCH:
STATION DESIGNATION: 804 B.M.P.
ESTABLISHED BY: V3 COMPANIES
DATE: 1973/3
ELEVATION: 80.35 (MEASURED)
SITE DATA: NONE
DESCRIPTION: CUT CROSS ON NORTH WEST BOLT OF FIRE HYDRANT LOCATED ALONG THE EAST SIDE OF CHICAGO AVENUE APPROXIMATELY 100 FEET NORTH OF DAVIS STREET
(80.35 FACT AVERAGE 578 IN. TO OBTAIN CITY OF EVANSTON DATUM)

STATE PLANE MERIDIAN



VICINITY MAP
NOT TO SCALE

LEGEND

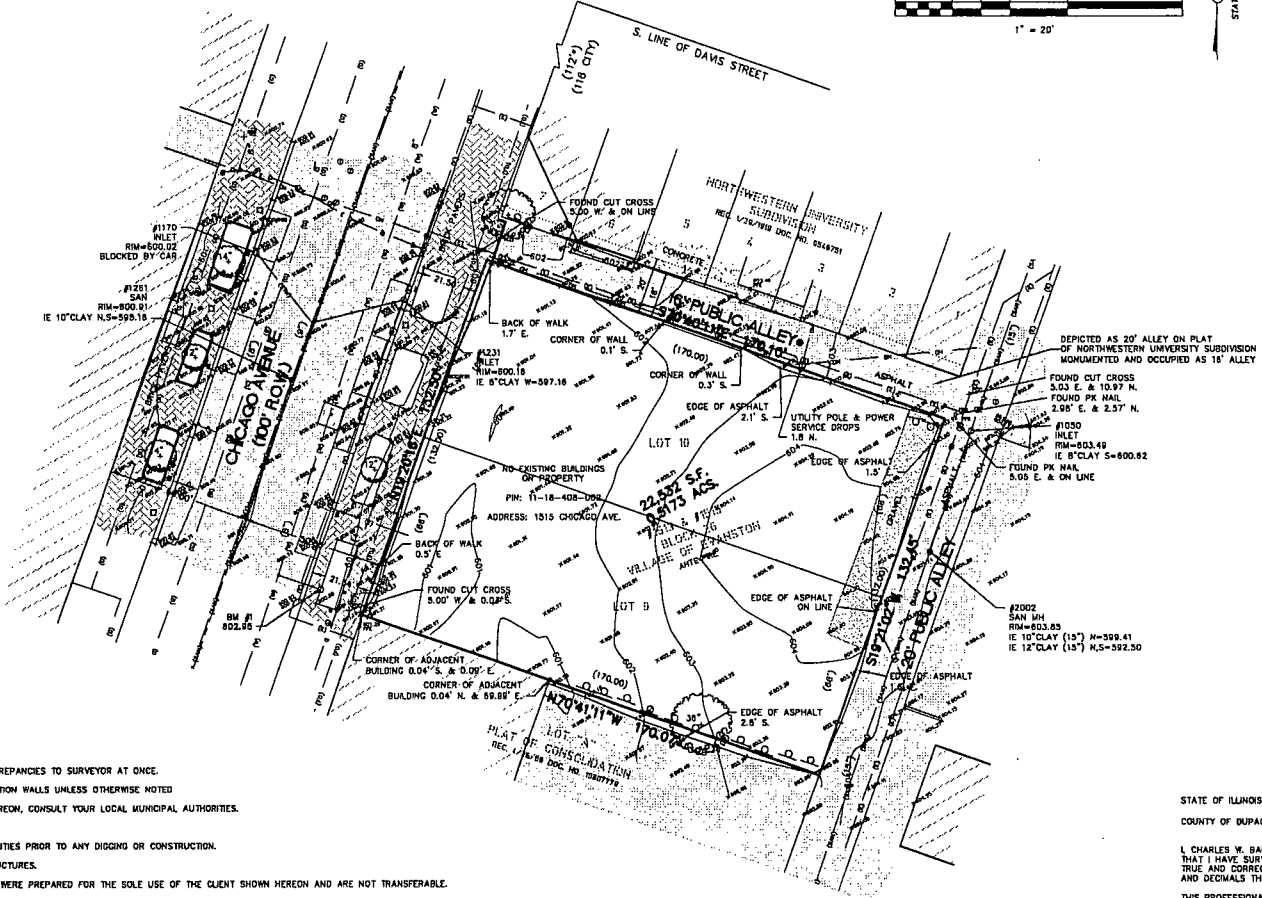
- Symbol for building, utility, and other features.
- Symbol for boundary lines and easements.
- Symbol for topographic features like trees and terrain.
- Symbol for survey points and markers.
- Symbol for easements and encroachments.
- Symbol for utility lines and structures.
- Symbol for property lines and corners.
- Symbol for various survey markers and monuments.

ABBREVIATIONS

- Abbreviations for various surveying and engineering terms.
- Abbreviations for utility and building types.
- Abbreviations for survey markers and monuments.
- Abbreviations for property and easement types.

GENERAL NOTES

- COMPARE ALL POINTS IN FIELD PRIOR TO ANY CONSTRUCTION AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
- ALL BUILDING DIMENSIONS SHOWN HEREON ARE MEASURED TO THE EXTERIOR FOUNDATION WALLS UNLESS OTHERWISE NOTED
- FOR BUILDING RESTRICTIONS AS ESTABLISHED BY LOCAL ORDINANCES NOT SHOWN HEREON, CONSULT YOUR LOCAL MUNICIPAL AUTHORITIES.
- DO NOT SCALE DIMENSIONS FROM THIS MAP.
- CALL J.U.L.I.E. AT 1-800-892-0123 FOR FIELD LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION.
- UTILITIES AND IMPROVEMENTS SHOWN HEREON BASED ON VISIBLE FIELD VERIFIED STRUCTURES.
- ONLY PRINTS WITH AN EMBOSSED SEAL SHALL BE CONSIDERED OFFICIAL COPIES AND WERE PREPARED FOR THE SOLE USE OF THE CLIENT SHOWN HEREON AND ARE NOT TRANSFERABLE.
- UNDERGROUND UTILITY LINES SHOWN HEREON ARE BASED ON FIELD LOCATED STRUCTURES IN COORDINATION WITH ATLAS INFORMATION PROVIDED BY UTILITY COMPANIES THROUGH J.U.L.I.E.'S DESIGN STAGE PROCESS. SEE "UTILITY ATLAS NOTES" HEREON FOR SPECIFICS. A THIRD-PARTY UTILITY LOCATOR WAS NOT USED FOR THIS TASK.
- THIS SURVEY MAY NOT REFLECT ALL UTILITIES OR IMPROVEMENTS IF SUCH ITEMS ARE HIDDEN BY LANDSCAPING OR ARE COVERED BY SUCH ITEMS AS DUMPSTERS, TRAILERS, CARS, DIRT, PAVING OR SNOW AT THE TIME OF THIS SURVEY, APPROXIMATELY 2 INCHES OF SNOW & ICE COVERED THE ENTIRE SITE. LAWN SPRINKLER SYSTEMS, IF ANY, ARE NOT SHOWN ON THIS SURVEY. OTHER THAN VISIBLE OBSERVATIONS NOTED HEREON, THIS SURVEY MAKES NO STATEMENT REGARDING THE ACTUAL PRESENCE OR ABSENCE OF ANY SERVICE.
- THE LOCATION OF THE PROPERTY LINES SHOWN ON THE FACE OF THIS PLAT ARE BASED UPON THE DESCRIPTION AND INFORMATION FURNISHED BY THE CLIENT, TOGETHER WITH THE TITLE COMMITMENT. THE PARCEL WHICH IS DEFINED MAY NOT REFLECT ACTUAL OWNERSHIP, BUT REFLECTS WHAT WAS SURVEYED. FOR OWNERSHIP, CONSULT YOUR TITLE COMPANY. A FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT ORDER NUMBER 2011 033004851 USC, EFFECTIVELY DATED APRIL 23, 2012, WAS PROVIDED FOR SURVEYORS USE AT THE TIME OF PREPARATION OF THIS SURVEY. THE PROPERTY IS SUBJECT TO THOSE TITLE EXCEPTIONS LISTED THEREIN. ALL EXCEPTIONS ARE "NOT PLOTTABLE".
- IN THE NORTHWESTERN UNIVERSITY SUBDIVISION (OF LOTS 11 AND 12 IN "VILLAGE OF EVANSTON") THE RECORD ALLEY WIDTH IS SHOWN AS 20 FEET WITH THE LOT DEPTHS AT 112 FEET. THE CITY OF EVANSTON CITY SHEETS REFLECT A 18-FOOT WIDE ALLEY WITH LOT DEPTHS OF 110 FEET, WHICH MATCH OCCUPATION. THE CITY HAS BEEN OCCUPIED AS 16 FEET WIDE ALLEY SINCE AT LEAST 1928. NO OTHER INFORMATION IS AVAILABLE.



UTILITY ATLAS NOTES:

J.U.L.I.E. DESIGN STAGE REQUEST
DIG NUMBER A338052 RECEIVED 12/04/13.

CONTACTS PROVIDED BY J.U.L.I.E. & LISTED BELOW WERE CONTACTED BY V3 VIA FAX, REQUESTING UTILITY ATLAS INFORMATION ON 12/04/13.

CONTACTS	RESPONSE
A. T. & T. DISTRIBUTION	NO RESPONSE
A. T. & T. LOCAL SERVICE	RESPONDED WITH INFO + COM-ED
COMCAST	NO RESPONSE
EVANSTON, CITY OF	RESPONDED WITH ATLAS
M.W.R.D.	RESPONDED "ALL CLEAR"
INDOR GAS	RESPONDED WITH ATLAS
NORTHWESTERN UNIVERSITY	NO RESPONSE
SUNESTYS, LLC	RESPONDED WITH ATLAS

* FACILITIES ARE LOCATED IN DUCT OWNED BY A.T.&T. DISTRIBUTION

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, CHARLES W. BARTOSZ, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT IS A TRUE AND CORRECT REPRESENTATION THEREOF. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF, CORRECTED TO A TEMPERATURE OF 68 DEGREES FAHRENHEIT.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR BOUNDARY AND TOPOGRAPHIC SURVEYS.

FIELD WORK COMPLETED ON DECEMBER 12, 2013.
DATED THIS 27TH DAY OF DECEMBER, A.D., 2013.

Charles W. Bartosz
CHARLES W. BARTOSZ
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3188
MY LICENSE EXPIRES ON NOVEMBER 30, 2014.
V3 COMPANIES OF ILLINOIS, LTD. PROFESSIONAL DESIGN FIRM NO. 18400902
THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2018.



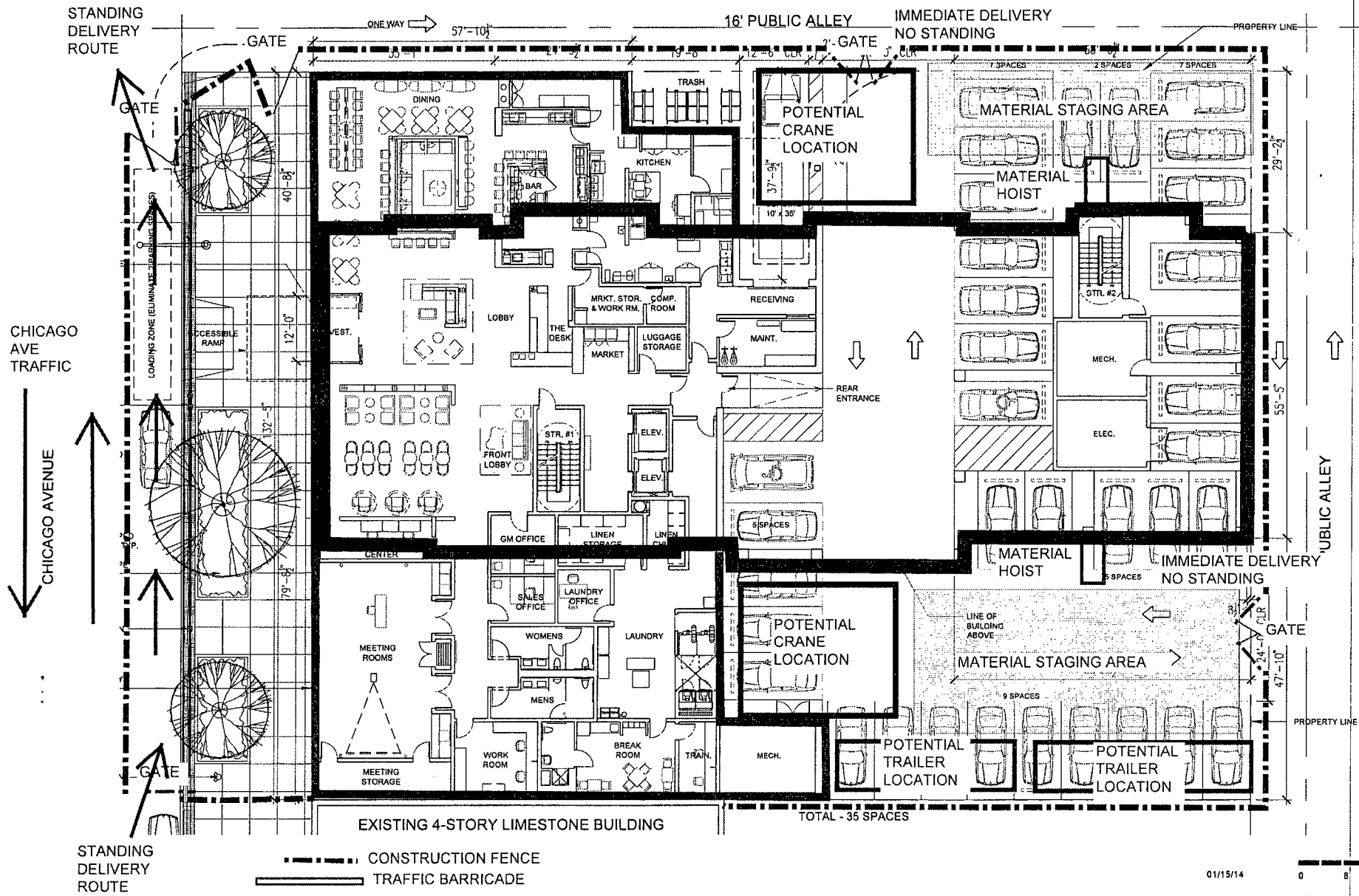
Engineers
Scientists
Surveyors

7325 Janes Avenue, Suite 100
Woodridge, IL 60517
630.724.9200 voice
630.724.0384 fax
v3co.com

PREPARED FOR:
QUADRANGLE, L.L.C. & JANKO GROUP, L.L.C.
1181 LAKE COOK ROAD, SUITE A
DEERFIELD, IL 60015
847-940-7333

NO.		DATE		DESCRIPTION	

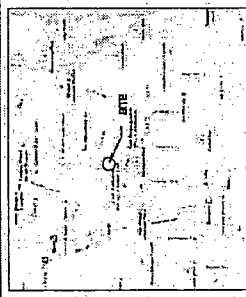
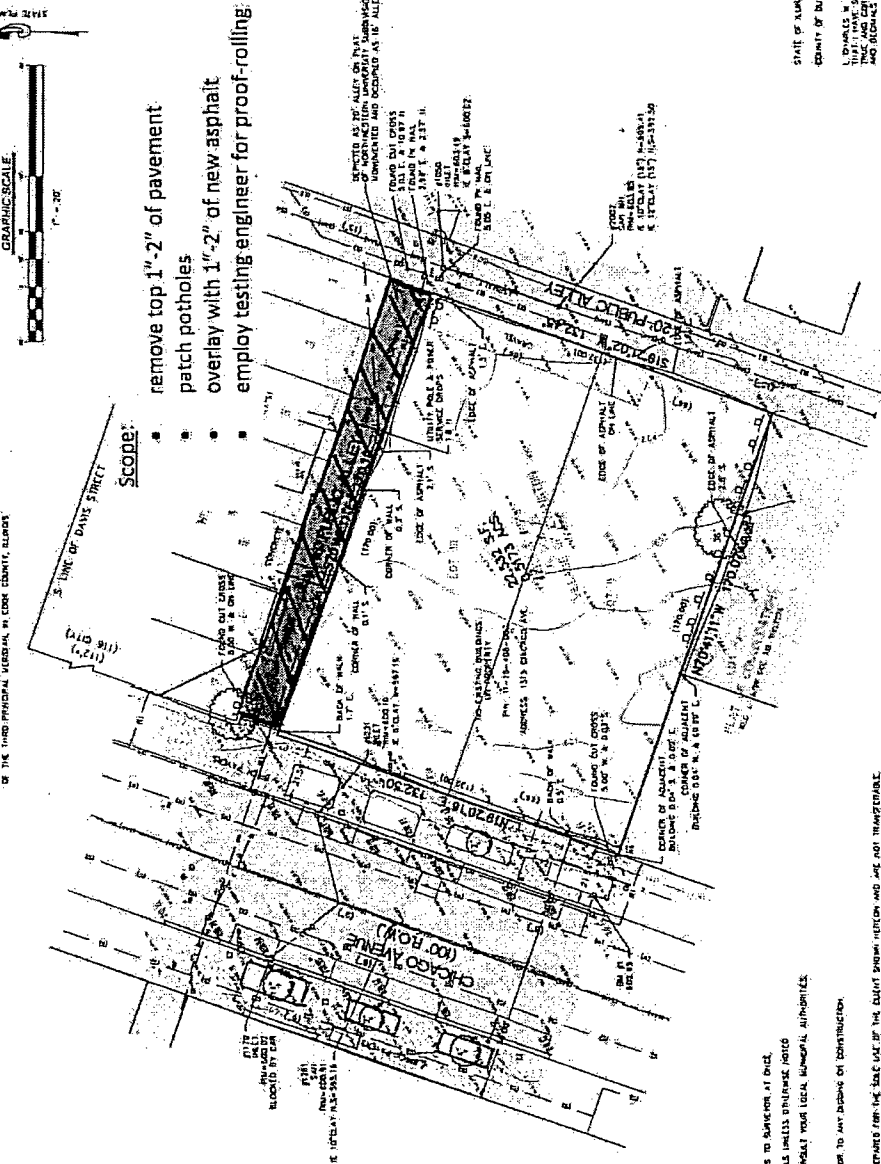
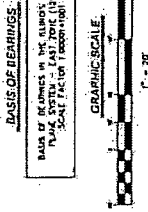
BOUNDARY AND TOPOGRAPHICAL SURVEY			
EVANSTON EXTENDED STAY HOTEL, EVANSTON, IL.			
DRAFTING COMPLETED:	12/27/13	DRAWN BY:	EJM
FIELD WORK COMPLETED:	12/12/13	CHECKED BY:	CWS
PROJECT MANAGER:	CWS	SCALE:	1" = 20'
Project No:	13180	Group No:	VP03.1
SHEET NO.	1	OF	1



BOUNDARY AND TOPOGRAPHICAL SURVEY FOR EVANSTON EXTENDED STAY HOTEL, EVANSTON, ILL.

GENERAL NOTES:

- 1. ALL POINTS ARE TO BE SET BY THE SURVEYOR.
- 2. ALL MEASUREMENTS ARE TO BE MADE WITH A TOTAL STATION.
- 3. ALL DISTANCES ARE TO BE MEASURED TO THE CENTRE OF THE LINE.
- 4. ALL ANGLES ARE TO BE MEASURED TO THE INTERIOR.
- 5. ALL CORNERS ARE TO BE SET BY TWO PERPENDICULARS.
- 6. ALL ELEVATIONS ARE TO BE MEASURED TO THE SURFACE OF THE WATER.
- 7. ALL BENCH MARKS ARE TO BE SET BY THE SURVEYOR.
- 8. ALL UTILITIES ARE TO BE LOCATED BY THE SURVEYOR.
- 9. ALL EROSION IS TO BE REPAIRED BY THE SURVEYOR.
- 10. ALL OBSTRUCTIONS ARE TO BE REMOVED BY THE SURVEYOR.
- 11. ALL NECESSARY PERMITS ARE TO BE OBTAINED BY THE SURVEYOR.
- 12. ALL NECESSARY RECORDS ARE TO BE KEPT BY THE SURVEYOR.
- 13. ALL NECESSARY COPIES ARE TO BE PROVIDED BY THE SURVEYOR.
- 14. ALL NECESSARY FILING FEES ARE TO BE PAID BY THE SURVEYOR.
- 15. ALL NECESSARY LEGAL FEES ARE TO BE PAID BY THE SURVEYOR.
- 16. ALL NECESSARY INSURANCE FEES ARE TO BE PAID BY THE SURVEYOR.
- 17. ALL NECESSARY TRAVEL EXPENSES ARE TO BE PAID BY THE SURVEYOR.
- 18. ALL NECESSARY MEAL EXPENSES ARE TO BE PAID BY THE SURVEYOR.
- 19. ALL NECESSARY LODGING EXPENSES ARE TO BE PAID BY THE SURVEYOR.
- 20. ALL NECESSARY OTHER EXPENSES ARE TO BE PAID BY THE SURVEYOR.



- LEGEND:**
- 1. Proposed Survey Line
 - 2. Property Boundary
 - 3. Chicago Avenue
 - 4. 300-Peaco Alley
 - 5. Water Main
 - 6. Sewer Main
 - 7. Gas Main
 - 8. Easement
 - 9. Encroachment
 - 10. Unrecorded Interest
 - 11. Right-of-Way
 - 12. Boundary Line
 - 13. Corner
 - 14. Monument
 - 15. Marker
 - 16. Survey Station
 - 17. Station
 - 18. Bench Mark
 - 19. Obstruction
 - 20. Erosion

GENERAL NOTES:

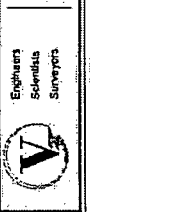
1. COMPLETE ALL POINTS SET FROM TO ANY INSTRUMENT AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
2. ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE SURVEYOR AND THE CLIENT.
3. FOR NECESSARY INFORMATION SEE THE RECORDS OF THE COUNTY OF COOK, ILLINOIS.
4. ALL DISTANCES ARE TO BE MEASURED TO THE CENTRE OF THE LINE.
5. ALL ANGLES ARE TO BE MEASURED TO THE INTERIOR.
6. ALL CORNERS ARE TO BE SET BY TWO PERPENDICULARS.
7. ALL ELEVATIONS ARE TO BE MEASURED TO THE SURFACE OF THE WATER.
8. ALL BENCH MARKS ARE TO BE SET BY THE SURVEYOR.
9. ALL UTILITIES ARE TO BE LOCATED BY THE SURVEYOR.
10. ALL EROSION IS TO BE REPAIRED BY THE SURVEYOR.
11. ALL OBSTRUCTIONS ARE TO BE REMOVED BY THE SURVEYOR.
12. ALL NECESSARY PERMITS ARE TO BE OBTAINED BY THE SURVEYOR.
13. ALL NECESSARY RECORDS ARE TO BE KEPT BY THE SURVEYOR.
14. ALL NECESSARY COPIES ARE TO BE PROVIDED BY THE SURVEYOR.
15. ALL NECESSARY FILING FEES ARE TO BE PAID BY THE SURVEYOR.
16. ALL NECESSARY LEGAL FEES ARE TO BE PAID BY THE SURVEYOR.
17. ALL NECESSARY INSURANCE FEES ARE TO BE PAID BY THE SURVEYOR.
18. ALL NECESSARY TRAVEL EXPENSES ARE TO BE PAID BY THE SURVEYOR.
19. ALL NECESSARY MEAL EXPENSES ARE TO BE PAID BY THE SURVEYOR.
20. ALL NECESSARY LODGING EXPENSES ARE TO BE PAID BY THE SURVEYOR.
21. ALL NECESSARY OTHER EXPENSES ARE TO BE PAID BY THE SURVEYOR.

GENERAL NOTES:

1. COMPLETE ALL POINTS SET FROM TO ANY INSTRUMENT AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
2. ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE SURVEYOR AND THE CLIENT.
3. FOR NECESSARY INFORMATION SEE THE RECORDS OF THE COUNTY OF COOK, ILLINOIS.
4. ALL DISTANCES ARE TO BE MEASURED TO THE CENTRE OF THE LINE.
5. ALL ANGLES ARE TO BE MEASURED TO THE INTERIOR.
6. ALL CORNERS ARE TO BE SET BY TWO PERPENDICULARS.
7. ALL ELEVATIONS ARE TO BE MEASURED TO THE SURFACE OF THE WATER.
8. ALL BENCH MARKS ARE TO BE SET BY THE SURVEYOR.
9. ALL UTILITIES ARE TO BE LOCATED BY THE SURVEYOR.
10. ALL EROSION IS TO BE REPAIRED BY THE SURVEYOR.
11. ALL OBSTRUCTIONS ARE TO BE REMOVED BY THE SURVEYOR.
12. ALL NECESSARY PERMITS ARE TO BE OBTAINED BY THE SURVEYOR.
13. ALL NECESSARY RECORDS ARE TO BE KEPT BY THE SURVEYOR.
14. ALL NECESSARY COPIES ARE TO BE PROVIDED BY THE SURVEYOR.
15. ALL NECESSARY FILING FEES ARE TO BE PAID BY THE SURVEYOR.
16. ALL NECESSARY LEGAL FEES ARE TO BE PAID BY THE SURVEYOR.
17. ALL NECESSARY INSURANCE FEES ARE TO BE PAID BY THE SURVEYOR.
18. ALL NECESSARY TRAVEL EXPENSES ARE TO BE PAID BY THE SURVEYOR.
19. ALL NECESSARY MEAL EXPENSES ARE TO BE PAID BY THE SURVEYOR.
20. ALL NECESSARY LODGING EXPENSES ARE TO BE PAID BY THE SURVEYOR.
21. ALL NECESSARY OTHER EXPENSES ARE TO BE PAID BY THE SURVEYOR.

QUADRANGLE, L.L.C. & JANKO GROUP, L.L.C.
1111 LAKE COOK ROAD, SUITE A
DEERFIELD, ILLINOIS 60015
630-724-0334
VLSUR.COM

Engineers
Schaeffels
Surveyors



UTILITY NOTES:

JULIE DEGRADY HAS REQUESTED THE MANAGER ANNUALLY RECEIVED DATA ON CONTRACTS PROVIDED BY JULIE DEGRADY TO BE LOCATED AND IDENTIFIED BY THE SURVEYOR ON 12/15/23.

CONTRACTS:

- A. T. & L. INTERSECTION - NO RECORD
- CONTRACT - NO RECORD
- CONTRACT - NO RECORD
- CONTRACT - NO RECORD
- CONTRACT - NO RECORD
- CONTRACT - NO RECORD
- CONTRACT - NO RECORD

UTILITY NOTES:

JULIE DEGRADY HAS REQUESTED THE MANAGER ANNUALLY RECEIVED DATA ON CONTRACTS PROVIDED BY JULIE DEGRADY TO BE LOCATED AND IDENTIFIED BY THE SURVEYOR ON 12/15/23.

CONTRACTS:

- A. T. & L. INTERSECTION - NO RECORD
- CONTRACT - NO RECORD
- CONTRACT - NO RECORD
- CONTRACT - NO RECORD
- CONTRACT - NO RECORD
- CONTRACT - NO RECORD
- CONTRACT - NO RECORD

BOUNDARY AND TOPOGRAPHICAL SURVEY
EVANSTON EXTENDED STAY HOTEL, EVANSTON, ILL.

NO.	DATE	DESCRIPTION	REMARKS
1			
2			
3			
4			



© 2014 Solomon Cordwell Buenz

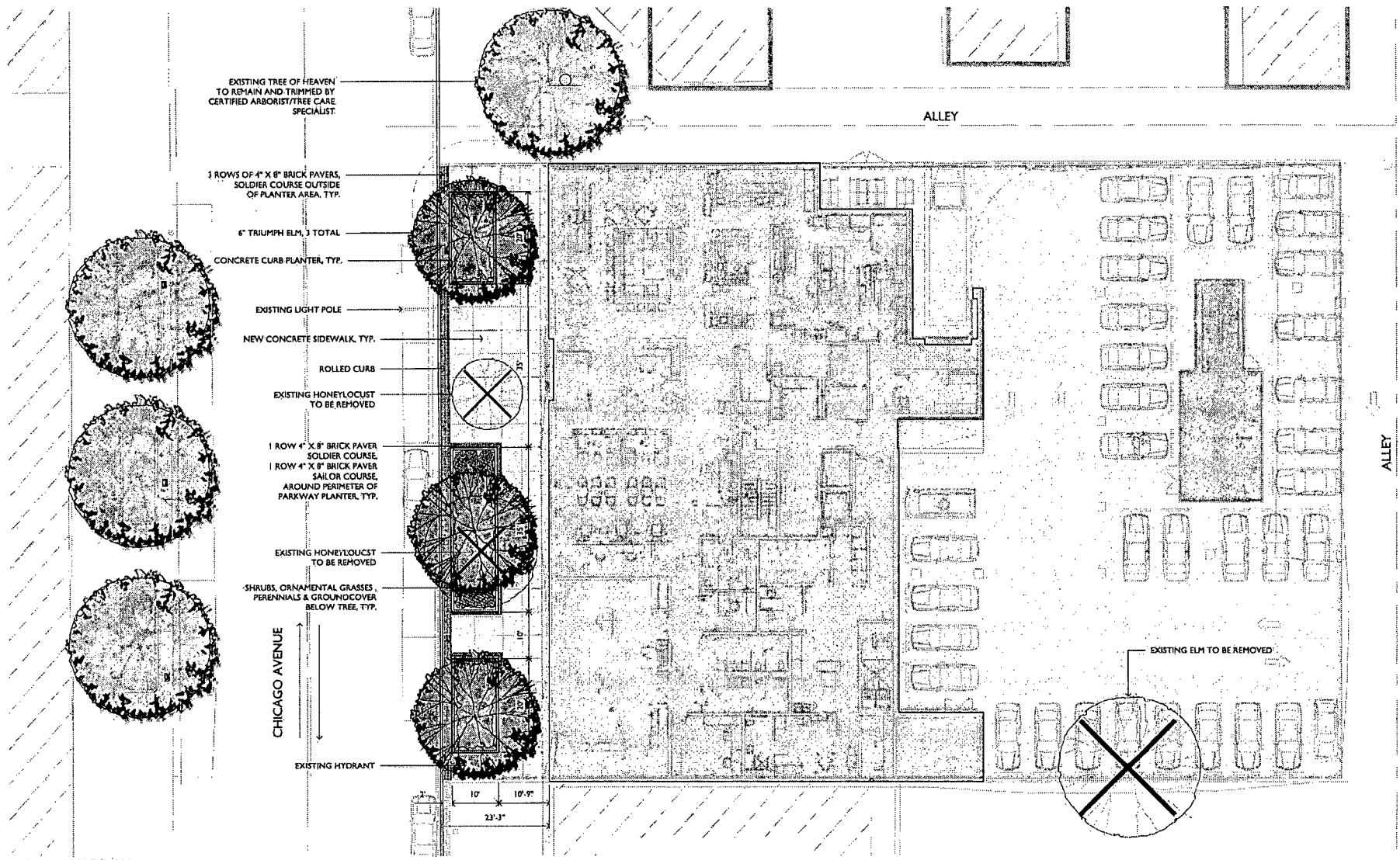
JANKO GROUP  **QUADRANGLE**

CHICAGO AVENUE PERSPECTIVE - H Bar Sign 3'x6'
EVANSTON EXTENDED STAY HOTEL
PLANNED DEVELOPMENT SUBMISSION

04/17/14

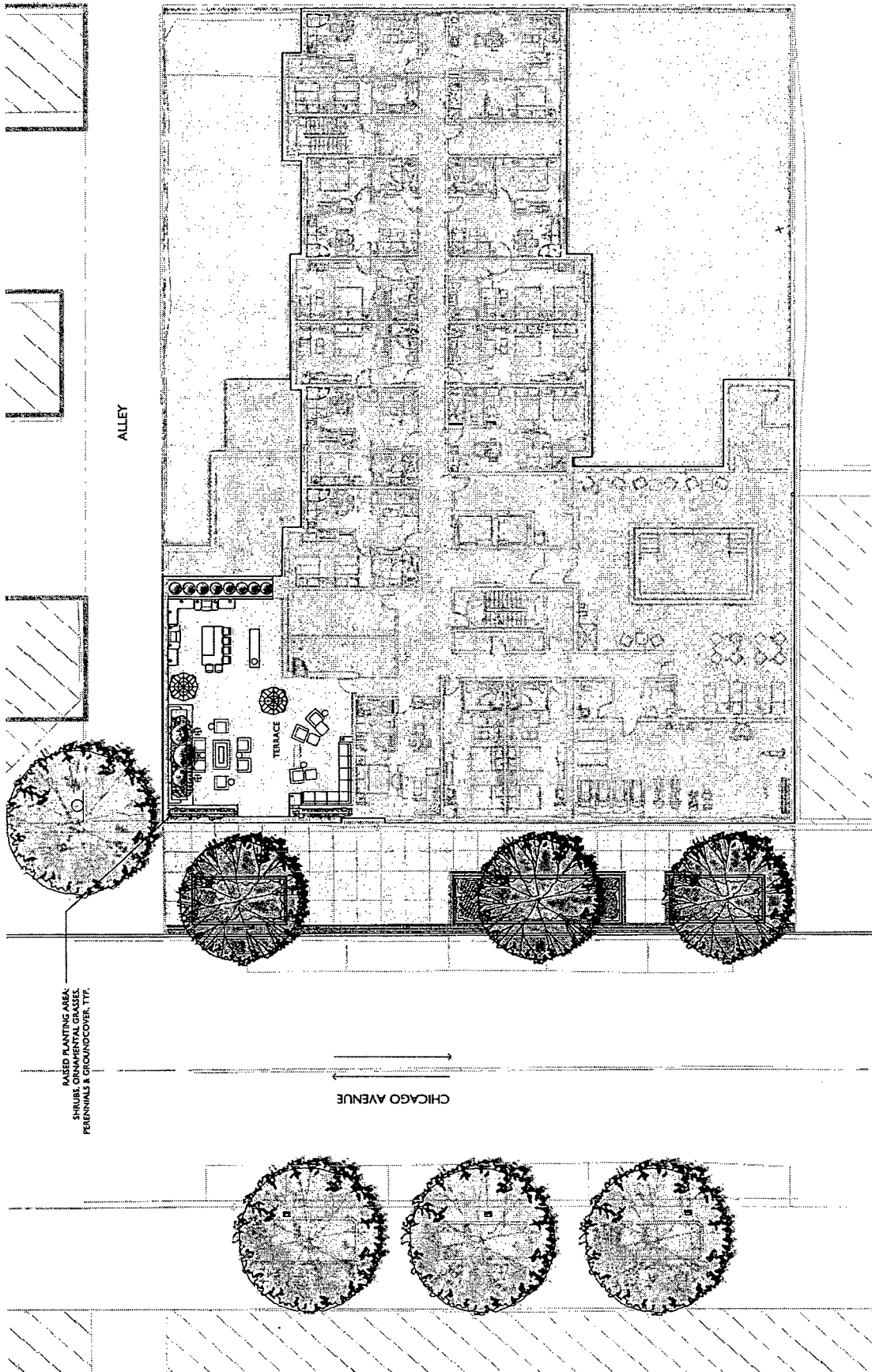
EXHIBIT C

Landscape Plans



LANDSCAPE PLAN
SCALE: 1" = 10'-0"

NOTE: PROPOSED TREE SIZES HAVE CHANGED FROM 4" CALIPER TREES TO 6" CALIPER TREES



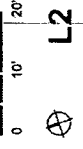
PARKED PLANTING AREA
 SHRUBS
 PERENNIALS & GROUND COVER, TYP.

CHICAGO AVENUE

ALLEY

ALLEY

TERRACE



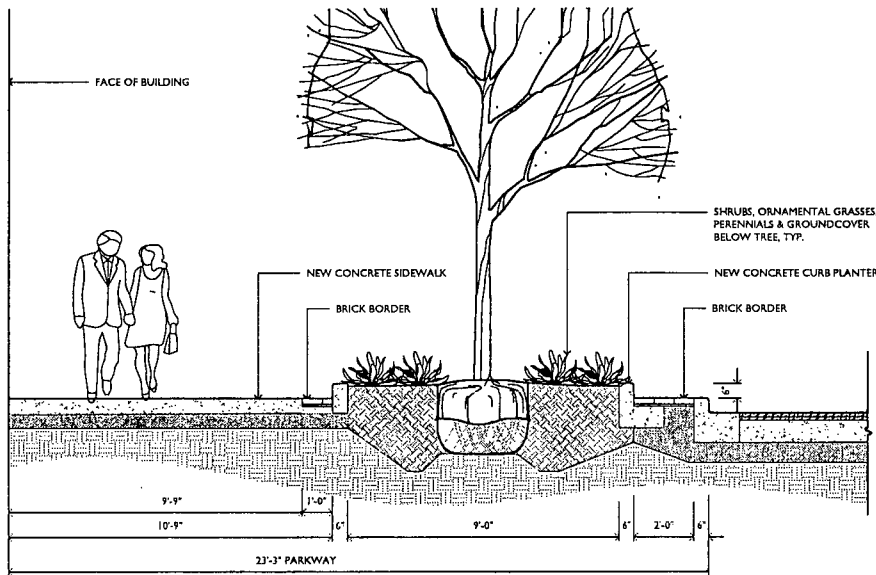
03/05/2014
 2013050

EVANSTON EXTENDED STAY HOTEL
 THE JANKO GROUP/QUADRANGLE

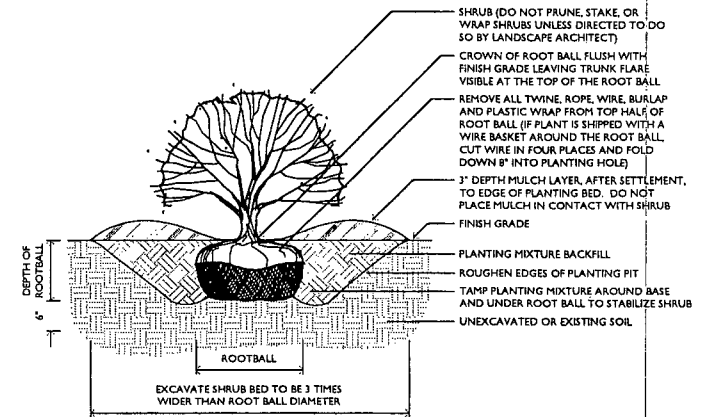
JANKO GROUP QUADRANGLE

L2

LEVEL 2 LANDSCAPE PLAN
 SCALE: 1" = 10'-0"



SECTION THROUGH SIDEWALK & PARKWAY PLANTER
SCALE 1/2" = 1'-0"

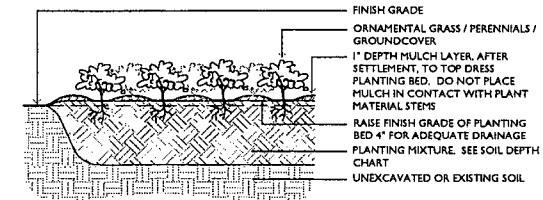
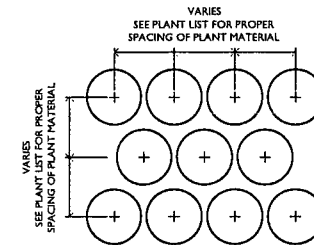


2 SHRUB PLANTING DETAIL
SCALE 1" = 1'-0"

PLANTING PALETTE

CODE	BOTANICAL NAME	COMMON NAME	QTY	CAL	HT	SPRD	ROOT	REMARKS
TR01	LAMIA X MONTAN GLOSSY	TRUMPET BLM	3	6"	-	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
DS	DIERVILLA SESSILIFOLIA	SOUTHEAN BUSH HONEYSUCKLE	-	-	-	-	#1	4'-0" ON CENTER
JCSG	JUNIPERUS CHINENSIS SEA GREEN	SEA GREEN JUNIPER	-	-	-	-	#1	4'-0" ON CENTER
RIF	JUNIPERUS HORIZONTALIS	ANDROMEDA CONTACT JUNIPER	-	-	-	-	#1	3'-0" ON CENTER
POB	PHYSCALOPUS OPALIFOLIOUS SEWARD	ALPINE WAXE HEDERA	-	-	-	-	#1	4'-0" ON CENTER
AAE	RIBESI ALPINA-LF	ALPINE CURRANT	-	-	-	-	#1	4'-0" ON CENTER
MAGL	RHUS ANOPHATICA 'GOLDGLOW'	GOLD-LOW SUPINE	-	-	-	-	#1	3'-0" ON CENTER
BRKO	ROSA X 'PINK KNICKOUT'	PINK KNICKOUT ROSE	-	-	-	-	#1	3'-0" ON CENTER
BRKO	ROSA X 'RED KNICKOUT'	RED KNICKOUT ROSE	-	-	-	-	#1	3'-0" ON CENTER
BRKO	SPIREA X BURWALDA 'GOLDENFLAME'	GOLDENFLAME SPIREA	-	-	-	-	#1	3'-0" ON CENTER
TR01	TAELIS X 'HEDERA WINDS'	WINDS YEW	-	-	-	-	B&B	3'-0" ON CENTER
CLAN	CALAMAGOSTIS ACUTIFLORA 'KARL FOKSTER'	KARL FOKSTER FEATHER NEED GRASS	-	-	-	-	#1	2'-0" ON CENTER
TR01	PISCANTHUS SINENSIS 'PURPURASCENS'	PURPLE MAIDEN GRASS	-	-	-	-	#1	3'-0" ON CENTER
PUR	PANICUM VIRGATUM 'SHEENANDORAH'	SHEENANDORAH RED SWITCH GRASS	-	-	-	-	#1	2'-0" ON CENTER
PAH	PAHIAETOPALPHOCROCIDIS 'WANDERL'	WANDERL DWARF FOXTAIL GRASS	-	-	-	-	#1	3'-0" ON CENTER
PH	PHOENIXIA HEIKOHLERI	PRINCE DROPSID	-	-	-	-	#1	1'-4" ON CENTER
EPC	EUPHORBIA FORTUNII 'COLORATIS'	PURPLEAN WINTERCREEPER	-	-	-	-	QT	1'-0" ON CENTER
EPT1	EGONIA PURPUREA 'MAGNUS'	MAGNUS PURPLE CORNFLOWER	-	-	-	-	#1	1'-4" ON CENTER
HST	HIBISCUS SPECIES MIX	DAYLILY	-	-	-	-	#1	1'-4" ON CENTER
VF	VERBENA X 'FRASER'	CATHYRY	-	-	-	-	#1	1'-4" ON CENTER
PQ	PARTHENDICISSUS QUINQUEFOLIA	VIRGINIA CREEPER	-	-	-	-	#1	3'-0" ON CENTER

NOTE: QUANTITIES ON THE PLANT LIST ARE PROVIDED FOR INFORMATION ONLY. PLANT QUANTITIES UNDER THE CONTRACT ARE INDICATED ON THE PLANS. IN THE EVENT OF ANY DISCREPANCIES, THE CONTRACT SHALL BE BASED ON THE QUANTITIES SHOWN ON THE PLANS.



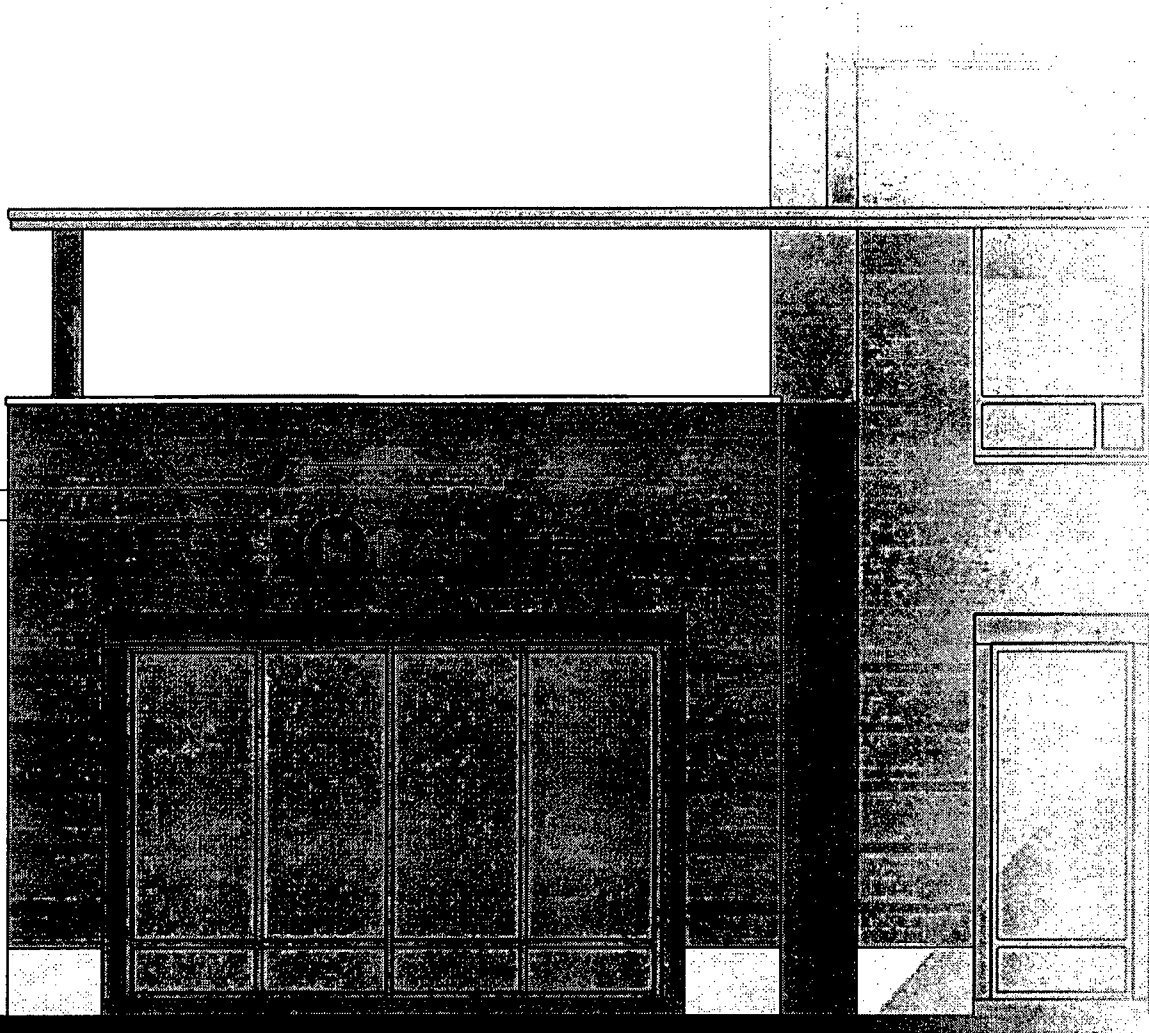
3 ORNAMENTAL GRASSES, SHRUBS, PERENNIALS & GROUNDCOVER PLANTING DETAIL
SCALE 1" = 1'-0"

EXHIBIT D**Snow Removal Plans**

The Applicant will plow its site and use compact or other parking stalls as necessary for snow piling. The Applicant will also plow the portions of the alley adjacent to its site when the snow is over four (4) inches. The Applicant will work with the neighboring property owners to facilitate a coordinated plan for plowing the remainder of the alley as long as the other neighbors are willing to participate.

EXHIBIT E

Wall Sign Installation Plans



17'-5" MAX. ALLOWABLE HEIGHT OF SIGN
16'-6" TOP OF SIGN

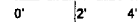


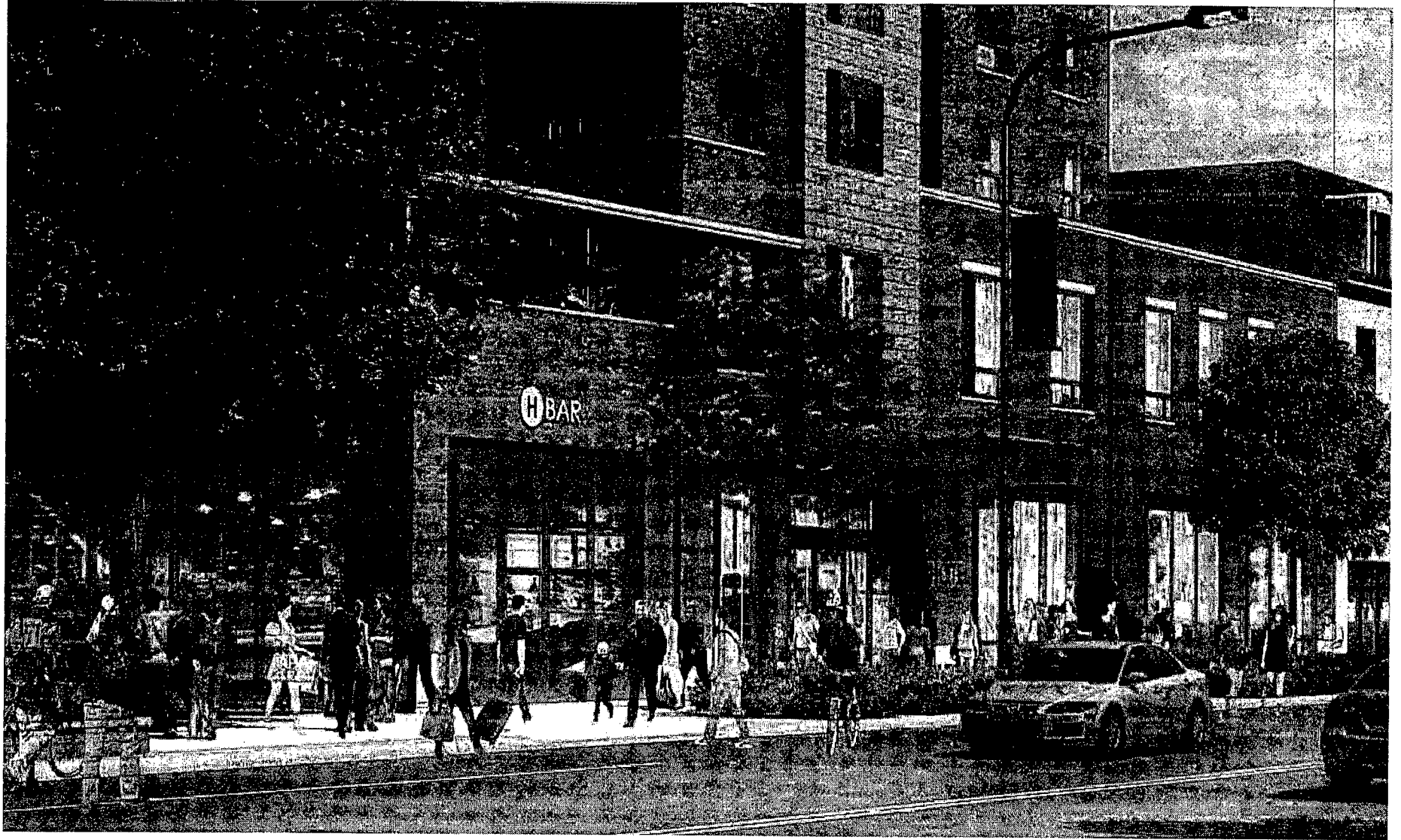
© 2014 Solomon Cordwell Buenz

JANKO GROUP  **QUADRANGLE**

WEST ELEVATION - H BAR SIGNAGE
EVANSTON EXTENDED STAY HOTEL
PLANNED DEVELOPMENT SUBMISSION

04/22/14





© 2014 Solomon Cordwell Buenz

JANKO GROUP  **QUADRANGLE**

CHICAGO AVENUE PERSPECTIVE - H Bar Sign 3'x6'
EVANSTON EXTENDED STAY HOTEL
PLANNED DEVELOPMENT SUBMISSION

04/17/14

