



DESIGN AND PROJECT REVIEW COMMITTEE (DAPR)

Wednesday, November 17, 2021
2:30 p.m.

As the result of an executive order issued by Governor J.B. Pritzker suspending in-person attendance requirements for public meetings, the DAPR Committee members and City staff will be participating in this meeting remotely. Due to public health concerns, residents will not be able to provide public comments in-person at the meeting. Those wishing to make public comments may submit written comments in advance or provide public comments by phone or video during the meeting.

Join Zoom Meeting

<https://zoom.us/j/98611162159?pwd=QkZGOWxOcWxyRzY1bmVMUElrRi9RQT09>

Meeting ID: 986 1116 2159

Passcode: 741790

One tap mobile

+13126266799,,98611162159# US (Chicago)

AGENDA

- I. CALL TO ORDER/DECLARATION OF QUORUM, JOHANNA NYDEN, CHAIR
- II. SUSPENSION OF THE RULES: Member participation electronically or by telephone.
- III. MINUTES: **November 3, 2021, and November 10, 2021, meeting minutes.**
- IV. NEW BUSINESS
 1. **999 Howard Street** **Minor Adjustment to a Planned Development**
David Block, applicant, submits for a Minor Adjustment to an approved Planned Development to modify the south Howard Street exterior facade of the original CJE Seniorlife building, landscaping and exterior lighting fixtures, 999-1015 Howard Street, approved by Ordinance 8-O-20, in the B2 Business District.
- V. ADJOURNMENT

The next scheduled DAPR meeting is **Wednesday, December 8, 2021**, at 2:30 p.m. via a virtual meeting. Additional information will be provided on that meeting agenda.

Order & Agenda Items are subject to change. Information about the Design and Project Review (DAPR) Committee is available at: <http://www.cityofevanston.org/government/boards-commissions/design-and-project-review-committee/index.php>
Questions can be directed to Michael Griffith at mgriffith@cityofevanston.org or at 847-448-4311.

The City of Evanston is committed to making all public meetings accessible to persons with disabilities. Any citizen needing mobility or communications access assistance should contact 847-448-4311 or 847-866-5095 (TTY) at least 48 hours in advance of the scheduled meeting so that accommodations can be made.

La ciudad de Evanston está obligada a hacer accesibles todas las reuniones públicas a las personas minusválidas o las quines no hablan inglés. Si usted necesita ayuda, favor de ponerse en contacto con la Oficina de Administración del Centro a 847/866-2916 (voz) o 847-4866-8052 (TDD).

**DESIGN AND PROJECT REVIEW COMMITTEE (DAPR) MINUTES
November 3, 2021**

Voting Members Present: J. Nyden, M. Jones, A. Schnur, E. Cano, L. Biggs, M. Tristan, C. Venatta, C. Pratt, K. Ashbaugh

Staff Present: M. Riviera, B. Zimmerman, M. Callahan

Others Present:

Presiding Member: J. Nyden

A quorum being present, J. Nyden called the meeting to order at 2:34 p.m.

I. Suspension of the Rules

A. Members participate electronically or by telephone.

L. Biggs made a motion to suspend the rules to allow members to participate electronically or by telephone, seconded by C. Venatta.

The Committee voted by roll call vote, 8-0, to suspend the rules allowing members to participate electronically or by telephone.

Ayes: J. Nyden, M. Jones, A. Schnur, E. Cano, L. Biggs, M. Tristan, C. Venatta, C. Pratt

Nays:

II. Minutes

A. October 20, 2021, meeting minutes.

L. Biggs made a motion to approve the October 20, 2021, meeting minutes, seconded by J. Hyink.

The Committee voted by roll call vote, 7-0-2, to approve the October 20, 2021 meeting minutes.

Ayes: J. Nyden, M. Jones, A. Schnur, L. Biggs, M. Tristan, C. Venatta, C. Pratt

Nays:

Abstention: E. Cano, K. Ashbaugh

III. New Business

A. 719 Church Street

Recommendation to Zoning Administrator

Cynthia Trefilek, applicant, submits for an Administrative Review Use for a type-2 restaurant, Elephant + Vine, in the D2 Downtown Retail Core District.

APPLICATION PRESENTED BY: Chris Zealous, applicant

DISCUSSION:

- Mr. Zealous said they were moving into the former Andy's Custard location and will serve 100% plant-based foods as a fast-casual concept. He said this was their first location.
- J. Nyden asked how many employees they would have and about the customer experience.
- Mr. Zealous said they would have 8-10 employees per shift, and that guests would walk to the counter and order then have a seat, and then grab their food to go or staff would walk it to their table.
- M. Tristan confirmed that the space would have 41 occupants and 6 employees.
- Mr. Zealous confirmed and then described the interior design of the space.
- J. Nyden asked if they would deliver.
- Mr. Zealous said yes, via third-party apps i.e. DoorDash, and they also will provide catering services.
- J. Nyden asked how he anticipated delivery being run, specifically related to a loading zone.
- Mr. Zealous said that generally with other restaurants in his experience, delivery drivers are responsible for their vehicles and will pay for parking if needed. He said he did not foresee it having a tremendous impact in that area.
- J. Nyden stated there might be an issue and asked for feedback from Parking Manager Michael Riveria.
- M. Riviera said currently it is tight in that area and the City is looking into adding designated loading zones, including that block, and that it would be used by any businesses on that block.
- Mr. Zealous stated that if something more communal will be planned then he does not anticipate there being anything needed just for their business.
- M. Riviera confirmed that and said it would likely just be one space approximately 20 feet in length.
- B. Zimmerman asked about their sustainability measures, specifically the compostable packaging. He asked about how many additional containers they might need noting the congestion in that area.
- Mr. Zealous said they would keep one composting bin in addition to one trash and one recycling container.
- A. Schnur noted they were in the building permit review process currently and remind the applicant that a sign permit would be a separate permit. She also noted that they will be responsible for maintaining waste pick up in front of the store and also the dumpster in the alley.
- Mr. Zealous affirmed this and noted they were working on their submittal for a sign permit also.

L. Biggs made a motion to recommend approval to Zoning Administrator with the conditions as outlined in the memo from the Zoning Administrator, seconded by C. Venatta.

The Committee voted by roll call vote, 9-0, to recommend approval to the Zoning Administrator with the conditions as outlined in the memo from the Zoning Administrator.

The Committee voted by roll call vote, 9-0,

Ayes: J. Nyden, M. Jones, K. Ashbaugh, A. Schnur, E. Cano, L. Biggs, M. Tristan, C. Venatta, C. Pratt

Nays:

B. 750 Chicago Avenue

Preliminary Review

Jennifer Holtz, applicant, submits for a preliminary review of a permanent patio awning for an existing outdoor seating area, Firehouse Grill, in the C1a Commercial Mixed-Use District.

APPLICATION PRESENTED BY: Jennifer Holtz, applicant

DISCUSSION:

- Ms. Holtz described the proposal as a retractable rooftop structure to shelter the existing outdoor seating area. She said no changes were proposed to the layout of the outdoor seating area.
- K. Ashbaugh noted that she did the zoning review and that it was compliant with zoning.
- A. Schnur asked if they were planning to enclose this at all or if it was just the roof structure.
- Ms. Holtz said it would not be enclosed.
- A. Schnur stated they will need to apply for a formal building permit application.
- Ms. Holtz affirmed this and said they wanted to have a preliminary review by DAPR before submitting so they could address any comments from DAPR in that submittal.

L. Biggs made a motion to approve the preliminary review, seconded by M. Tristan.

The Committee voted by roll call vote, 9-0, to approve the preliminary review. This request will be required to return to DAPR for approval of the final review.

Ayes: J. Nyden, M. Jones, K. Ashbaugh, A. Schnur, E. Cano, L. Biggs, M. Tristan, C. Venatta, C. Pratt

Nays:

C. 1028 Chicago Avenue

Sign Variation

Stephanie Phelan, applicant, submits for a sign variation to install an illuminated wall sign at a height of 29'-6" where 15'-6" is allowed by sign regulation Section 4-10-9(H) and not facing the public thoroughfare per Section 4-10-3, Oscar Isberian Rugs, in the C1a Commercial Mixed-Use District.

APPLICATION PRESENTED BY: Stephanie Phelan, applicant

DISCUSSION:

- Ms. Phelan stated she was representing Oscar Isberian Rugs and they are celebrating their 100th anniversary and updating their locations' interiors and exteriors.
- She said that they have already obtained a sign permit for the new channel lettering sign on the front facade of the subject building facing Chicago Avenue.
- She said they would like to install the same sign but in the proposed location requiring the sign variations to be more noticeable for drivers going southbound on Chicago Avenue and also be visible from the L.
- A. Schnur stated that the height is something they could consider, but the concern is that they are also asking for the sign to not face the street/right-of-way. She noted that if they approved this, it would set a precedent to allow other signs to not face right-of-way.
- Ms. Phelan acknowledged this but noted the site does not have the availability to install a monument sign on the property for traffic on Chicago Avenue. She said the sign on the front face is only visible for people directly in front of the building.
- Ms. Phelan also noted that several car dealerships along Chicago do have monument signs but that this property does not have the space for a monument sign.
- J. Nyden asked if there was a reason the sign was not proposed at a lower height.
- Ms. Phelan said there was no reason other than it allowed for additional visibility, but if there was an objection to the height, they would be amenable to lowering it.
- J. Nyden acknowledged this but noted they are trying to slow the traffic in that area and create less of an auto-oriented environment on Chicago.
- J. Nyden noted a blade sign would provide the same visibility for north and southbound traffic. She said she did not feel the proposed sign was truly offering the additional visibility intended.
- L. Biggs concurred and said that it also was only visible by southbound traffic, not both north and southbound traffic.
- K. Ashbaugh asked how far the blade sign could project over the right of way.
- A. Schnur did not have that information but that it was something they could look at.
- K. Ashbaugh stated her concern was that although it was not as graphic nor as large as a billboard, that it was still functioning as that, as it was not directing customers to the vehicle entrance or the pedestrian entrance.
- Ms. Phelan acknowledged the comments and said that they would look into the possibility of installing a blade sign.

L. Biggs made a motion to hold the item for consideration at the November 10, 2021 meeting, seconded by M. Jones.

The Committee voted by roll call vote, 9-0, to

Ayes: J. Nyden, M. Jones, K. Ashbaugh, A. Schnur, E. Cano, L. Biggs, M. Tristan, C. Venatta, C. Pratt

Nays:

IV. Adjournment

L. Biggs made a motion to adjourn, seconded by M. Tristan. The Committee voted by voice vote, 9-0, to adjourn. The Committee adjourned at 3:01 p.m.

Ayes: J. Nyden, M. Jones, A. Schnur, M. Callahan, L. Biggs, M. Tristan, C. Venatta, I. Eckersberg

Nays:

Respectfully submitted,
Katie Ashbaugh, AICP, Planner

**DESIGN AND PROJECT REVIEW COMMITTEE (DAPR) MINUTES
November 10, 2021**

Voting Members Present: J. Nyden, A. Schnur, L. Biggs, E. Cano, I. Eckersberg, C. Venatta, M. Tristan, J. Hyink, M. Jones, K. Asbaugh

Staff Present: B. Zimmerman, E. Okallau, R. Papa, C. Sterling, M. Griffith

Others Present:

Presiding Member: J. Nyden

A quorum being present, J. Nyden called the meeting to order at 2:33 p.m.

Suspension of the Rules

1. Members participate electronically or by telephone.

L. Biggs made a motion to suspend the rules to allow members to participate electronically or by telephone, seconded by C. Venatta

The Committee voted by roll call vote, 10-0, to suspend the rules allowing members to participate electronically or by telephone.

Ayes: J. Nyden, A. Schnur, L. Biggs, E. Cano, I. Eckersberg, C. Venatta, M. Tristan, J. Hyink, M. Jones, K. Asbaugh

Nays:

Minutes

J. Nyden noted the November 3, 2021, meeting minutes will be placed on the next agenda for approval.

Old Business

1. 1028 Chicago Avenue **Sign Variation**
Stephanie Phelan, applicant, submits for a sign variation to install an illuminated wall sign at a height of 29'-6" where 15'-6" is allowed by sign regulation Section 4-10-9(H) and not facing the public thoroughfare per Section 4-10-3, Oscar Isberian Rugs, in the C1a Commercial Mixed-Use District.

DISCUSSION:
Applicant was not present

Item held in Committee.

New Business

1. 1414 Church Street

Recommendation to ZBA

Daniel Tornheim, applicant, submits for Major Variation requesting a rear yard setback of 3' where 30' is required (Section 6-8-2-8.A.4), building lot coverage of 38.1% where 30% is permitted (Section 6-8-2-7), and impervious surface coverage of 49% where 45% is permitted (6-8-2-10.A) in order to construct an addition to the existing principal structure in the R1 Single-Family Residential District. The Zoning Board of Appeals is the determining body in the case (Section 6-3-8-9).

APPLICATION PRESENTED BY: Daniel Tornheim, applicant
Patricia King, homeowner

DISCUSSION:

- K. Asbaugh explained the zoning variation requests. She stated the applicant proposes to demolish the existing detached garage and to construct an attached garage. She stated the zoning variations are for the rear yard setback, building lot coverage, and impervious surface coverage. Stated an open parking pad appeared to have been installed and enlarged without a permit and was not counted as legally existing impervious surface coverage.
- C. Sterling stated the lot is substandard for lot size. The lot was split from the property to the east in the late 1800s. The home on the property is a significant structure built in the Arts and Crafts architectural style. The Preservation Commission approved the addition subject to minor architectural adjustments but did not provide a recommendation concerning the variation request.
- Applicant stated garage locations on the property are limited. He stated a garage located at the northeast corner of the property is tight and would require a curb cut off the street and a southeast location would occupy the rear yard.
- C. Sterling stated the neighbor to the east opposed the addition at the Preservation Commission meeting.
- L. Biggs stated the downspouts are required to drain onto the property and not onto adjacent properties or the alley.
- C. Venatta stated the alley is private.
- J. Hyink questioned the hardship.
- M. Griffith stated there is merit in the addition being further from the rear property line than there is with the current garage.
- J. Hyink stated a 1-car instead of a 2-car garage could be constructed.
- K. Asbaugh stated a 1 car garage whether attached or detached would still trigger several variations.
- L. Biggs stated the applicant is removing the parking pad and is investing in the property which are pluses.
- Applicant stated the concrete and gravel parking pad was existing when they bought the property.
- J. Nyden stated the property creates challenges. The property is along a busy street with a bike lane, is near public transportation, and a 2-car garage is expected in Evanston.

L. Biggs made a motion to recommend approval to ZBA subject to:

- 1. The downspouts are to drain to the yard and not to the alley.**

Second by C. Venatta.

The Committee voted by roll call vote, 9-0, to recommend approval to ZBA subject to the condition noted above, with one abstention.

Ayes: J. Nyden, A. Schnur, L. Biggs, E. Cano, I. Eckersberg, C. Venatta, M. Tristan, J. Hyink, M. Jones

Nays:

Abstained: K. Asbaugh

Adjournment

L. Biggs made a motion to adjourn, seconded by C. Venatta. The Committee voted by voice vote, 10-0, to adjourn. The Committee adjourned at 3:01 p.m.

Ayes: J. Nyden, A. Schnur, L. Biggs, E. Cano, I. Eckersberg, C. Venatta, M. Tristan, J. Hyink, M. Jones, K. Asbaugh

Nays:

The next DAPR meeting is scheduled for Wednesday, November 17, 2021, at 2:30 p.m. via a virtual meeting. Additional information will be provided on that meeting agenda.

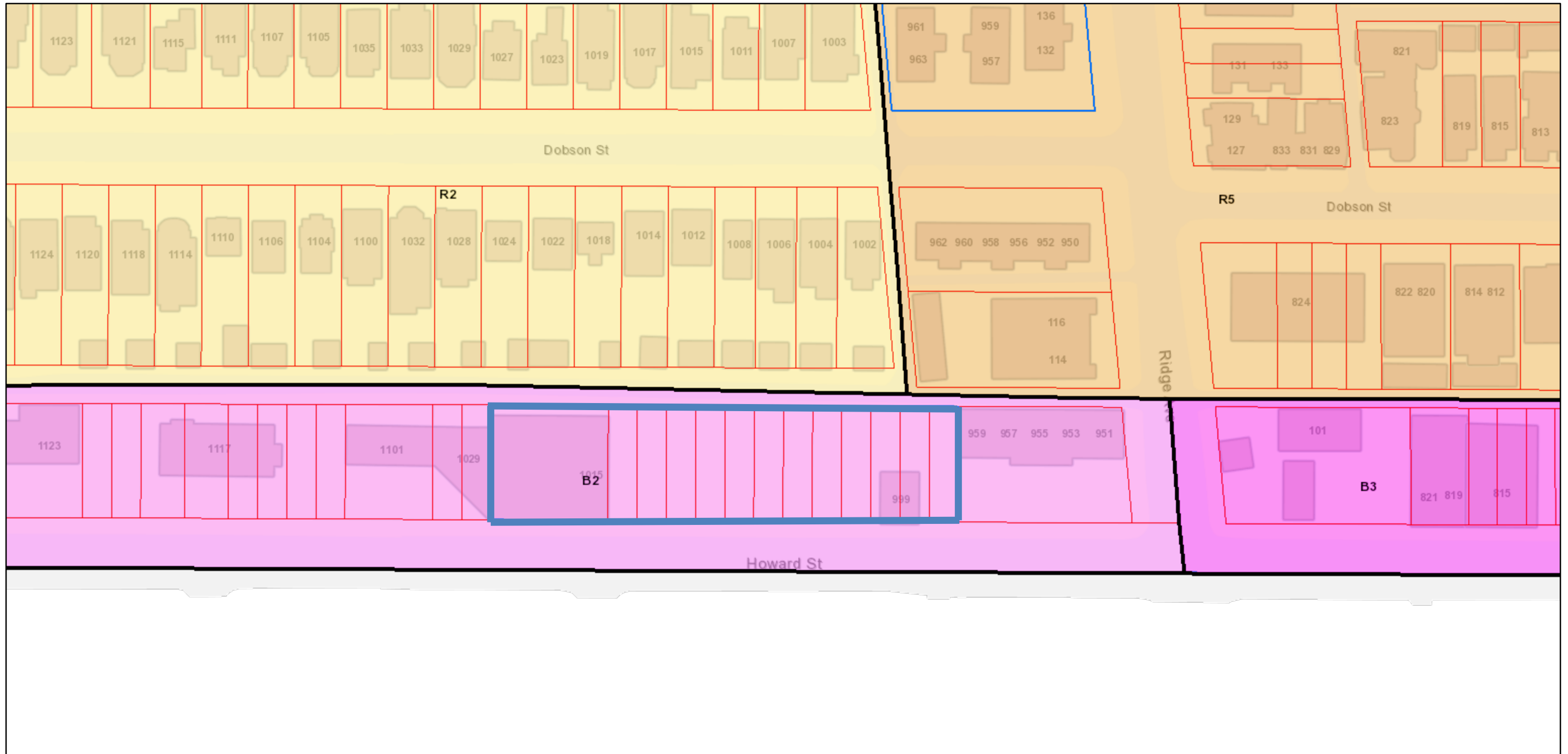
Respectfully submitted,
Michael Griffith

Design and Project Review
(DAPR)

999 Howard Street
Planned Development

Minor Adjustment to an
Approved Planned Development

999 Howard Street - Zoning Map



11/15/2021, 11:29:59 AM

Zoning Overlay Districts

- oCSC - Central Street Corridor
- oDM - Dempster-Main Overlay
- oH - Hospital Overlay
- oRD - Redevelopment Overlay
- oWE - West Evanston Overlay

Zoning Districts

- B1 - Business
- B1a - Business
- B2 - Business
- B3 - Business
- C1 - Commercial
- C1a - Commercial Mixed-Use

C2 - Commercial

D1 - Downtown Fringe

D2 - Downtown Retail Core

D3 - Downtown Core Development

D4 - Downtown Transition

I1 - Industrial / Office

I2 - General Industrial

I3 - General Industrial

MUE - Transitional Manufacturing-Employment

MXE - Mixed Use Employment

O1 - Office

OS - Open Space

R1 - Single-Family Residential

R2 - Single-Family Residential

R3 - Two-Family Residential

R4 - General Residential

R4a - General Residential

R5 - General Residential

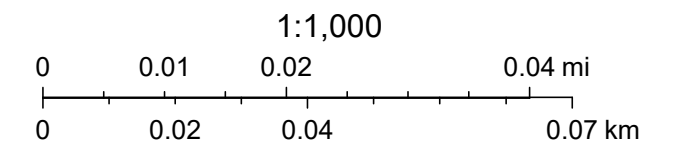
R6 - General Residential

RP - Research Park

T1 - Transitional Campus

T2 - Transitional Campus

U1 - University Housing



999 Howard Street - Aerial Map




11/15/2021, 11:31:37 AM


Zoning Overlay Districts

 oCSC - Central Street Corridor


 oDM - Dempster-Main Overlay

 oH - Hospital Overlay

 oRD - Redevelopment Overlay

 oWE - West Evanston Overlay

 CTA Stations

 City Boundary

 Tax Parcels

1:500

0 0.01 0.01 0.02 mi

0 0.01 0.01 0.03 km

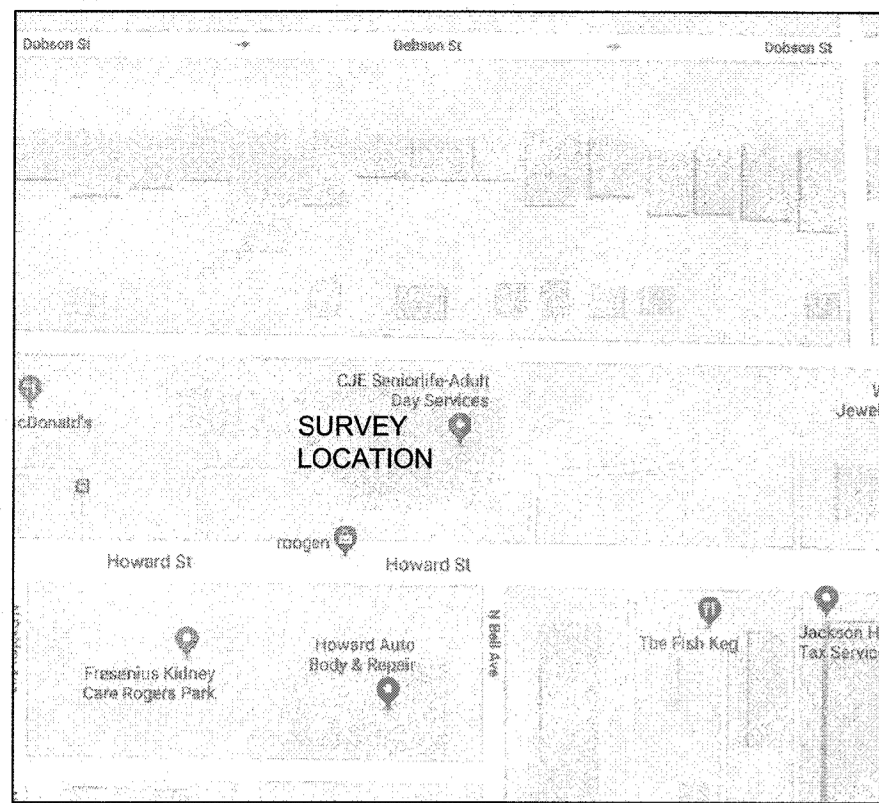
City of Evanston IL, Imagery courtesy Cook County GIS

Senior Life
Adult Day Services



Google

SHALOM



VICINITY MAP

LEGEND

- These standard symbols will be found in the drawing.
- ⊗ Storm CB
 - ⊗ Water Buffalo Box
 - ⊗ Water Fire Hydrant
 - ⊗ Telephone MH
 - ⊗ Utility Pole
 - ⊗ Guy Anchor
 - ⊗ Electric Manhole
 - ⊗ Electric Hand Hole
 - ⊗ Electric Meter
 - ⊗ Electric Light Pole
 - ⊗ Electric Mounted Wall Light
 - ⊗ Gas Meter
 - ⊗ Sign Post
 - ⊗ Bumper Post
 - ⊗ Unclassified Manhole

GREMLEY & BIEDERMANN

A DIVISION OF
PLCS Corporation

LICENSE No. 184-005332

PROFESSIONAL LAND SURVEYORS

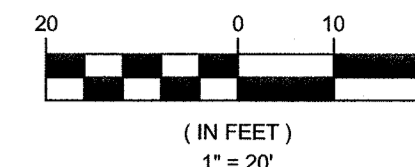
4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630
TELEPHONE: (773) 685-5102 EMAIL: INFO@PLCS-SURVEY.COM

ALTA / NSPS Land Title Survey

LOTS 3 TO 18, BOTH INCLUSIVE, IN GRANT AND GRANT'S HOWARD RIDGE ADDITION TO EVANSTON, BEING A SUBDIVISION OF LOT 1 (EXCEPT THE SOUTH 43 FEET DEEDED TO THE CITY OF EVANSTON FOR HOWARD STREET) IN CORRECTION PLAT OF SUBDIVISION OF LOT 9 (EXCEPT THE NORTH 24 FEET THEREOF) IN COUNTY CLERK'S DIVISION OF UNSUBDIVIDED LANDS IN THE NORTH WEST 1/4 OF LOT 13 IN COUNTY CLERK'S DIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 14 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

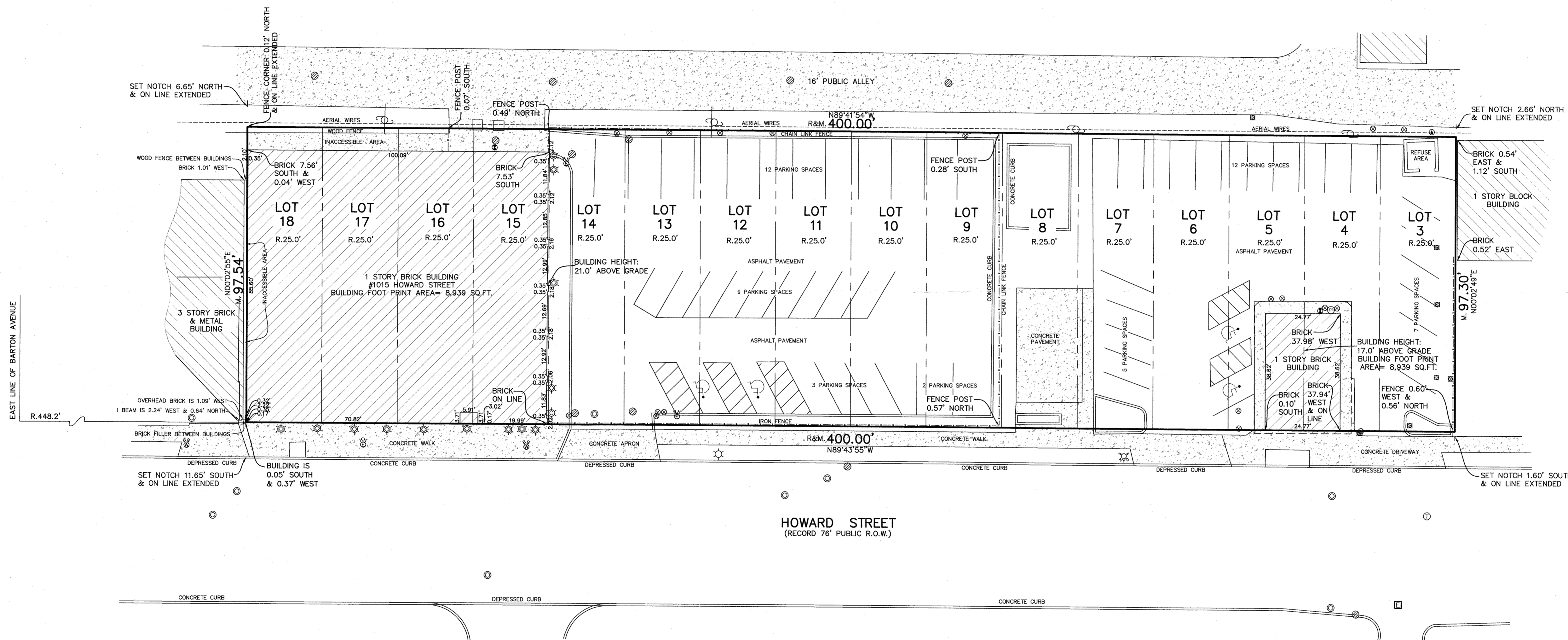
CONTAINING 38,968 SQ. FT. OR 0.89 ACRES MORE OR LESS.

GRAPHIC SCALE



(IN FEET)

1" = 20'



ORDERED BY: EREG DEVELOPMENT LLC	CHECKED: RL	DRAWN: A.M.
ADDRESS: 1015 & 999 HOWARD STREET		
GREMLEY & BIEDERMANN		
A DIVISION OF PLCS CORPORATION LICENSE No. 184-005332 PROFESSIONAL LAND SURVEYORS 4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630 TELEPHONE: (773) 685-5102 EMAIL: INFO@PLCS-SURVEY.COM		
ORDER NO. 2019-26790-001	DATE: JUNE 16, 2019	PAGE NO. 1 OF 1
SCALE: 1 INCH = 20 FEET		

SURVEY NOTES:

SURVEYOR'S LICENSE EXPIRES November 30, 2020

Note R. & M. denotes Record and Measured distances respectively.

Distances are marked in feet and decimal parts thereof. Compare all points BEFORE building by same and at once report any differences BEFORE damage is done.

For easements, building lines and other restrictions not shown on survey plat refer to your abstract, deed, contract, title policy and local building line regulations.

No dimensions shall be assumed by scale measurement upon this plat.

Unless otherwise noted hereon the Bearing Basis, Elevation Datum and Coordinate Datum if used is ASSUMED.

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SURVEY NOTE:

This survey was prepared without the benefit of, and is subject to, all restrictions and matters appearing of record as might be disclosed by a current title commitment.

PROPERTY APPEARS IN "OTHER AREAS" ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FLOOD INSURANCE RATE MAP CITY OF EVANSTON, ILLINOIS, MAP NO. 17031C0270J, EFFECTIVE DATE AUGUST 19, 2008.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9 and 20 of Table A thereof.

The field work was completed on JUNE 16, 2019.

Date of Plat June 18, 2019

By: *Robert G. Biedermann*

Robert G. Biedermann
Professional Illinois Land Surveyor No. 2802

GENERAL NOTES

- MODULAR BRICK**
- 5/16" (8 MM) NON-LOADBEARING HPL-CLAD EXTERIOR-WALL ASSEMBLY:** REFER TO THE FOLLOWING DOCUMENTATION (ENCLOSED AS PART OF AOR RESPONSE TO RFI-037) FOR COMPLETE ASSEMBLY INFORMATION AND PROVIDE / INSTALL ASSEMBLY ACCORDINGLY:
 - A. ICGES EVALUATION REPORT ESR-3439 (2020/07/20); SECTION 4.5, TABLE 4.1, FIGURES 6-7, AND ANY OTHER SECTIONS / TABLES / FIGURES REFERENCED THEREIN.
 - B. INTERTEK-NFPA-285-TEST-ON PRODEX ION-COMPOSITE-WALL-PANELS (2016/12/04).
 - C. PRODEMA-TECHNICAL-CATALOG-EXTERIORS-EXPOSED-FASTENING (2020/01).
 - CFMF SHALL BE DELEGATED DESIGN:** SUBMIT CALCULATIONS WITH SHOP DRAWINGS; ASSUME THAT, WITH RESPECT TO LATERAL SUPPORT, CFMF MAY NOT BE TIED TO UNKNOWN EXISTING ROOF STRUCTURE ABOVE / BEHIND CFMF WALL (I.E. VIA KICKERS).
 - ENSURE MATERIAL COMPATIBILITY OF ANY & ALL INTERFACING MATERIALS / COMPONENTS,** INCLUDING BUT NOT LIMITED TO: FRAMING MEMBERS; FRAMING SHEATHINGS / FINISH SUBSTRATES; INSULATION; WRB; MEMBRANE / METAL FLASHINGS; ADHESIVES; BACKER RODS; SEALANTS; GASKETS; FASTENERS; ACCESSORIES; PRIMERS; FINISHES; ETC.
 - ALL WOOD COMPONENTS** OCCURRING WITHIN / FORMING PART OF EXTERIOR-WALL ASSEMBLY (E.G. BLOCKING, SHIMS, ETC.) SHALL BE OF FIRE-RETARDANT-TREATED WOOD COMPLYING WITH IBC'12 §2303.2.
 - EXTERIOR STOREFRONT/IGU SYSTEM**
 - TECHNICAL/ENERGY-CONSERVATION PERFORMANCE CRITERIA IDENTICAL TO THAT OF EXTERIOR STOREFRONT/IGU SYSTEMS AT ESH.
 - BASES OF DESIGN
 - 4 1/2" x 2" THERMALLY-BROKEN ALUMINUM FRAMES: OLDCASTLE SERIES 3000 (CENTERSET GLAZING OPTION)
 - FINISH: PAINT (2-COAT) / FLUORON CLASSIC II - 399X440 BRIGHT SILVER (TBC)
 - 1" IGU—EXTERIOR TO INTERIOR
 - 1/4" (8 MM) VITRO SOLARBAN 60 CLEAR / LOW-E #2
 - 1/2" 90% ARGON + 10% AIR FILL / CLEAR-ANODIZED SPACER
 - 1/4" (8 MM) VITRO CLEAR
 - U.N.O. ALL METAL FLASHING COMPONENTS** SHALL BE 16 GAUGE (0.0625" / 63 MILS) / GALVANIZED / PROVIDED WITH 1/4" HEM AT ALL EXPOSED LONG EDGES / PRE-FINISHED TO MATCH FINISH OF NEW CLERESTORY STOREFRONT FRAME.
 - U.N.O. AT ALL GWB TERMINATIONS,** INCLUDING BUT NOT LIMITED TO TOPS / BOTTOMS OF WALLS; TERMINATIONS AT WALL-OPENING SILLS, HEADS, JAMBS, ETC.; PROVIDE L-BEAD.

11/15/2021 MASONRY ALT FOR ZONING REVIEW
 09/04/2021 RFI #037 RESPONSE #2
 08/21/2021 PRELIMINARY PRICING

DATE ISSUED FOR

CLIENT/DEVELOPER

 566 W Lake Street, Suite 400
 Chicago, IL 60661-1414
 P: 312-234-9400
 www.evergreenreg.com

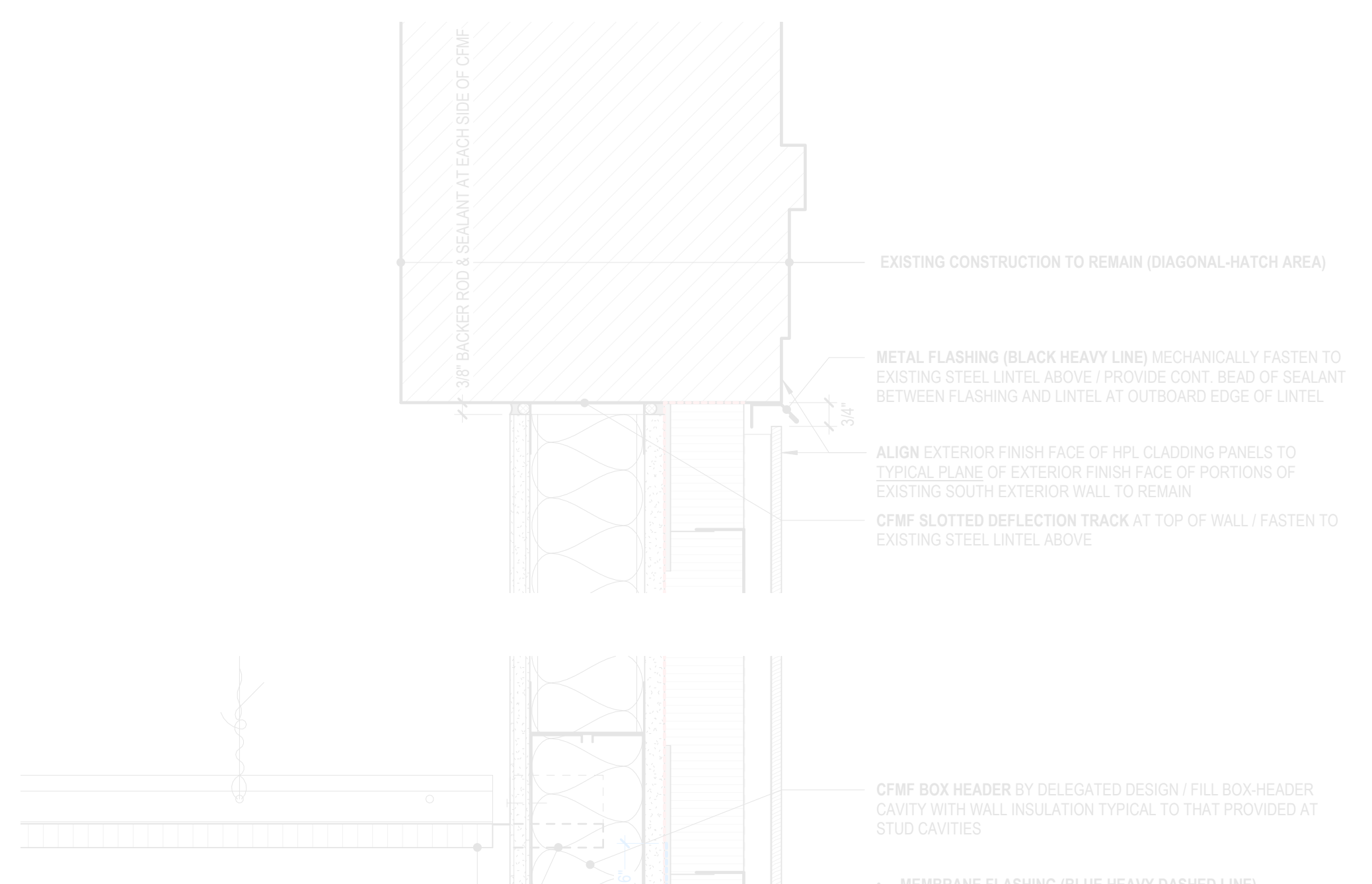
DESIGN TEAM
UrbanWorks
 ARCHITECTURE INTERIORS PLANNING
 ARCHITECT OF RECORD
 125 S Clark Street, Suite 2070
 Chicago, IL 60603
 P: 312-202-1200
 www.urbanworksarchitecture.com

CIVIL ENGINEER
Terra Engineering, LRD
 225 W Ohio Street, 4th Floor
 Chicago, IL 60654
 P: 847-299-4848
 www.terraengineering.com

LANDSCAPE ARCHITECT
Kettelkamp + Kettelkamp
 1315 Sherman Place
 Evanston, IL 60201
 P: 847-905-1281
 www.kettelkamp2.com

STRUCTURAL ENGINEER
CE Anderson & Associates
 175 North Franklin Street, Suite 410
 Chicago, IL 60610
 P: 312-750-1701
 www.cea-se.com

MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION
DYNACEPT, INC.
 2250 E Devon Avenue, Suite 218
 Des Plaines, IL 60018
 P: 847-299-4848
 www.dynaceptinc.com



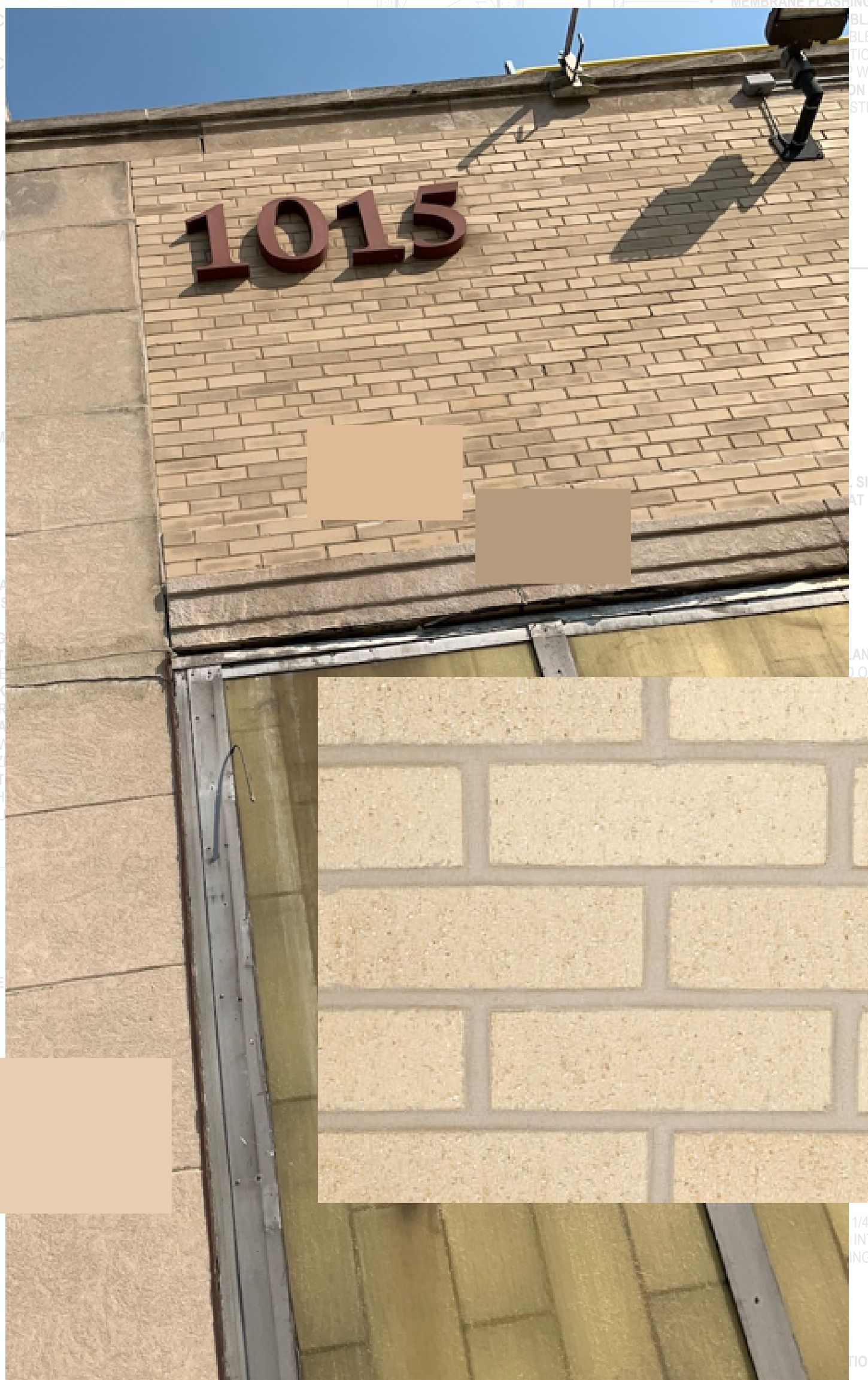
3/16" ACM-CLAD NON-LOADBEARING EXTERIOR WALL ASSEMBLY
 0-HR FRR / INSULATION COMPONENTS @ MIN. R-7.5CI + MIN. R-13 (IECC'18 C402.1.3)

- SIM TO HPL-CLAD NON-LOADBEARING EXTERIOR WALL ASSEMBLY, EXCEPT PROVIDE 3/16" ACM CLADDING PANELS IN LIEU OF 5/16" HPL CLADDING PANELS
- AS REQUIRED, PROVIDE SPACERS BETWEEN ACM CLADDING PANELS AND VERTICAL CLADDING SUBFRAMING MEMBERS TO ALIGN EXTERIOR FINISH FACE OF ACM CLADDING PANELS WITH EXTERIOR FINISH FACE OF HPL CLADDING PANELS
- ACM CLADDING PANEL FINISH TO MATCH FINISH OF EXTERIOR STOREFRONT FRAMES

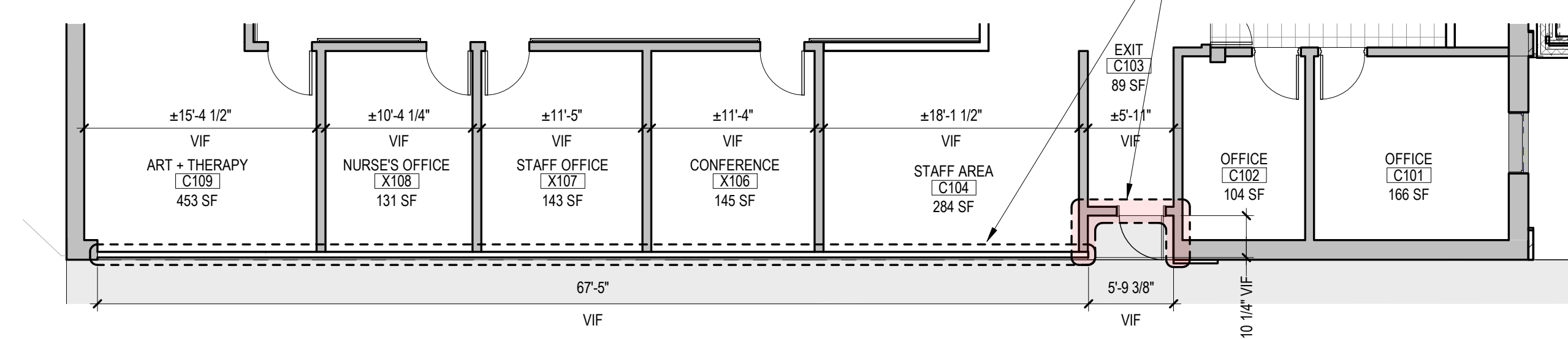
8 11/16" TOTAL WALL THICKNESS



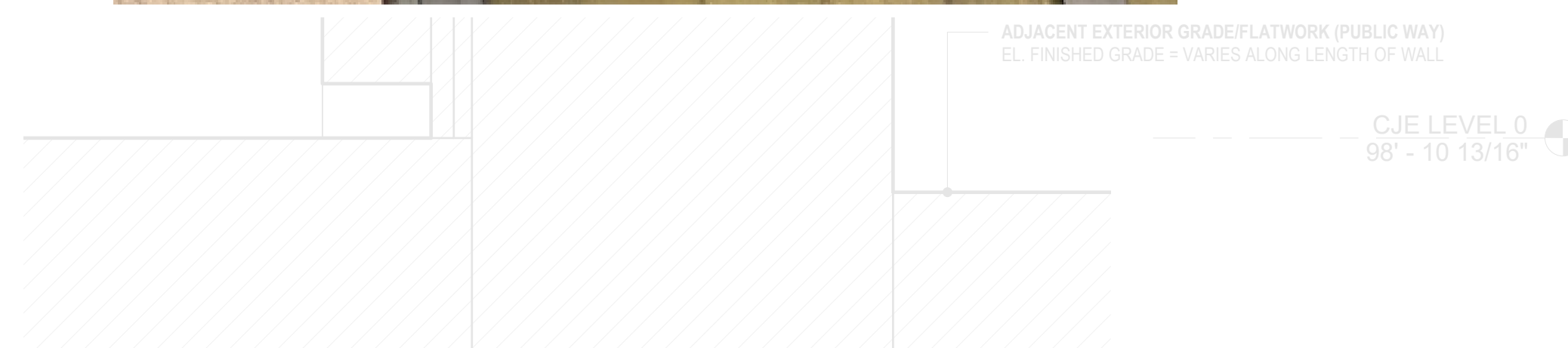
3J (ASK-024.1) CJE - DETAIL - JAMB (CLERESTORY AT SOUTH EXTERIOR WALL)
 SCALE: 3" = 1'-0"



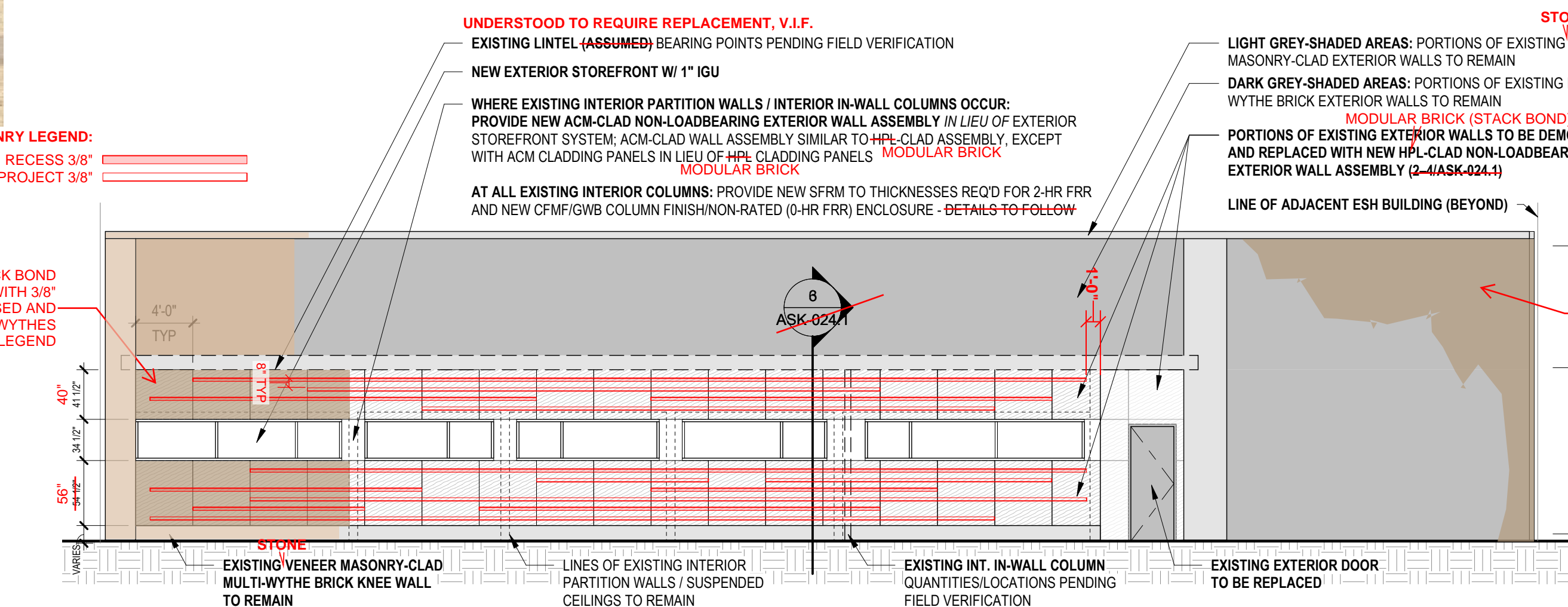
CLOSET MATCH FROM MASON



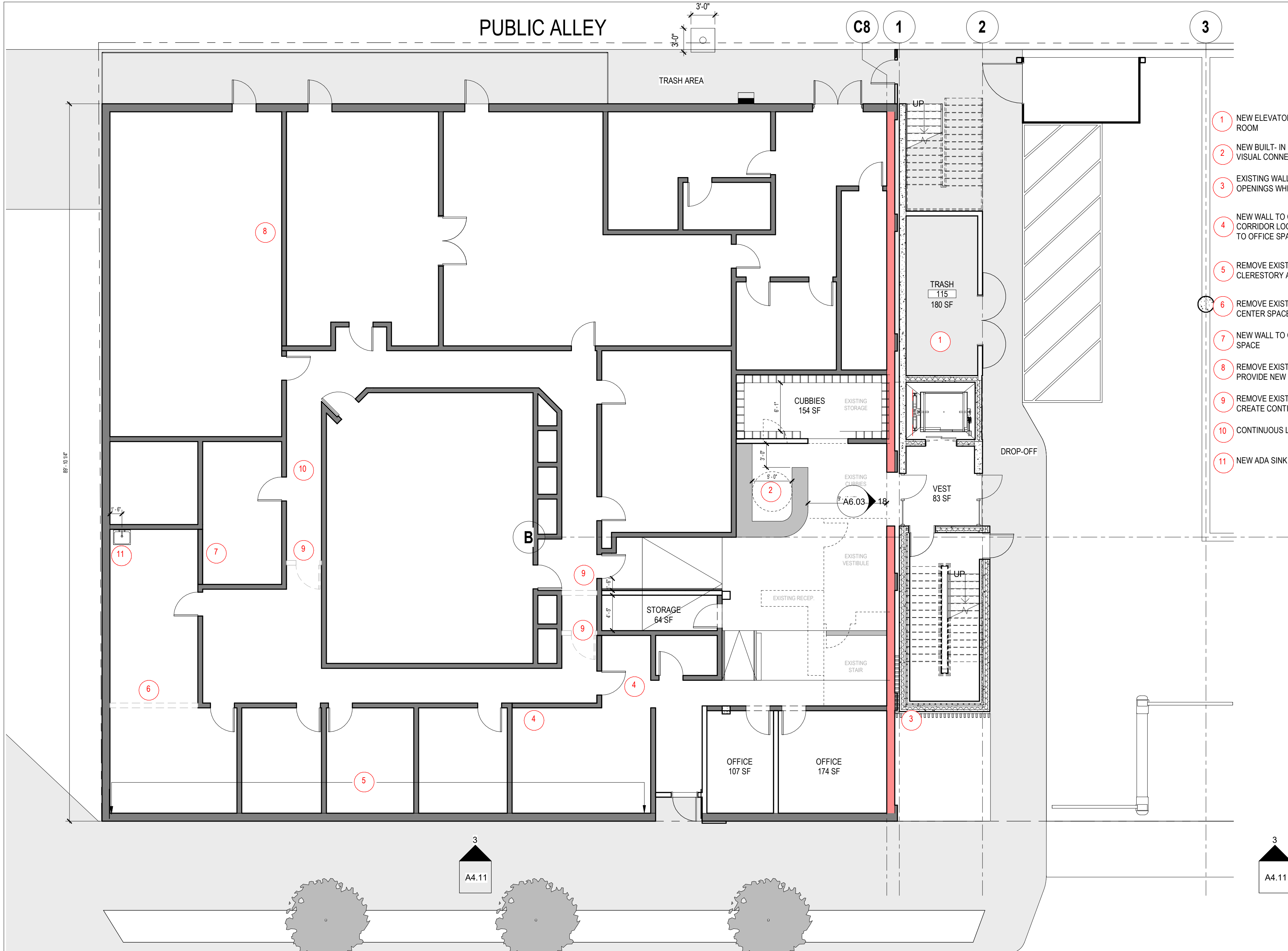
2 (ASK-024.1) CJE - FLOOR PLAN (PARTIAL) - FIRST FLOOR
 SCALE: 1/8" = 1'-0"



3 (ASK-024.1) CJE - DETAILED WALL SECTION - SOUTH EXTERIOR WALL
 SCALE: 3" = 1'-0"



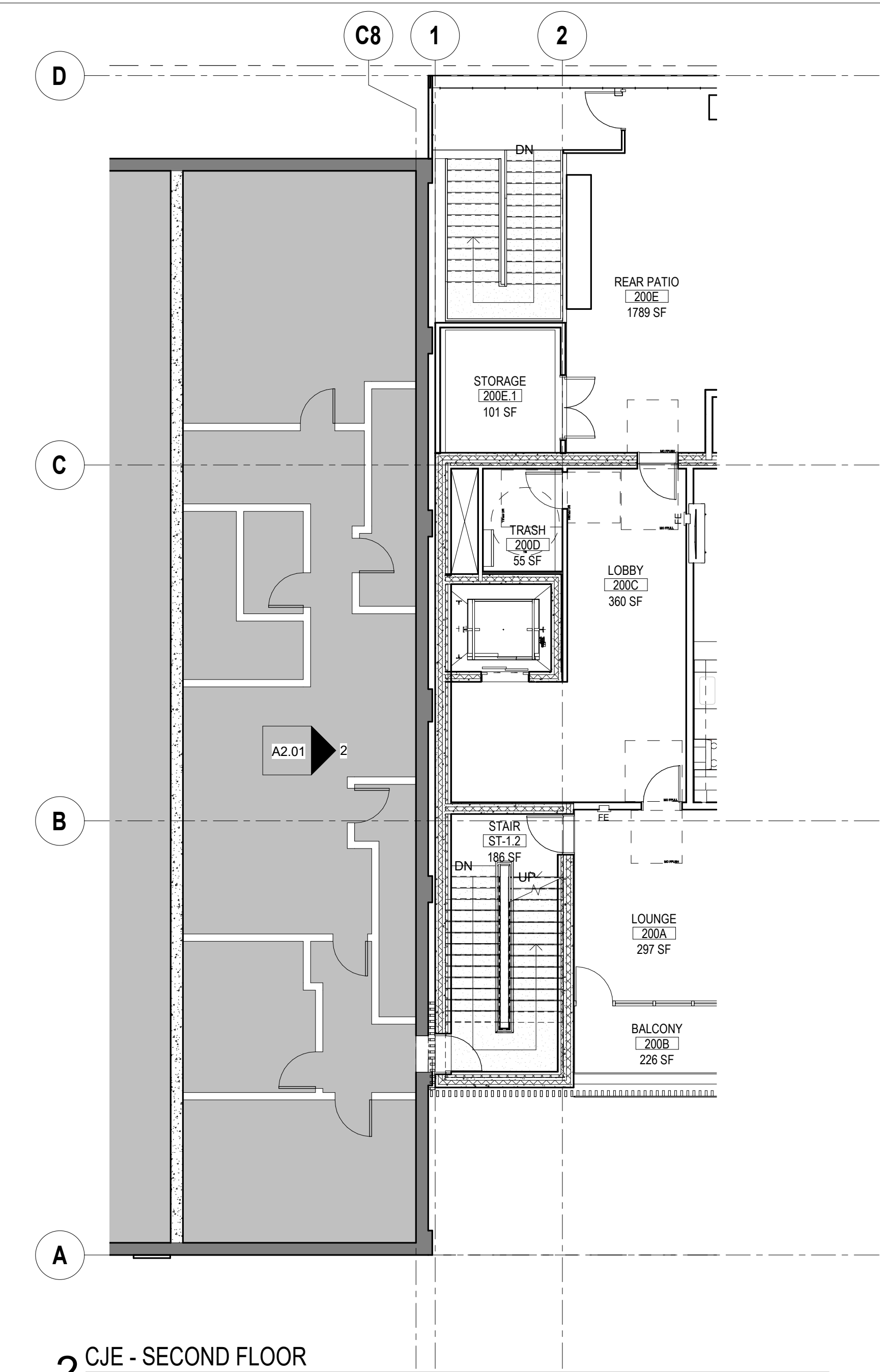
1 (ASK-024.1) CJE - EXTERIOR ELEVATION - SOUTH
 SCALE: 1/8" = 1'-0"



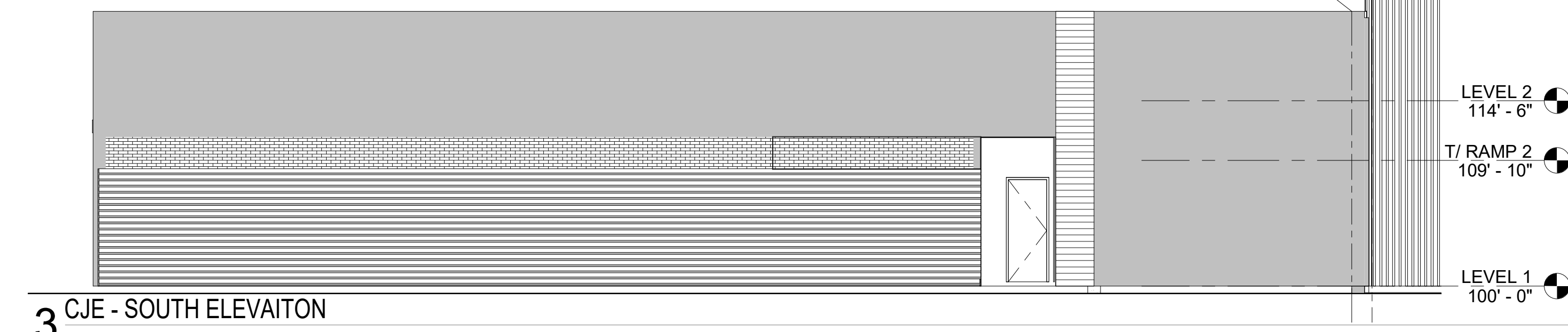
1 CJE - FIRST FLOOR
SCALE: 1/8" = 1'-0"

HOWARD AVE

- 1 NEW ELEVATOR AND ELEVATOR EQUIPMENT ROOM
- 2 NEW BUILT-IN RECEPTION DESK WITH VISUAL CONNECTION TO DROP-OFF
- 3 EXISTING WALL TO REMAIN, PROVIDING OPENINGS WHERE NECESSARY
- 4 NEW WALL TO CREATE CONTINUOUS CORRIDOR LOOP. PROVIDE NEW DOOR TO OFFICE SPACE
- 5 REMOVE EXISTING BOARDED UP CLERESTORY AND PROVIDE NEW GLAZING
- 6 REMOVE EXISTING WALL FOR REVISED ART CENTER SPACE
- 7 NEW WALL TO CLOSE OFF NEW ART CENTER SPACE
- 8 REMOVE EXISTING OPERABLE WALL AND PROVIDE NEW FULL HEIGHT MS GYP WALL
- 9 REMOVE EXISTING WALLS AND DOOR TO CREATE CONTINUOUS CORRIDOR LOOP
- 10 CONTINUOUS LOOP CORRIDOR
- 11 NEW ADA SINK

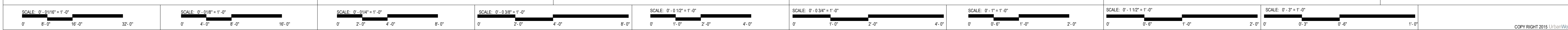


2 CJE - SECOND FLOOR
SCALE: 1/8" = 1'-0"



3 CJE - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

KEYNOTES	LEGEND	GENERAL NOTES	KEY PLAN
		1. REFER TO OVERALL PLANS FOR PARKING STALL COUNTS 2. REFER TO SHEET G3.30 FOR MOUNTING HEIGHTS AND CLEARANCES OF ALL PLUMBING FIXTURES, TOILET ACCESSORIES, APPLIANCES, AND CONTROLS. 3. INSTALL IN-WALL BLOCKING FOR GRAB BARS AT TOILETS AND BATHTUBS IN ALL UNITS. REFER TO SHEET G3.30 FOR HEIGHTS AND DIMENSIONS. 4. ALL BEDROOM CLOSETS TO RECEIVE SHELF AND ROD PER SPECIFICATION. REFER TO G3.20 FOR MOUNTING HEIGHTS. 5. ALL PANTRY CLOSETS AND BATHROOM SHELF NICHES TO RECEIVE FIXED SHELVES PER SPECIFICATION. 6. REFER TO SPECIFICATIONS FOR CABINETRY AND COUNTERTOP SPECIFICATIONS. 7. REFER TO PLUMBING SHEETS FOR FIXTURE SPECIFICATIONS. 8. REFER TO ELECTRICAL SHEETS FOR LIGHT FIXTURE SPECIFICATIONS. 9. REFER TO SHEET A6.04 FOR ROOM FINISH SCHEDULE. 10. WINDOW TYPES VARY - SEE EXTERIOR ELEVATIONS AND WINDOW SCHEDULE. ALL TYPE A AND TYPE A / SECTION 504 UNITS TO HAVE AT LEAST ONE OPERABLE WINDOW THAT COMPLIES WITH ANSI A117.1 (2003) SECTION 309.	



RESERVED FOR CITY STAMP

03.12.2020 ISSUED FOR PERMIT / IHDA
 01.23.2020 100% DESIGN DEVELOPMENT
 09.06.2019 100% SCHEMATIC DESIGN
 DATE ISSUED FOR

CLIENT/DEVELOPER
EVERGREEN
 Real Estate Group
 566 W Lake Street, Suite 400
 Chicago, IL 60661-1414
 P: 312-234-9400
 www.evergreenreg.com

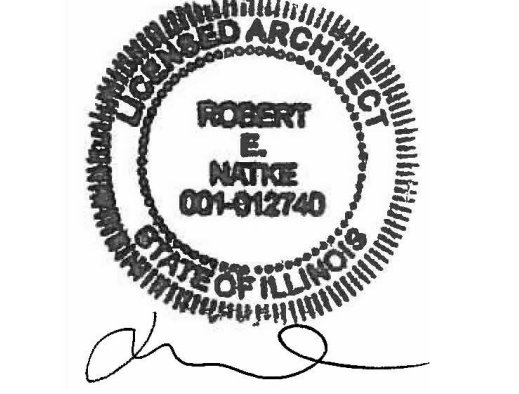
DESIGN TEAM
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 Chicago, IL 60603
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PROJECT NAME
EVERGREEN SENIOR HOUSING
PROJECT ADDRESS
 999-1015 HOWARD ST.
 EVANSTON, IL 60202

DRAWING TITLE
CJE - FLOOR PLANS + ELEVATIONS

SHEET #

A4.11

RESERVED
FOR CITY
STAMP

PARKING LIGHTING ALTERNATE
(DRAFT 11.10.2021)

09.29.2020	ISSUED FOR CONSTRUCTION
09.14.2020	ISSUED FOR IHDA REVIEW - 3
08.24.2020	ISSUED FOR FINANCIAL RESPONSE - 1
08.07.2020	ISSUED FOR IHDA CORRECTIONS - 1
06.24.2020	ISSUED FOR CORRECTIONS - 3
05.28.2020	ISSUED FOR CORRECTIONS - 2
05.28.2020	ISSUED FOR IHDA REVIEW
05.08.2020	ISSUED FOR COORDINATION
04.24.2020	ISSUED FOR CORRECTIONS - 1
03.12.2020	ISSUED FOR PERMIT / IHDA
01.23.2020	100% DESIGN DEVELOPMENT
09.06.2019	100% SCHEMATIC DESIGN
DATE	ISSUED FOR

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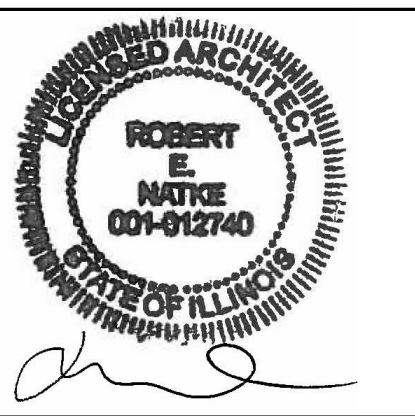
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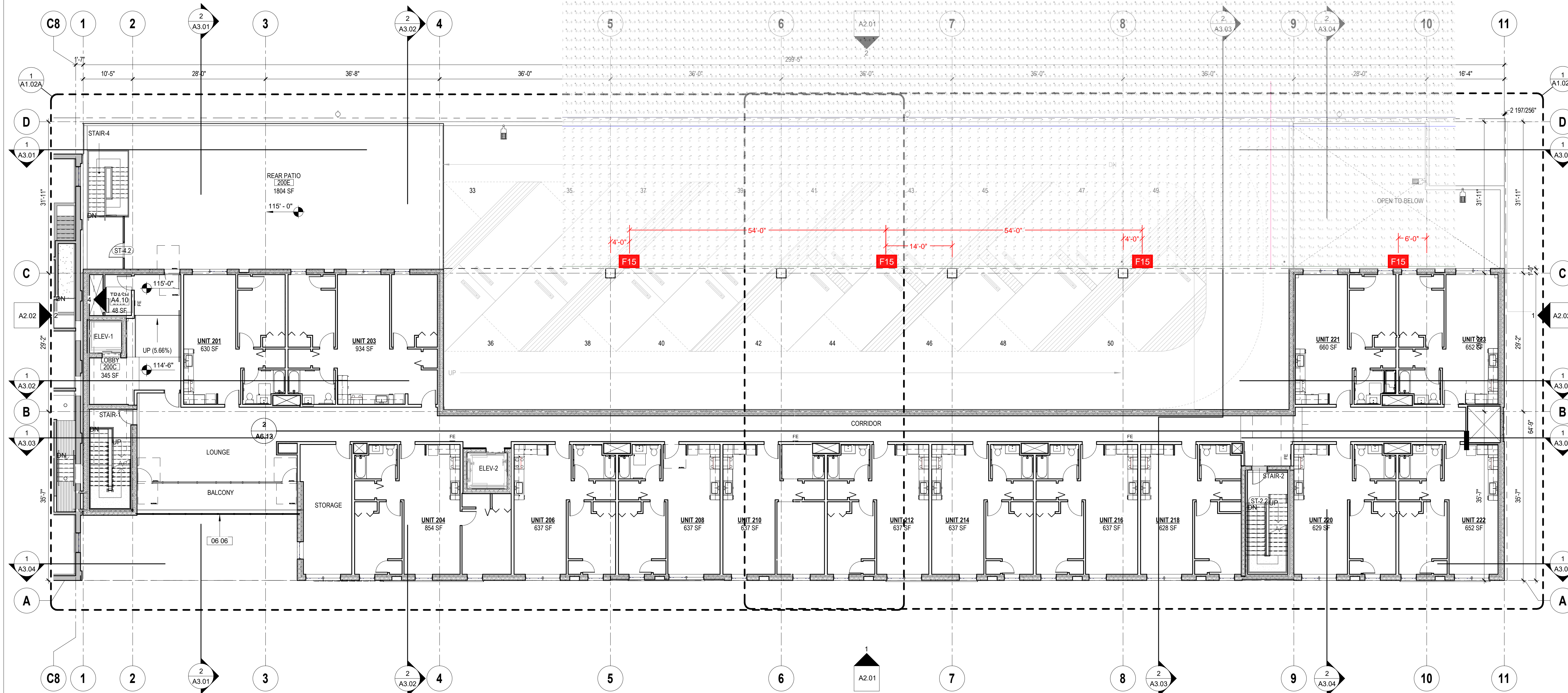
CONSTRUCTION MANAGEMENT
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PROJECT NAME
**EVERGREEN SENIOR
HOUSING**
PROJECT ADDRESS
1011 HOWARD ST.
EVANSTON, IL 60202

DRAWING TITLE
**SECOND FLOOR OVERALL
PLAN**

SHEET #

A0.12



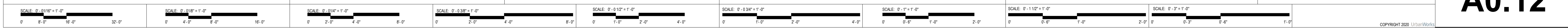
1 OVERALL SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"

KEYNOTES
06 06 GUARD RAIL

LEGEND

GENERAL NOTES
1. REFER TO PARKING LAYOUT DIAGRAM ON OVERALL FLOOR PLANS (A0.10 - A0.12) FOR PARKING SPACE COUNTS
2. REFER TO ARCHITECTURAL RCP AND ELECTRICAL SHEETS FOR EXTERIOR LIGHTING INFORMATION

KEY PLAN



RESERVED
FOR CITY
STAMP

**PARKING LIGHTING ALTERNATE
(DRAFT 11.10.2021)**

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DATE	ISSUED FOR

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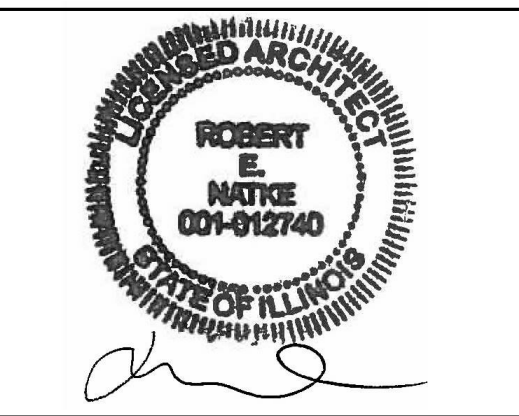
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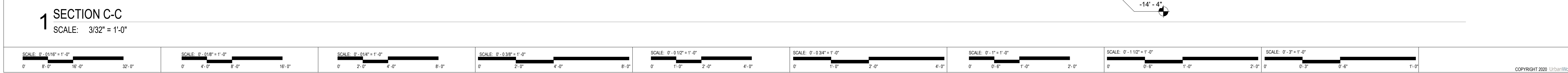
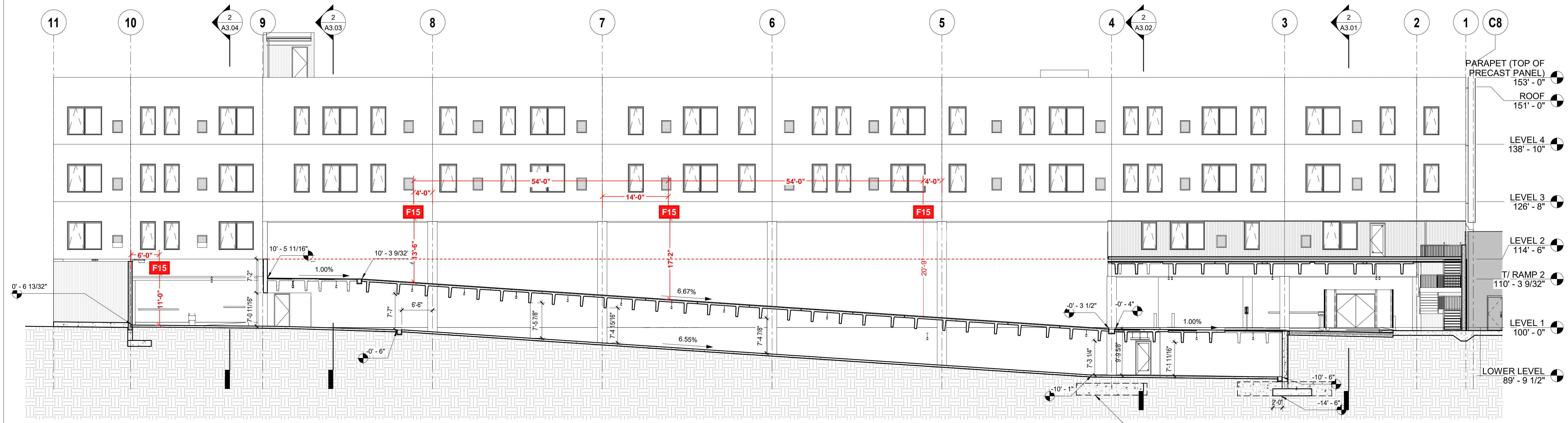


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**EVERGREEN SENIOR
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 EVANSTON, IL 60202

DRAWING TITLE
BUILDING SECTIONS

SHEET #
A3.01



RESERVED FOR CITY STAMP

PARKING LIGHTING ALTERNATE (DRAFT 11.10.2021)

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09.06.2019	100% SCHEMATIC DESIGN

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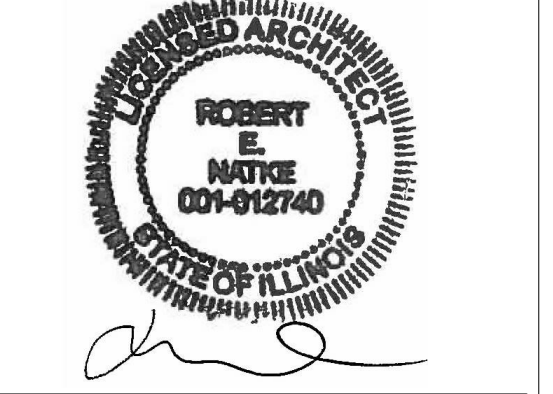
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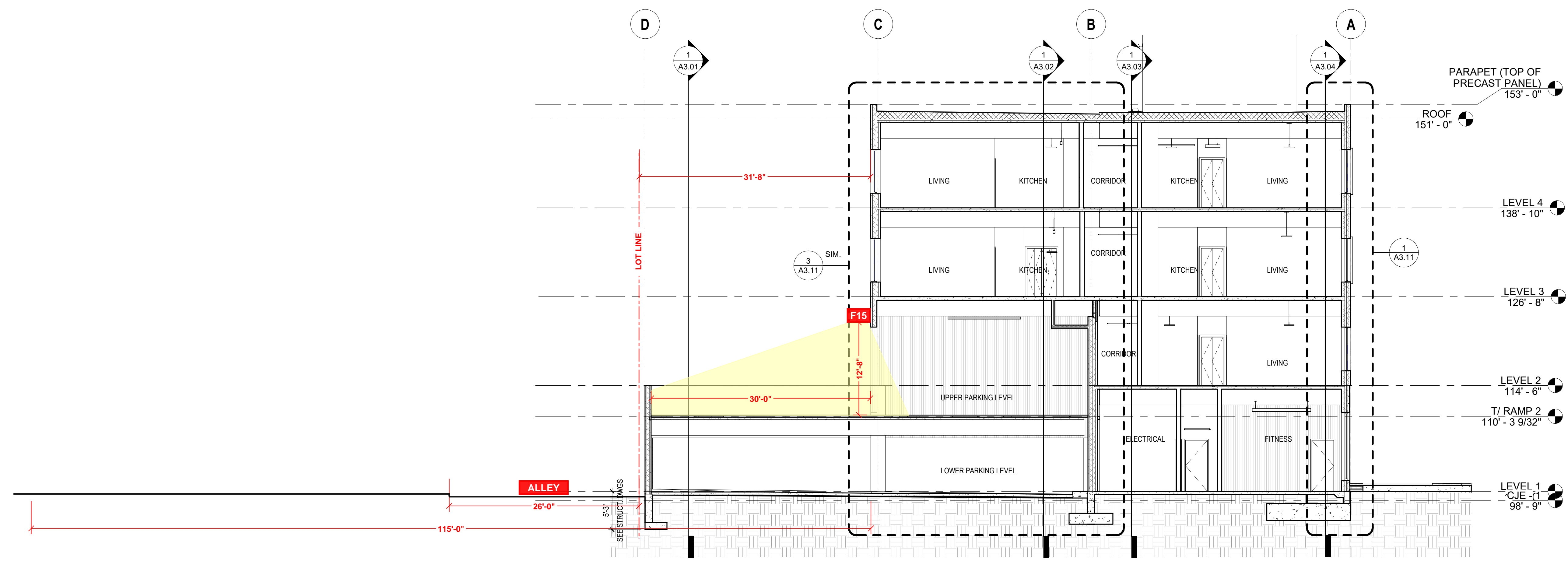


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PROJECT NAME
 EVERGREEN SENIOR HOUSING
PROJECT ADDRESS
 1011 HOWARD ST.
 EVANSTON, IL 60202

DRAWING TITLE
 BUILDING SECTIONS

SHEET #
A3.03



2 SECTION 8-8
 SCALE: 1/8" = 1'-0"



Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 27,800 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems available for further energy savings. Includes Service Tag, our innovative way to provide assistance throughout the life of the product.

Project: _____
 Location: _____
 Cat.No: _____
 Type: _____
 Lamps: _____ Qty: _____
 Notes: _____

example: ECF-S-64L-900-NW-G2-AR-5-120-HIS-MGY

Ordering guide

Prefix		Number of LEDs	Drive Current	LED Color - Generation	Mounting	Distribution	Voltage	
ECF-S								
ECF-S	EcoForm site and area, small	32L 32 LEDs (2 modules)	365 365mA	WW-G2 Warm White 3000K, 70CRI Generation 2	AR ² Arm Mount (standard)	Type 2 2 Type 2 2-90 Rotated left 90° 2-270 Rotated right 270° Type 3 3 Type 3 3-90 Rotated left 90° 3-270 Rotated right 270° Type 4 4 Type 4 4-90 Rotated left 90° 4-270 Rotated right 270° Type 5 5 Type 5 5W Type 5W	120 120V 208 208V 240 240V 277 277V 347 347V 480 480V UNV 120-277V (50/60Hz) HVU 347-480V (50/60Hz)	
			530 530mA					NW-G2 Neutral White 4000K, 70CRI Generation 2
			700 700mA					
		48L 48 LEDs (3 modules)	900 900mA	CW-G2 Cool White 5000K, 70CRI Generation 2	The following mounting kits must be ordered separately (See accessories) SF ³ Slip Fitter Mount (fits to 2 3/8" O.D. tenon) WS Wall mount with surface conduit rear entry permitted RAM ² Retrofit arm mount kit			
			1A 1050mA					
			1.2A 1200mA					
		64L 64 LEDs (4 modules)	900 900mA					
			1A ¹⁹ 1050mA					

Options						
Dimming controls	Motion sensing lens	Photo-sensing	Electrical	Luminaire	Finish	
DD ^{4,18} 0-10V External dimming (for controls by others) DCC ^{4,5,6,18} Dual Circuit Control FAWS ^{4,6,7,18} Field Adjustable Wattage Selector LLC ^{4,6,7,8,18} Integral wireless module BL ^{1,4,7,18} Bi-level functionality SRDR ^{4,5,6,8,17} SR driver connected to Zhaga socket DynaDimmer: Automatic Profile Dimming CS50 ^{4,8} Safety 50% Dimming, 7 hours CM50 ^{4,8} Median 50% Dimming, 8 hours CS30 ^{4,8} Safety 30% Dimming, 7 hours CM30 ^{4,8} Median 30% Dimming, 8 hours	IMR13 ¹⁵ Integral with #3 lens IMR17 ¹⁶ Integral with #7 lens	PCB ^{8,9} Photocontrol Button TLRD5 ^{10,17} Twist Lock Receptacle 5 Pin TLRD7 ^{10,17} Twist Lock Receptacle 7 Pin TLRPC ^{9,10,11,17} Twist Lock Receptacle w/ Photocell	Fusing F1 ⁹ Single (120, 277, 347VAC) F2 ⁹ Double (208, 240, 480VAC) Pole Mount Fusing FP1 ⁹ Single (120, 277, 347VAC) FP2 ⁹ Double (208, 240, 480VAC) FP3 ⁹ Canadian Double Pull (208, 240, 480VAC) Surge Protection (10kA standard) SP2 Increased 20kA	Square Pole Adapter included in standard product TB ¹² Terminal Block RPA ¹³ Round Pole Adapter (fits to 3"- 3.9" O.D. pole) HIS ¹⁴ Internal House Side Shield	Textured BK Black WH White BZ Bronze DGY Dark Gray MGY Medium Gray Customer specified RAL Specify optional color or RAL (ex: RAL7024) CC Custom color (Must supply color chip for required factory quote)	

- BL-IMR13/7 equipped with out-boarded sensor housing when voltage is HVU (347-480V)
- Mounts to a 4" round pole with adapter included for square poles.
- Limited to a maximum of 45 degrees aiming above horizontal.
- Not available with other dimming control options.
- Not available with motion sensor.
- Not available with photocontrol.
- Must specify a motion sensor lens.
- Not available in 347 or 480V
- Must specify input voltage.
- TLRD5, TLRD7 and TLRPC receptacle pins 4 & 5 are capped off when ordered with any of the Dimming controls DD or FAWS or LLC.
- Not available in 480V. Order photocell separately with TLRD5/7.
- Not available with DCC.
- Not available with SF and WS. RPAs provided with black finish standard.
- HIS not available with Type 5, 5W, BLC, BLC-90, BLC-270, LCL or RCL optics.
- Not available with DD, DCC, and FAWS dimming control options.
- Not available with DD, DCC, FAWS and LLC dimming control options.
- When ordering SRDR, controller (by others) to be used on socket must be SR compatible (See specifications for more details). Consult factory for lead time. All 7 pins in NEMA receptacle are connected to SR driver. SRDR not available with TLRD5 or TLRPC.
- 0-10V dimming driver standard.
- LCL and RCL not available with 48L-1.2A or 64L-1A.



ECF-S EcoForm small

Area luminaire

EcoForm Accessories²¹ (ordered separately, field installed)

Shielding Accessories

House Side shield

Standard optic orientation:

HIS-32-H²⁰ Internal House Side Shield for 32 LEDs (2 modules)

HIS-48-H²⁰ Internal House Side Shield for 48 LEDs (3 modules)

HIS-64-H²⁰ Internal House Side Shield for 64 LEDs (4 modules)

Optic at 90 or 270 orientation:

HIS-32-V²⁰ Internal House Side Shield for 32 LEDs (2 modules)

HIS-48-V²⁰ Internal House Side Shield for 48 LEDs (3 modules)

HIS-64-V²⁰ Internal House Side Shield for 64 LEDs (4 modules)

Luminaire Accessories

ECF-BD-G2 Bird deterrent
ECF-RAM-G2-(F) Retrofit Arm mount kit
ECF-SF-G2-(F) Slip Fitter Mount (fits to 2 3/8" O.D. tenon)
ECF-WS-G2-(F) Wall mount with surface conduit rear entry permitted

EcoForm PTF2
 (pole top fitter fits 23/8-21/2" OD x 4" depth tenon)

PTF2-ECF-S/L-1-90-(F) 1 luminaire at 90°
PTF2-ECF-S/L-2-90-(F) 2 luminaires at 90°
PTF2-ECF-S/L-2-180-(F) 2 luminaires at 180°
PTF2-ECF-S/L-3-90-(F) 3 luminaires at 90°
PTF2-ECF-S/L-4-90-(F) 4 luminaires at 90°
PTF2-ECF-S/L-3-120-(F) 3 luminaires at 120°

(F) = Specify finish

EcoForm PTF3
 (pole top fitter fits 3-31/2" OD x 6" depth tenon)

PTF3-ECF-S/L-1-90-(F) 1 luminaire at 90°
PTF3-ECF-S/L-2-90-(F) 2 luminaires at 90°
PTF3-ECF-S/L-2-180-(F) 2 luminaires at 180°
PTF3-ECF-S/L-3-90-(F) 3 luminaires at 90°
PTF3-ECF-S/L-4-90-(F) 4 luminaires at 90°
PTF3-ECF-S/L-3-120-(F) 3 luminaires at 120°

EcoForm PTF4
 (pole top fitter fits 31/2-4" OD x 6" depth tenon)

PTF4-ECF-S/L-1-90-(F) 1 luminaire at 90°
PTF4-ECF-S/L-2-90-(F) 2 luminaires at 90°
PTF4-ECF-S/L-2-180-(F) 2 luminaires at 180°
PTF4-ECF-S/L-3-90-(F) 3 luminaires at 90°
PTF4-ECF-S/L-4-90-(F) 4 luminaires at 90°
PTF4-ECF-S/L-3-120-(F) 3 luminaires at 120°

Footnotes

20. Not available with Type 5 or 5W optics

21. Consult Signify to confirm whether specific accessories are BAA-compliant.

Ready to Go configurations (when ordered with the "RS-" catalog code, the following configurations will ship in 2 weeks):

Catalog Number	12NC	Catalog Number	12NC
RS-ECF-S-32L-1A-NW-G2-AR-3-UNV-BZ	912401466002	RS-ECF-S-64L-1A-NW-G2-AR-3-UNV-BK	912401534560
RS-ECF-S-32L-1A-NW-G2-AR-3-UNV-MGY	912401466003	RS-ECF-S-64L-1A-NW-G2-AR-4-UNV-BZ	912401466016
RS-ECF-S-32L-1A-NW-G2-AR-3-UNV-BK	912401534554	RS-ECF-S-64L-1A-NW-G2-AR-4-UNV-MGY	912401466017
RS-ECF-S-32L-1A-NW-G2-AR-4-UNV-BZ	912401466004	RS-ECF-S-64L-1A-NW-G2-AR-4-UNV-BK	912401534561
RS-ECF-S-32L-1A-NW-G2-AR-4-UNV-MGY	912401466005	RS-ECF-S-64L-1A-NW-G2-AR-5-UNV-BZ	912401466018
RS-ECF-S-32L-1A-NW-G2-AR-4-UNV-BK	912401534555	RS-ECF-S-64L-1A-NW-G2-AR-5-UNV-MGY	912401466019
RS-ECF-S-32L-1A-NW-G2-AR-5-UNV-BZ	912401466006	RS-ECF-S-64L-1A-NW-G2-AR-5-UNV-BK	912401534562
RS-ECF-S-32L-1A-NW-G2-AR-5-UNV-MGY	912401466007	RS-ECF-RAM-G2-DGY	912401466487
RS-ECF-S-32L-1A-NW-G2-AR-5-UNV-BK	912401534556	RS-ECF-RAM-G2-MGY	912401466488
RS-ECF-S-48L-1A-NW-G2-AR-3-UNV-BZ	912401466008	RS-ECF-RAM-G2-WH	912401466485
RS-ECF-S-48L-1A-NW-G2-AR-3-UNV-MGY	912401466009	RS-HIS-32-H	912401466489
RS-ECF-S-48L-1A-NW-G2-AR-3-UNV-BK	912401534557	RS-HIS-48-H	912401466491
RS-ECF-S-48L-1A-NW-G2-AR-4-UNV-BZ	912401466010	RS-HIS-64-H	912401466493
RS-ECF-S-48L-1A-NW-G2-AR-4-UNV-MGY	912401466011		
RS-ECF-S-48L-1A-NW-G2-AR-4-UNV-BK	912401534558		
RS-ECF-S-48L-1A-NW-G2-AR-5-UNV-BZ	912401466012		
RS-ECF-S-48L-1A-NW-G2-AR-5-UNV-MGY	912401466013		
RS-ECF-S-48L-1A-NW-G2-AR-5-UNV-BK	912401534559		
RS-ECF-S-64L-1A-NW-G2-AR-3-UNV-BZ	912401466014		
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ECF-S EcoForm small

Area luminaire

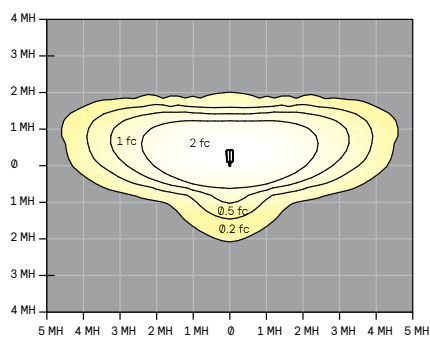
Predicted Lumen Depreciation Data

Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions. L₇₀ is the predicted time when LED performance depreciates to 70% of initial lumen output. Calculated per IESNA TM21-11. Published L₇₀ hours limited to 6 times actual LED test hours

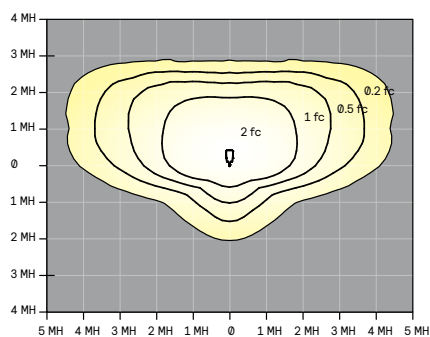
Ambient Temperature °C	Driver mA	Calculated L ₇₀ Hours	L ₇₀ per TM-21	Lumen Maintenance % at 60,000 hrs
25°C	up to 1200 mA	>100,000 hours	>120,000 hours	>99%

Optical Distributions

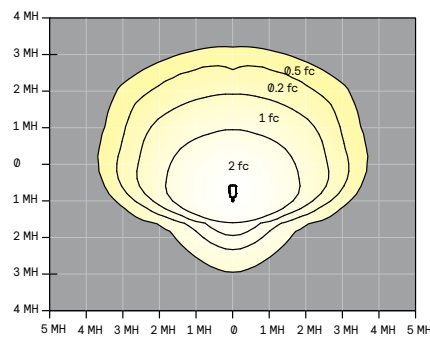
Based on configuration ECF-S-48L-1A-NW-G2 (159W) mounted at 20ft.



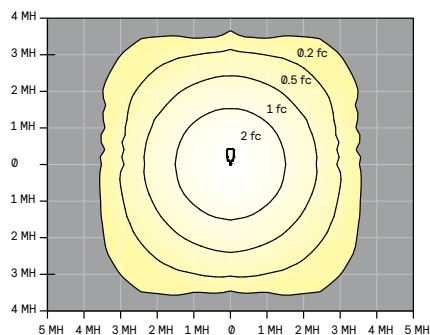
Type 2



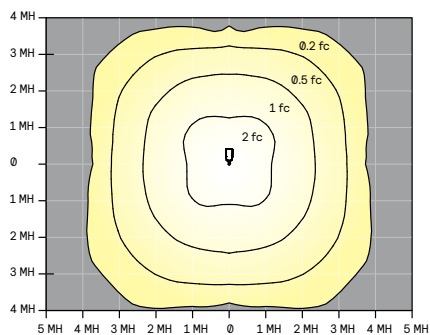
Type 3



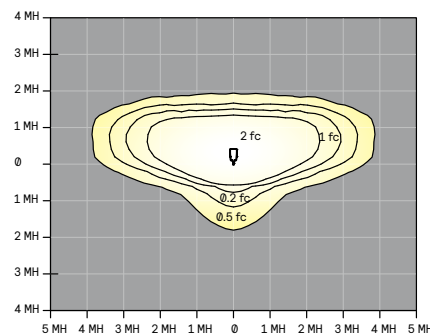
Type 4



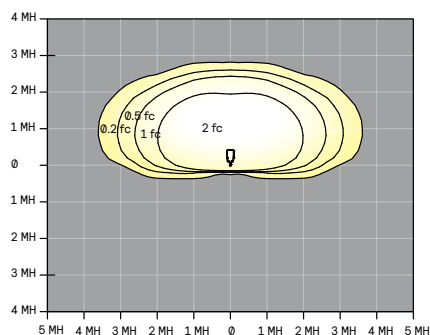
Type 5



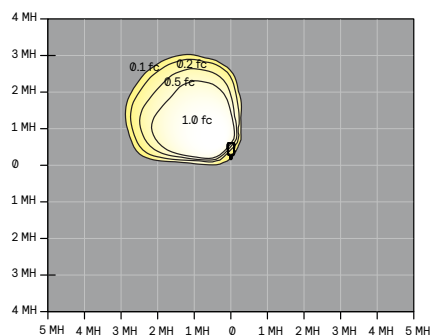
Type 5W



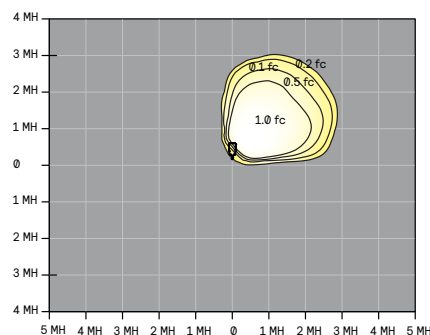
AFR



BLC



LCL



RCL

ECF-S EcoForm small

Area luminaire

3000K LED Wattage and Lumen Values

Ordering Code	Total LEDs	LED Current (mA)	Color Temp.	Average System Watts	Type 2			Type 3			Type 4			Type 5			Type 5W		
					Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
ECF-S-32L-365-WW-G2-x	32	365	3000	40	5,508	B1-U0-G1	138	5,428	B1-U0-G2	136	5,637	B1-U0-G2	141	5,790	B3-U0-G1	145	5,604	B3-U0-G1	140
ECF-S-32L-530-WW-G2-x	32	530	3000	56	7,159	B2-U0-G2	129	7,055	B1-U0-G2	127	7,327	B1-U0-G2	132	7,526	B3-U0-G2	135	7,284	B3-U0-G2	131
ECF-S-32L-700-WW-G2-x	32	700	3000	73	9,234	B2-U0-G2	127	9,034	B2-U0-G2	124	9,452	B2-U0-G2	130	9,707	B4-U0-G2	133	9,395	B4-U0-G2	129
ECF-S-32L-1A-WW-G2-x	32	1050	3000	106	13,001	B3-U0-G2	123	12,719	B2-U0-G2	120	13,306	B2-U0-G3	126	13,665	B4-U0-G2	129	13,227	B4-U0-G2	125
ECF-S-32L-1.2A-WW-G2-x	32	1200	3000	122	14,421	B3-U0-G3	119	14,108	B2-U0-G3	116	14,760	B2-U0-G3	121	15,158	B4-U0-G2	125	14,671	B4-U0-G2	121
ECF-S-48L-900-WW-G2-x	48	900	3000	135	17,115	B3-U0-G3	127	16,744	B3-U0-G3	124	17,518	B2-U0-G3	130	17,990	B4-U0-G2	133	17,413	B5-U0-G3	129
ECF-S-48L-1A-WW-G2-x	48	1050	3000	159	19,381	B3-U0-G3	122	18,960	B3-U0-G3	119	19,836	B3-U0-G4	125	20,372	B5-U0-G3	128	19,717	B5-U0-G3	124
ECF-S-48L-1.2A-WW-G2-x	48	1200	3000	183	21,515	B3-U0-G3	118	21,048	B3-U0-G4	115	22,020	B3-U0-G4	121	22,616	B5-U0-G3	124	21,888	B5-U0-G3	120
ECF-S-64L-900-WW-G2-x	64	900	3000	178	22,652	B3-U0-G3	127	22,161	B3-U0-G4	125	23,185	B3-U0-G4	130	23,810	B5-U0-G3	134	23,045	B5-U0-G3	130
ECF-S-64L-1A-WW-G2-x	64	1050	3000	206	25,520	B3-U0-G3	124	24,966	B3-U0-G4	121	26,120	B3-U0-G4	127	26,150	B5-U0-G3	127	25,964	B5-U0-G4	126

Ordering Code	Total LEDs	LED Current (mA)	Color Temp.	Average System Watts	Type AFR			BLC			LCL or RCL		
					Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
ECF-S-32L-365-WW-G2-x	32	365	3000	40	5,706	B2-U0-G1	143	3,691	B0-U0-G1	94	2,449	B0-U0-G1	62
ECF-S-32L-530-WW-G2-x	32	530	3000	56	7,417	B2-U0-G1	133	5,005	B0-U0-G2	91	3,183	B0-U0-G1	58
ECF-S-32L-700-WW-G2-x	32	700	3000	73	9,567	B2-U0-G2	131	6,409	B0-U0-G2	89	4,106	B0-U0-G1	57
ECF-S-32L-1A-WW-G2-x	32	1050	3000	106	13,467	B3-U0-G2	128	9,024	B1-U0-G2	87	5,793	B0-U0-G2	56
ECF-S-32L-1.2A-WW-G2-x	32	1200	3000	122	14,939	B3-U0-G2	123	10,010	B1-U0-G2	84	6,426	B0-U0-G2	54
ECF-S-48L-900-WW-G2-x	48	900	3000	135	17,731	B3-U0-G2	131	11,880	B1-U0-G2	89	7,626	B0-U0-G2	57
ECF-S-48L-1A-WW-G2-x	48	1050	3000	159	20,076	B3-U0-G2	127	13,453	B1-U0-G2	86	8,636	B0-U0-G2	55
ECF-S-48L-1.2A-WW-G2-x	48	1200	3000	183	22,288	B3-U0-G2	122	14,934	B1-U0-G3	83			
ECF-S-64L-900-WW-G2-x	64	900	3000	178	23,465	B3-U0-G2	132	15,723	B1-U0-G3	90	10,093	B0-U0-G2	58
ECF-S-64L-1A-WW-G2-x	64	1050	3000	206	26,437	B4-U0-G3	128	17,714	B1-U0-G3	87			

4000K LED Wattage and Lumen Values

Ordering Code	Total LEDs	LED Current (mA)	Color Temp.	Average System Watts	Type 2			Type 3			Type 4			Type 5			Type 5W		
					Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
ECF-S-32L-365-NW-G2-x	32	365	4000	40	5,798	B1-U0-G1	145	5,713	B1-U0-G2	143	5,934	B1-U0-G2	148	6,094	B3-U0-G1	152	5,898	B3-U0-G2	147
ECF-S-32L-530-NW-G2-x	32	530	4000	56	7,536	B2-U0-G2	135	7,426	B1-U0-G2	133	7,713	B1-U0-G2	138	7,922	B3-U0-G2	142	7,667	B3-U0-G2	138
ECF-S-32L-700-NW-G2-x	32	700	4000	73	9,720	B2-U0-G2	133	9,509	B2-U0-G2	130	9,949	B2-U0-G2	136	10,218	B4-U0-G2	140	9,889	B4-U0-G2	136
ECF-S-32L-1A-NW-G2-x	32	1050	4000	106	13,685	B3-U0-G2	130	13,388	B2-U0-G3	127	14,006	B2-U0-G3	133	14,384	B4-U0-G2	136	13,923	B4-U0-G2	132
ECF-S-32L-1.2A-NW-G2-x	32	1200	4000	122	15,180	B3-U0-G3	125	14,851	B2-U0-G3	122	15,537	B2-U0-G3	128	15,956	B4-U0-G2	131	15,443	B4-U0-G2	127
ECF-S-48L-900-NW-G2-x	48	900	4000	135	18,016	B3-U0-G3	133	17,625	B3-U0-G3	130	18,440	B3-U0-G3	136	18,937	B4-U0-G3	140	18,329	B5-U0-G3	136
ECF-S-48L-1A-NW-G2-x	48	1050	4000	159	20,401	B3-U0-G3	129	19,958	B3-U0-G4	126	20,880	B3-U0-G4	132	21,444	B5-U0-G3	135	20,755	B5-U0-G3	131
ECF-S-48L-1.2A-NW-G2-x	48	1200	4000	183	22,647	B3-U0-G3	124	22,156	B3-U0-G4	121	23,179	B3-U0-G4	127	23,806	B5-U0-G3	130	23,040	B5-U0-G3	126
ECF-S-64L-900-NW-G2-x	64	900	4000	178	23,844	B3-U0-G3	134	23,327	B3-U0-G4	131	24,405	B3-U0-G4	137	25,063	B5-U0-G3	141	24,258	B5-U0-G4	136
ECF-S-64L-1A-NW-G2-x	64	1050	4000	206	26,863	B3-U0-G3	130	26,280	B3-U0-G4	128	27,495	B3-U0-G4	134	27,526	B5-U0-G3	134	27,330	B5-U0-G4	133

Ordering Code	Total LEDs	LED Current (mA)	Color Temp.	Average System Watts	Type AFR			BLC			LCL or RCL		
					Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
ECF-S-32L-365-NW-G2-x	32	365	4000	40	6,006	B2-U0-G1	150	3,991	B0-U0-G1	101	2,633	B0-U0-G1	67
ECF-S-32L-530-NW-G2-x	32	530	4000	56	7,807	B2-U0-G1	140	5,412	B0-U0-G2	99	3,423	B0-U0-G1	62
ECF-S-32L-700-NW-G2-x	32	700	4000	73	10,070	B2-U0-G2	138	6,930	B0-U0-G2	96	4,415	B0-U0-G1	61
ECF-S-32L-1A-NW-G2-x	32	1050	4000	106	14,176	B3-U0-G2	134	9,756	B1-U0-G2	94	6,229	B0-U0-G2	60
ECF-S-32L-1.2A-NW-G2-x	32	1200	4000	122	15,725	B3-U0-G2	129	10,822	B1-U0-G2	90	6,910	B0-U0-G2	58
ECF-S-48L-900-NW-G2-x	48	900	4000	135	18,664	B3-U0-G2	138	12,843	B1-U0-G2	96	8,200	B0-U0-G2	62
ECF-S-48L-1A-NW-G2-x	48	1050	4000	159	21,133	B3-U0-G2	133	14,544	B1-U0-G3	93	9,286	B0-U0-G2	59
ECF-S-48L-1.2A-NW-G2-x	48	1200	4000	183	23,461	B3-U0-G2	128	16,145	B1-U0-G3	90			
ECF-S-64L-900-NW-G2-x	64	900	4000	178	24,700	B3-U0-G2	139	16,998	B1-U0-G3	97	10,853	B0-U0-G2	62
ECF-S-64L-1A-NW-G2-x	64	1050	4000	206	27,828	B4-U0-G3	135	19,150	B1-U0-G3	94			

ECF-S EcoForm small

Area luminaire

5000K LED Wattage and Lumen Values

Ordering Code	Total LEDs	LED Current (mA)	Color Temp.	Average System Watts	Type 2			Type 3			Type 4			Type 5			Type 5W		
					Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
ECF-S-32L-365-CW-G2-x	32	365	5000	40	5,798	B1-U0-G1	145	5,713	B1-U0-G2	143	5,934	B1-U0-G2	148	6,094	B3-U0-G1	152	5,898	B3-U0-G2	147
ECF-S-32L-530-CW-G2-x	32	530	5000	56	7,536	B2-U0-G2	135	7,426	B1-U0-G2	133	7,713	B1-U0-G2	138	7,922	B3-U0-G2	142	7,667	B3-U0-G2	138
ECF-S-32L-700-CW-G2-x	32	700	5000	73	9,720	B2-U0-G2	133	9,509	B2-U0-G2	130	9,949	B2-U0-G2	136	10,218	B4-U0-G2	140	9,889	B4-U0-G2	136
ECF-S-32L-1A-CW-G2-x	32	1050	5000	106	13,685	B3-U0-G2	130	13,388	B2-U0-G3	127	14,006	B2-U0-G3	133	14,384	B4-U0-G2	136	13,923	B4-U0-G2	132
ECF-S-32L-1.2A-CW-G2-x	32	1200	5000	122	15,180	B3-U0-G3	125	14,851	B2-U0-G3	122	15,537	B2-U0-G3	128	15,956	B4-U0-G2	131	15,443	B4-U0-G2	127
ECF-S-48L-900-CW-G2-x	48	900	5000	135	18,016	B3-U0-G3	133	17,625	B3-U0-G3	130	18,440	B3-U0-G3	136	18,937	B4-U0-G3	140	18,329	B5-U0-G3	136
ECF-S-48L-1A-CW-G2-x	48	1050	5000	159	20,401	B3-U0-G3	129	19,958	B3-U0-G4	126	20,880	B3-U0-G4	132	21,444	B5-U0-G3	135	20,755	B5-U0-G3	131
ECF-S-48L-1.2A-CW-G2-x	48	1200	5000	183	22,647	B3-U0-G3	124	22,156	B3-U0-G4	121	23,179	B3-U0-G4	127	23,806	B5-U0-G3	130	23,040	B5-U0-G3	126
ECF-S-64L-900-CW-G2-x	64	900	5000	178	23,844	B3-U0-G3	134	23,327	B3-U0-G4	131	24,405	B3-U0-G4	137	25,063	B5-U0-G3	141	24,258	B5-U0-G4	136
ECF-S-64L-1A-CW-G2-x	64	1050	5000	206	26,863	B3-U0-G3	130	26,280	B3-U0-G4	128	27,495	B3-U0-G4	134	27,526	B5-U0-G3	134	27,330	B5-U0-G4	133

Ordering Code	Total LEDs	LED Current (mA)	Color Temp.	Average System Watts	Type AFR			BLC			LCL or RCL		
					Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
ECF-S-32L-365-CW-G2-x	32	365	5000	40	6,006	B2-U0-G1	150	3,991	B0-U0-G1	101	2,633	B0-U0-G1	67
ECF-S-32L-530-CW-G2-x	32	530	5000	56	7,807	B2-U0-G1	140	5,412	B0-U0-G2	99	3,423	B0-U0-G1	62
ECF-S-32L-700-CW-G2-x	32	700	5000	73	10,070	B2-U0-G2	138	6,930	B0-U0-G2	96	4,415	B0-U0-G1	61
ECF-S-32L-1A-CW-G2-x	32	1050	5000	106	14,176	B3-U0-G2	134	9,756	B1-U0-G2	94	6,229	B0-U0-G2	60
ECF-S-32L-1.2A-CW-G2-x	32	1200	5000	122	15,725	B3-U0-G2	129	10,822	B1-U0-G2	90	6,910	B0-U0-G2	58
ECF-S-48L-900-CW-G2-x	48	900	5000	135	18,664	B3-U0-G2	138	12,843	B1-U0-G2	96	8,200	B0-U0-G2	62
ECF-S-48L-1A-CW-G2-x	48	1050	5000	159	21,133	B3-U0-G2	133	14,544	B1-U0-G3	93	9,286	B0-U0-G2	59
ECF-S-48L-1.2A-CW-G2-x	48	1200	5000	183	23,461	B3-U0-G2	128	16,145	B1-U0-G3	90			
ECF-S-64L-900-CW-G2-x	64	900	5000	178	24,700	B3-U0-G2	139	16,998	B1-U0-G3	97	10,853	B0-U0-G2	62
ECF-S-64L-1A-CW-G2-x	64	1050	5000	206	27,828	B4-U0-G3	135	19,150	B1-U0-G3	94			

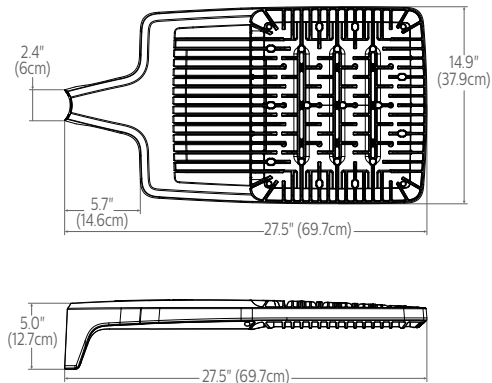
ECF-S EcoForm small

Area lumineuse

Dimensions

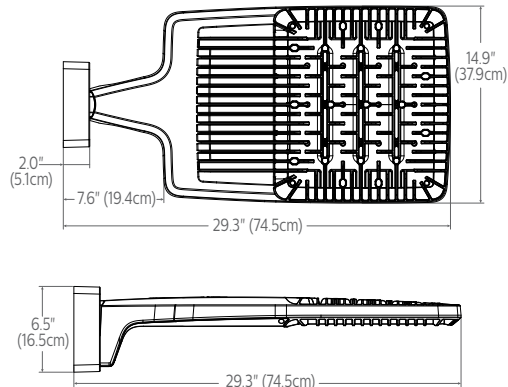
Standard Arm (AR)

Weight: 22 Lbs (9.9 Kg) EPA: 0.21ft² (.019m²)



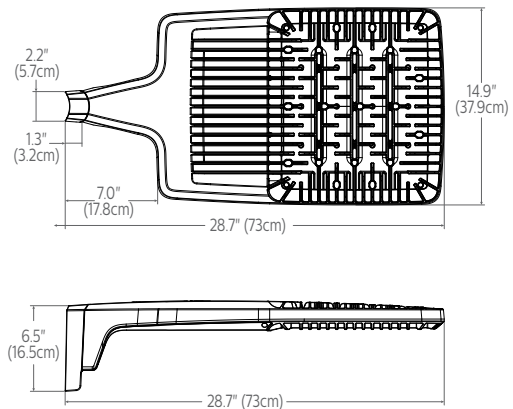
Wall (WS)

Weight: 27 Lbs. (12. 2Kg)EPA: 0.27ft² (.025m²)



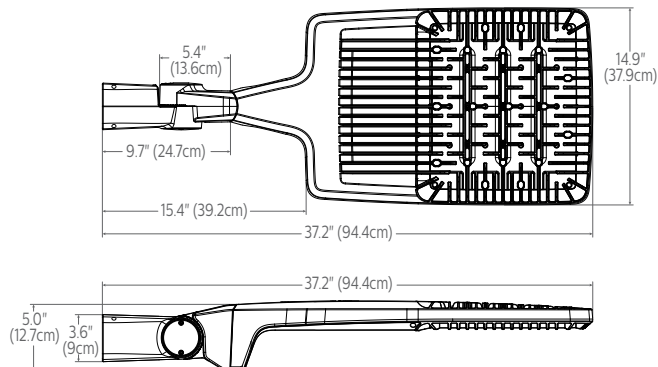
Retrofit Arm (RAM)

Weight: 24 Lbs (10.9 Kg) EPA: 0.24ft² (.022m²)

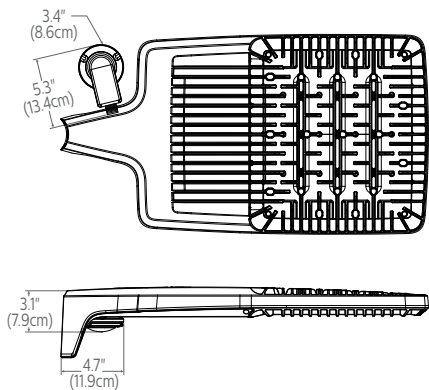


Slip fitter (SF)

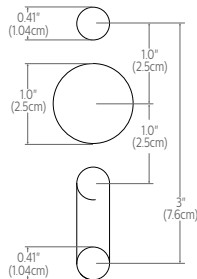
Weight: 27 Lbs (12.2 Kg) EPA: 0.33ft² (.031m²)



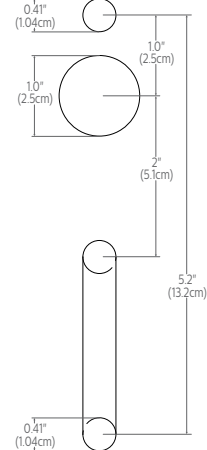
Outboard IMR-HVU sensor



Standard Arm (AR) drill pattern



Retrofit Arm (RAM) drill pattern



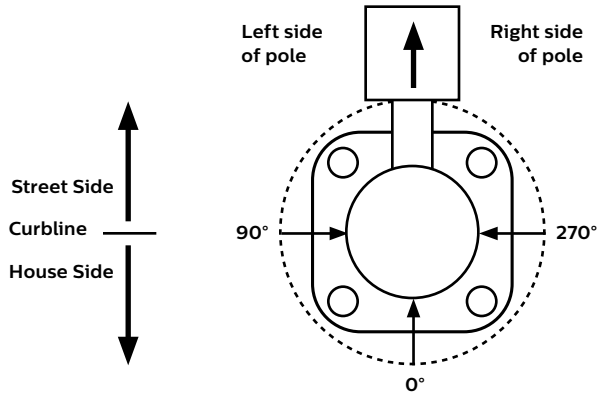
ECF-S EcoForm small

Area luminaire

Optical Orientation Information

Standard Optic Position

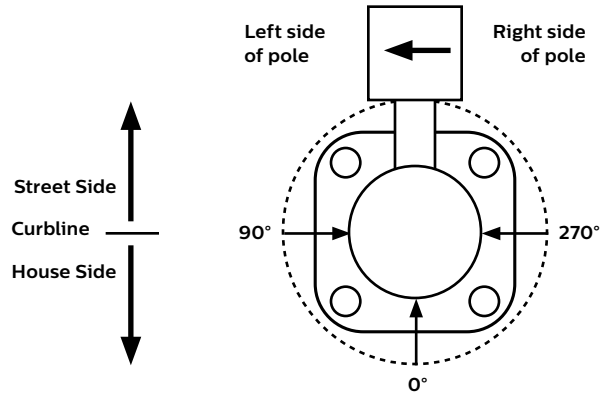
Luminaires ordered with asymmetric optical systems in the standard optic position will have the optical system oriented as shown below:



Note: The hand hole will normally be located on the pole at the 0° point.

Optic Rotated Left (90°) Optic Position

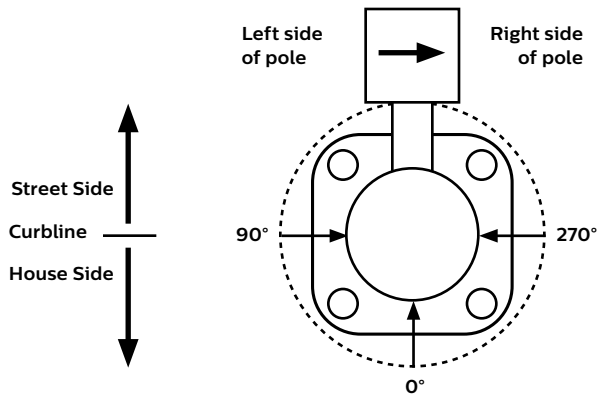
Luminaires ordered with optical systems in the Optic Rotated Left (90°) optic position will have the optical system oriented as shown below (Type 5 and 5W optics are not available with factory set rotatable optics):



Note: The hand hole will normally be located on the pole at the 0° point.

Optic Rotated Right (270°) Optic Position

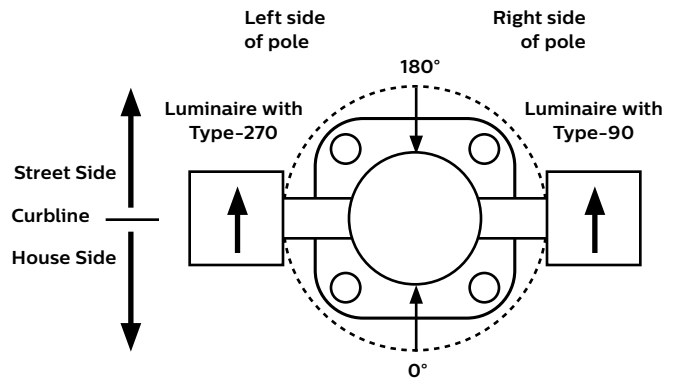
Luminaires ordered with optical systems in the Optic Rotated Right (270°) optic position will have the optical system oriented as shown below (Type 5 and 5W optics are not available with factory set rotatable optics):



Note: The hand hole will normally be located on the pole at the 0° point.

Twin Luminaire Assemblies with Type-90/Type-270 Rotated Optical Systems

Twin luminaire assemblies installed with rotated optical systems are an excellent way to direct light toward the interior of the site (Street Side) without additional equipment. It is important, however, that care be exercised to insure that luminaires are installed in the proper location.



Luminaires with Optic Rotated Right (270°) are installed on the LEFT Side of Pole

Luminaires with Optic Rotated Left (90°) are installed on the RIGHT Side of Pole

Note: The hand hole location will depend on the drilling configuration ordered for the pole.

ECF-S EcoForm small

Area luminaire

Specifications

Housing

One-piece die cast aluminum housing with integral arm and separate, self-retained hinged, one-piece die cast door frame. Luminaire housing rated to IP66, tested in accordance to Section 9 of IEC 60598-1.

Vibration resistance

Luminaire is tested and rated 3G over 100,000 cycles conforming to standards set forth by ANSI C136.31-2018. Testing includes vibration in three axes, all performed on the same luminaire.

Light engine

Light engine comprises of a module of 16-LED aluminum metal clad board fully sealed with optics offered in multiples of 2, 3, and 4 modules or 32, 48, and 64 LEDs. Module is RoHS compliant. Color temperatures: 3000K +/-125K, 4000K, 5000K +/- 200K. Minimum CRI of 70. LED light engine is rated IP66 in accordance to Section 9 of IEC 60598-1.

Energy saving benefits

System efficacy up to 152 lms/W with significant energy savings over Pulse Start Metal Halide luminaires. Optional control options provide added energy savings during unoccupied periods.

Optical systems

Type 2, 3, 4, 5, 5W, and AFR distributions available. Internal Shield option mounts to LED optics and is available with Type 2, 3, 4, and AFR distributions, including a dedicated BLC, LCL, and RCL optics to provide the best backlight control possible for those stringent requirements around property lines. Types 2, 3, 4, AFR, and BLC when specified and used as rotated, are factory set only. Performance tested per LM-79 and TM-15 (IESNA) certifying its photometric performance. Luminaire designed with 0% uplight (U0 per IESNA TM-15).

Mounting

Standard luminaire arm mounts to 4" O.D. round poles. Can also be used with 5" O.D. poles. Square pole adapter included with every luminaire. Round Pole Adapter (RPA) required for 3-3.9" poles. EcoForm features a retrofit arm kit. When specified with the retrofit arm (RAM) option, EcoForm seamlessly simplifies site conversions to LED by eliminating the need for additional pole drilling on most existing poles. RAM will be boxed separately. Also optional are slipfitter and wall mounting accessories. Note that only fixed mounts (AR, RAM, WS) are required to meet IDA compliance. SF mounting will not meet IDA.

Control options

0-10V dimming (DD): Access to 0-10V dimming leads supplied through back of luminaire (for secondary dimming controls by others). Cannot be used with other control options.

Dual Circuit Control (DCC): Luminaire equipped with the ability to have two separate circuits controlling drivers and light engines independently. Permits separate switching of separate modules controlled by use of two sets of leads, one for each circuit. Not recommended to be used with other control options, motion response, or photocells.

Sensor Ready Zhaga Socket Connector (SRDR): Product equipped with Sensor Ready drivers connected to 4-pin Zhaga Book 18 compliant receptacle designed for sensor and other control system applications. Receptacle is rated IP66 assembly in a compact design that provides a sealed electrical interface and rated UV resistance, mounted on underside of the luminaire, protective dust cap included. When a controller not provided by Signify is used with Sensor Ready Zhaga socket connector, the controller must be certified to work with the Xitanium SR LED drivers as part of the SR certified program. SRDR can be used with NEMA 7-pin twist lock receptacle, which is mounted on top of the luminaire.

Automatic Profile Dimming (CS/CM/CE/CA): Standard dimming profiles provide flexibility towards energy savings goals while optimizing light levels during specific dark hours. Dimming profiles include two dimming settings including dim to 30% or 50% of the total lumen output. When used in combination with not programmed motion response it overrides the controller's schedule when motion is detected. After 5 minutes with no motion, it will return to the automatic dimming profile schedule. Automatic dimming profile scheduled with the following settings:

- **CS50/CS30:** Security for 7 hours night duration (Ex., 11 PM - 6 AM)
- **CM50/CM30:** Median for 8 hours night duration (Ex., 10 PM - 6 AM)

All above profiles are calculated from mid point of the night. Dimming is set for 6 hours after the mid point and 1 or 2 hours before depending of the duration of dimming. Cannot be used with other dimming control options.

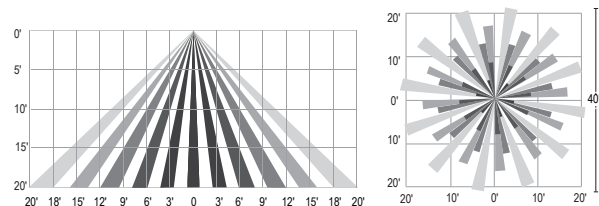
Field Adjustable Wattage Selector (FAWS): Luminaire equipped with the ability to manually adjust the wattage in the field to reduce total luminaire lumen output and light levels. Comes pre-set to the highest position at the lumen output selected. Use chart below to estimate reduction in lumen output desired. Cannot be used with other control options or motion response.

FAWS Position	Percent of Typical Lumen Output
1	25%
2	50%
3	55%
4	65%
5	75%
6	80%
7	85%
8	90%
9	95%
10	100%

Note: Typical value accuracy +/- 5%

Wireless system (LLC): Optional wireless controller integral to luminaire ready to be connected to a Lighthouse system (sold by others). The system allows you to wirelessly manage the entire site, independent lighting groups or individual luminaires while on-site or remotely. Based on a high-density mesh network with an easy to use web-based portal, you can conveniently access, monitor and manage your lighting network remotely. Wireless controls can be combined with site and area, pedestrian, and parking garage luminaires as well, for a completely connected outdoor solution. Equipped with motion response with #3 lens for 8-25' mounting heights. Also available with remote pod accessory where pod is mounted separate from luminaire to pole or wall.

LLC wireless controller with #3 lens



Motion response options

Bi-Level Infrared Motion Response (BL-IMRI): Motion Response module is mounted integral to luminaire factory pre-programmed to 50% dimming when not ordered with other control options. BL-IMRI is set/operates in the following fashion: The motion sensor is set to a constant 50%. When motion is detected by the PIR sensor, the luminaire returns to full power/light output. Dimming on low is factory set to 50% with 5 minutes default in "full power" prior to dimming back to low. When no motion is detected for 5 minutes, the motion response system reduces the wattage by 50%, to 50% of the normal constant wattage reducing the light level. Other dimming settings can be provided if different dimming levels are required. This can also be done with FSIR-100 Wireless Remote Programming Tool (contact Technical Support for details).

Infrared Motion Response with Other Controls: When used in combination with other controls (Automatic Dimming Profile), motion response device will simply override controller's schedule with the added benefits of a combined dimming profile and sensor detection. In this configuration, the motion response device cannot be re-programmed with FSIR-100 Wireless Remote Programming Tool. The profile can only be re-programmed via the controller.

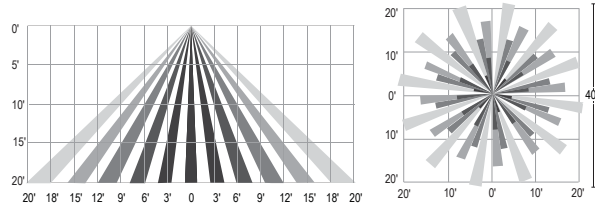
ECF-S EcoForm small

Area luminaire

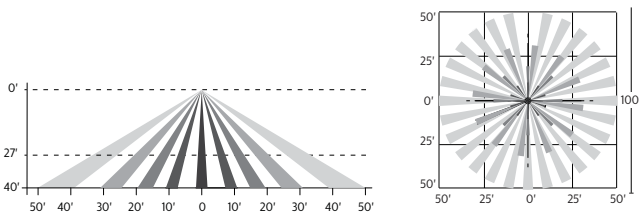
Specifications

Infrared Motion Response Lenses (IMRI3/IMRI7): Infrared Motion Response Integral module is available with two different sensor lens types to accommodate various mounting heights and occupancy detection ranges. Lens #3 (IMRI3) is designed for mounting heights up to 20' with a 40' diameter coverage area. Lens #7 is designed for higher mounting heights up to 40' with larger coverage areas up to 100' diameter coverage area. See charts for approximate detection patterns:

IMRI3 Luminaire or remote mount controller with #3 lens



IMRI7 Luminaire or remote mount controller with #7 lens



Electrical

Twist-Lock Receptacle (TLRD5/TLRD7/ TLRPC): Twist Lock Receptacle with 5 pins enabling dimming or with 7 pins with additional functionality (by others) can be used with a twistlock photoelectric cell or a shorting cap. Dimming Receptacle Type B (5-pin) and Type D-24 (7-pin) in accordance to ANSI C136.41. Can be used with third-party control system. Receptacle located on top of luminaire housing. When specifying receptacle with twistlock photoelectric cell, voltage must be specified. When ordering 7-pin Twist-lock receptacle (TLRD7), all 7 pins are wired to respective pins with the Sensor Ready (SR) driver, and photocell or shorting cap is not included. When ordering a twist-lock receptacle with a photocell (TLRPC), the receptacle used is a 5-pin receptacle, so pins 6 and 7 are not available (no SR driver). 0-10V dimming leads (pins 4 and 5) are connected if not ordered with any other dimming option.

Buy American Act of 1933 (BAA):

This product is manufactured in one of our US factories and, as of the date of this document, this product was considered a commercially available off-the-shelf (COTS) item meeting the requirements of the BAA. This BAA designation hereunder does not address (i) the applicability of, or availability of a waiver under, the Trade Agreements Act, or (ii) the "Buy America" domestic content requirements imposed on states, localities, and other non-federal entities as a condition of receiving funds administered by the Department of Transportation or other federal agencies. Prior to ordering, please visit www.signify.com/baa to view a current list of BAA-compliant products to confirm this product's current compliance.

Driver: Driver efficiency (>90% standard). 120-480V available (restrictions apply). Open/short circuit protection. All drivers are 0-10V dimming to 10% power standard, except when using Sensor Ready (SR) drivers, which uses DALI protocol (options CS50/CM50/CS30/CM30, SRDR, and TR7). Drivers are RoHS and FCC Title 47 CFR Part 15 compliant.

Button Photocontrol (PCB): Button style design for internal luminaires mounting applications. The photocontrol is constructed of a high impact UV stabilized polycarbonate housing. Rated voltage of 120V or 208-277V with a load rating of 1000 VA. The photocell will turn on with 1-4Fc of ambient light.

Surge protection (SP1/SP2): Surge protection device tested in accordance with ANSI/IEEE C62.45 per ANSI/IEEE C62.41.2 Scenario I Category C High Exposure 10kV/10kA waveforms for Line-Ground, Line-Neutral and Neutral-Ground, and in accordance with DOE MSSLC Model Specification for LED Roadway Luminaires Appendix D Electrical Immunity High test level 10kV/10kA, 20kV / 10kA surge protection device that provides extra protection beyond the SP1 10kV/10kA level.

Listings

UL/cUL wet location listed to the UL 1598 standard, suitable for use in ambient temperatures from -40° to 40°C (-40° to 104°F). Most EcoForm configurations are qualified under Premium and Standard DesignLights Consortium® categories. Consult DLC Qualified Products list to confirm your specific luminaire selection is approved. CCTs 3000K and warmer are Dark Sky Approved.

Finish

Each standard color luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) textured polyester powdercoat finish. Standard colors include bronze (BZ), black (BK), white (WH), dark gray (DGY), and medium gray (MGY). Consult factory for specs on optional or custom colors.

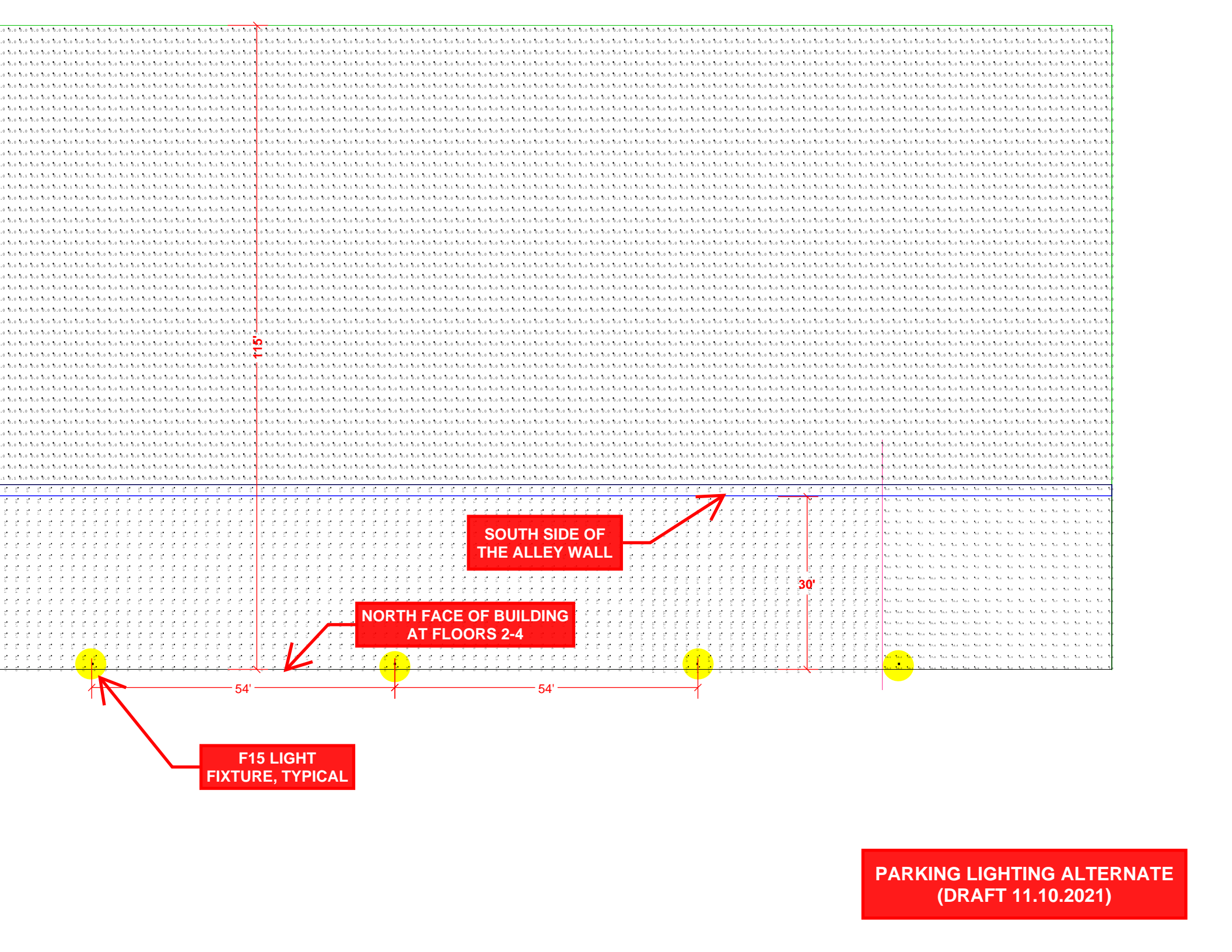
Service Tag

Each individual luminaire is uniquely identifiable, thanks to the Service tag application. With a simple scan of a QR code, placed on the inside of the mast door, you gain instant access to the luminaire configuration, making installation and maintenance operations faster and easier, no matter what stage of the luminaire's lifetime. Just download the APP and register your product right away. For more details visit: signify.com

Warranty

EcoForm luminaires feature a 5-year limited warranty. See signify.com/warranties for complete details and exclusions.





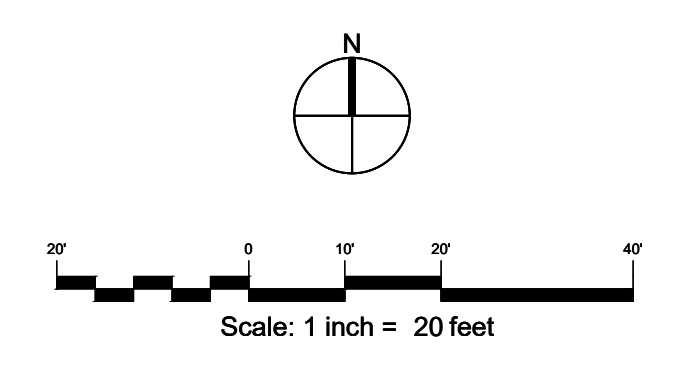
**SOUTH SIDE OF
THE ALLEY WALL**

**NORTH FACE OF BUILDING
AT FLOORS 2-4**

**F15 LIGHT
FIXTURE, TYPICAL**

**PARKING LIGHTING ALTERNATE
(DRAFT 11.10.2021)**

RESERVED FOR CITY STAMP



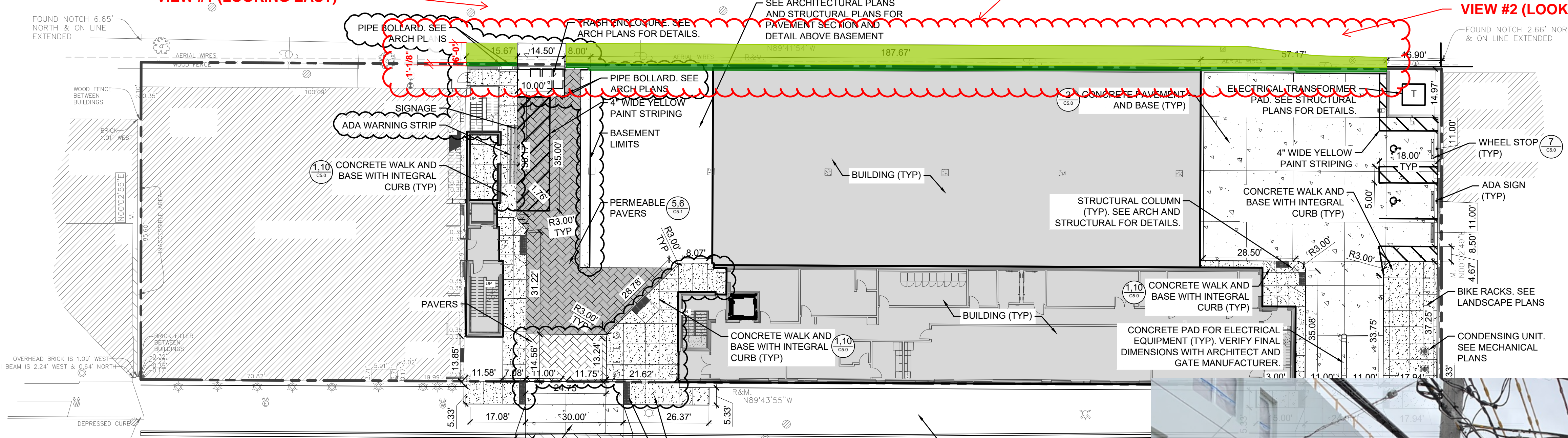
- LEGEND:**
- PROPERTY LINE
 - [Hatched Box] BUILDING
 - [Stippled Box] CONCRETE PAVEMENT AND BASE
 - [Dotted Box] CONCRETE WALK AND BASE
 - [Cross-hatched Box] PAVERS
 - [Diagonal-hatched Box] PERMEABLE PAVERS
 - [Double Line] CONCRETE CURB AND GUTTER
 - [Single Line] CONCRETE BARRIER CURB
 - [Trough-hatched Box] DEPRESSED CURB

LANDSCAPE LEGEND:
 PROPOSED EXTENSION TO ALLEY PAVEMENT [Green Box]
 PERMITTED [Green Box]

LOCATION OF PROPOSED EXTENSION OF LANDSCAPING TO ALLEY PAVEMENT

VIEW #1 (LOOKING EAST)

VIEW #2 (LOOKING WEST)



VIEW #1 (LOOKING EAST)



VIEW #2 (LOOKING WEST)

COORDINATE RIGHT OF WAY IMPROVEMENTS INCLUDING DRIVEWAY ENTRANCES, SIDE LANDSCAPE, AND TREE LOCATIONS WITH HOWARD STREET STREETSCAPE PROJECT

DATE	ISSUED FOR
11/15/2021	LANDSCAPE EXTENSION FOR ZONING REVIEW
09/16/2021	RE-ISSUED FOR CONSTRUCTION
09/29/2020	ISSUED FOR CONSTRUCTION
05/28/2020	ISSUED FOR CORRECTIONS - 2
05/28/2020	ISSUED FOR IHDA REVIEW
05/08/2020	ISSUED FOR COORDINATION
04/24/2020	ISSUED FOR CORRECTIONS - 1
03/12/2020	ISSUED FOR PERMIT / IHDA
01/23/2020	100% DESIGN DEVELOPMENT
09/06/2019	100% SCHEMATIC DESIGN
	DATE ISSUED FOR

CLIENT/DEVELOPER
EVERGREEN
 Real Estate Group
 566 W Lake Street, Suite 400
 Chicago, IL 60661-1414
 P: 312-234-9400
 www.evergreenreg.com

DESIGN TEAM
UrbanWorks
 ARCHITECTURE INTERIORS PLANNING
 ARCHITECT OF RECORD
 125 S Clark Street, Suite 2070
 Chicago, IL 60603
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 www.urbanworksarchitecture.com

CIVIL ENGINEER
Terra Engineering, LRD
 225 W Ohio Street, 4th Floor
 Chicago, IL 60654
 P: 847-299-4848
 www.terraengineering.com

LANDSCAPE ARCHITECT
Kettelkamp + Kettelkamp
 1315 Sherman Place
 Evanston, IL 60201
 P: 847-905-1281
 www.kettelkamp2.com

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 175 North Franklin Street, Suite 410
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 www.cba-se.com

MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION
DYNACEPT, INC.
 2250 E Devon Avenue, Suite 218
 Des Plaines, IL 60018
 P: 847-299-4848
 www.dynaceptinc.com

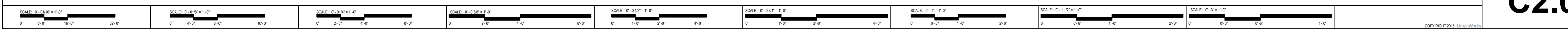
CONSTRUCTION MANAGEMENT
Evergreen Construction
 217 N Jefferson Street, Suite 450
 Chicago, IL 60661-1414
 P: 312-477-7467
 www.evergreencm.net

PROJECT NAME
 EVERGREEN SENIOR HOUSING
PROJECT ADDRESS
 999-1015 HOWARD ST.
 EVANSTON, IL 60202

DRAWING TITLE
 SITE DIMENSION PLAN

SHEET #

C2.00



RESERVED FOR CITY STAMP

11/15/2021	LANDSCAPE EXTENSION FOR ZONING REVIEW
09/29/2020	ISSUED FOR CONSTRUCTION
09/14/2020	ISSUED FOR IHDA REVIEW - 3
08/24/2020	ISSUED FOR FINANCIAL RESPONSE - 1
08/07/2020	ISSUED FOR IHDA CORRECTIONS - 1
06/24/2020	ISSUED FOR CORRECTIONS - 3
05/28/2020	ISSUED FOR CORRECTIONS - 2
05/28/2020	ISSUED FOR IHDA REVIEW
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09/06/2019	100% SCHEMATIC DESIGN
DATE	ISSUED FOR

CLIENT/DEVELOPER
EVERGREEN
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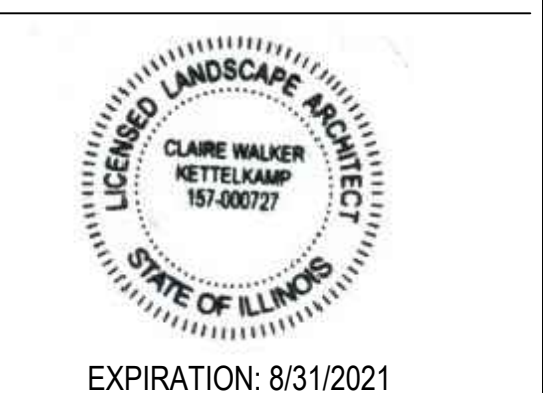
DESIGN TEAM
UrbanWorks
 ARCHITECTURE INTERIORS PLANNING
 ARCHITECT OF RECORD
 125 S Clark Street, Suite 2070
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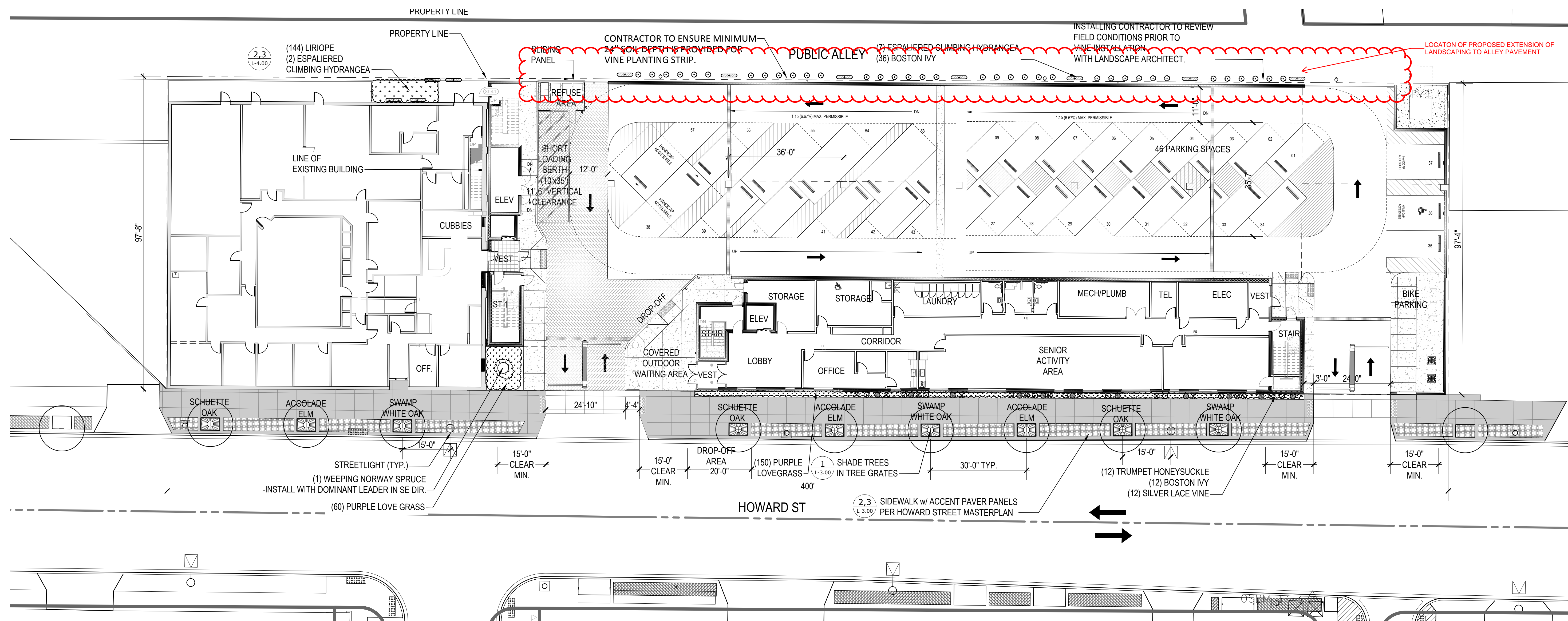
MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION
DYNACEPT, INC.
 2250 E Devon Avenue, Suite 218
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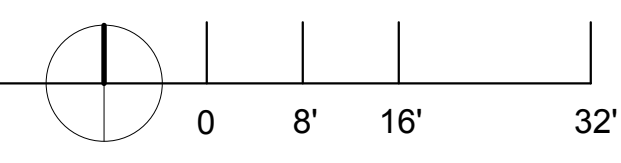
CONSTRUCTION MANAGEMENT
Evergreen Construction
 217 N Jefferson Street, Suite 450
 Chicago, IL 60661-1414
 P: 312-477-7467
 www.evergreencm.net

PROJECT NAME
EVERGREEN SENIOR HOUSING
 PROJECT ADDRESS
 1011 HOWARD ST.
 EVANSTON, IL 60202
 DRAWING TITLE
LANDSCAPE PLAN
 PLANTING PLAN
 SHEET #

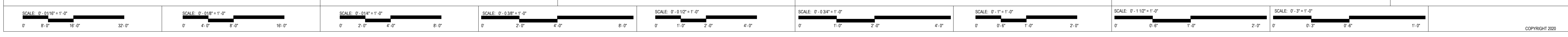
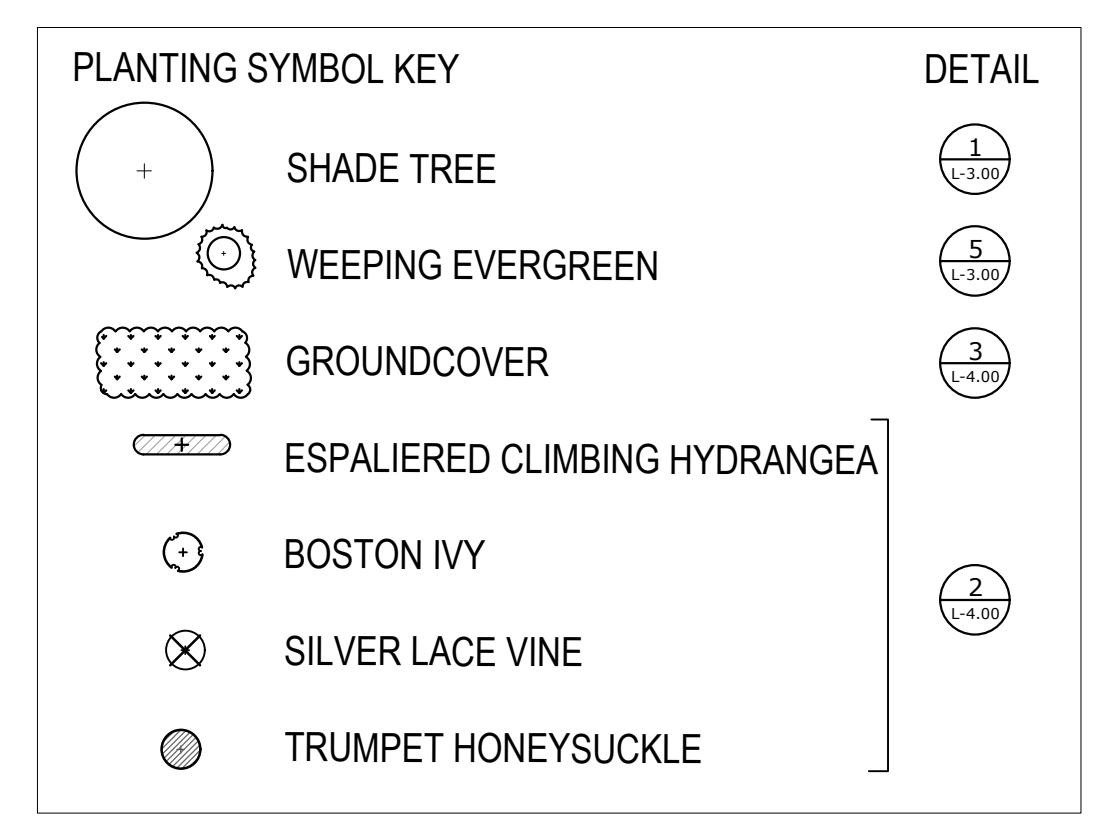
L1.00



1 LANDSCAPE PLAN
 SCALE = 1/8" = 1'-0"



Evergreen Senior Housing: Plant Schedule					
Quantity	Botanic Name	Common Name	Size	Spacing	Notes
Trees & Shrubs-					
3	Quercus bicolor	Swamp White Oak	4" bb	30' o.c.	Native
3	Quercus x Schuettii	Schuette's Oak	4" bb	30' o.c.	Native, naturally occurring hybrid
3	Ulmus x Accolade	Accolade Hybrid Elm	4" bb	30' o.c.	
1	Picea abies 'Pendula'	Weeping Norway Spruce	6 ft. heavy	as noted	
Perennials, Groundcovers & Vines-					
9	Hydrangea anomala petiolaris	Climbing Hydrangea	6 ft. espaliered	as noted	Native, drought tolerant
12	Lonicera sempervirens	Trumpet Honeysuckle	5 gallon staked	3' o.c.	
48	Parthenocissus tricuspidata	Boston Ivy	5 gallon staked	3' o.c.	
12	Polygonum aubertii	Silver Lace Vine	5 gallon staked	3' o.c.	
210	Eragrostis spectabilis	Purple Lovegrass	1 gallon	18" o.c.	Native, drought tolerant
144	Liriope spicata	Lilyturf	1 quart	12" o.c.	



RESERVED FOR CITY STAMP

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09.29.2020	ISSUED FOR CONSTRUCTION
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08.07.2020	ISSUED FOR IHDA CORRECTIONS - 1
06.24.2020	ISSUED FOR CORRECTIONS - 3
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01.23.2020	100% DESIGN DEVELOPMENT
09.06.2019	100% SCHEMATIC DESIGN
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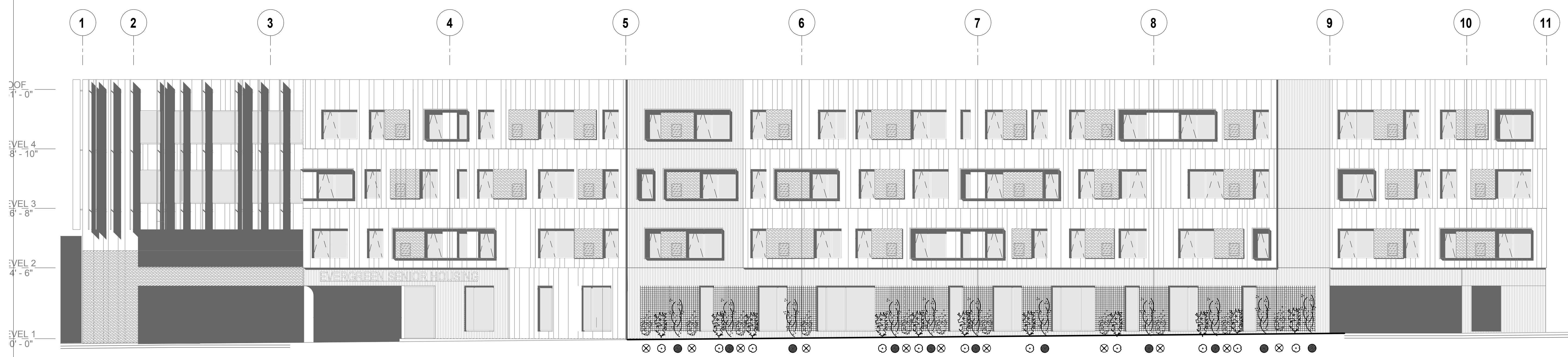
LANDSCAPE ARCHITECT
 CLAIRE WALKER
 KETTELKAMP
 157-400727
 STATE OF ILLINOIS
 EXPIRATION: 8/31/2021

CONSTRUCTION MANAGEMENT
Evergreen Construction
 217 N Jefferson Street, Suite 450
 Chicago, IL 60661-1414
 P: 312-477-7467
 www.evergreencm.net

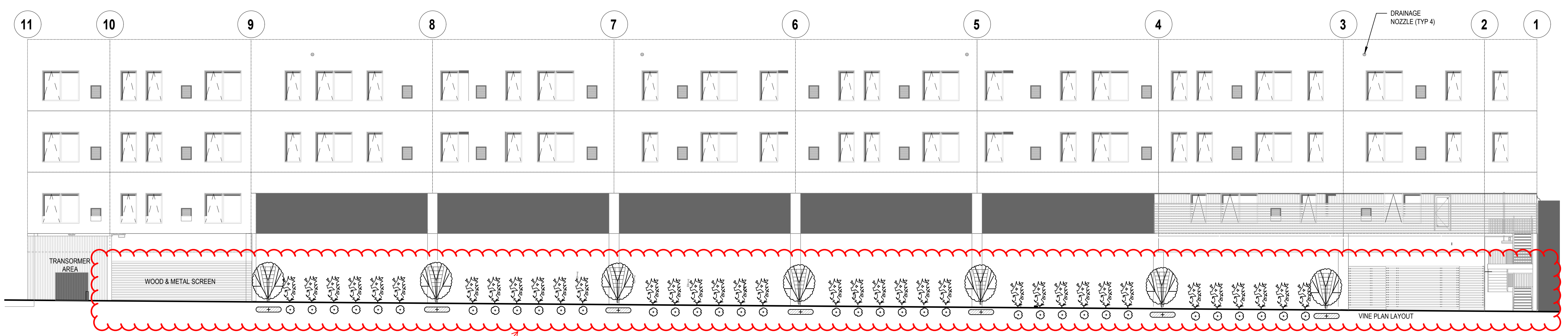
PROJECT NAME
 EVERGREEN SENIOR HOUSING
PROJECT ADDRESS
 1011 HOWARD ST.
 EVANSTON, IL 60202

DRAWING TITLE
 EXTERIOR ELEVATIONS
 PLANTING PLAN

SHEET #
L2.00



1 SOUTH ELEVATION
 L-2.00 SCALE = 1/16" = 1'-0"



2 NORTH ELEVATION
 L-2.00 SCALE = 1/16" = 1'-0"

LOCATION OF PROPOSED EXTENSION OF LANDSCAPING TO ALLEY PAVEMENT

GREEN WALL KEY

TRELLIS (1/4-00)

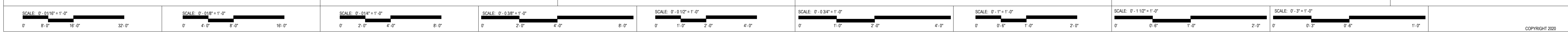
PLANTING SYMBOL KEY (2/1-000)

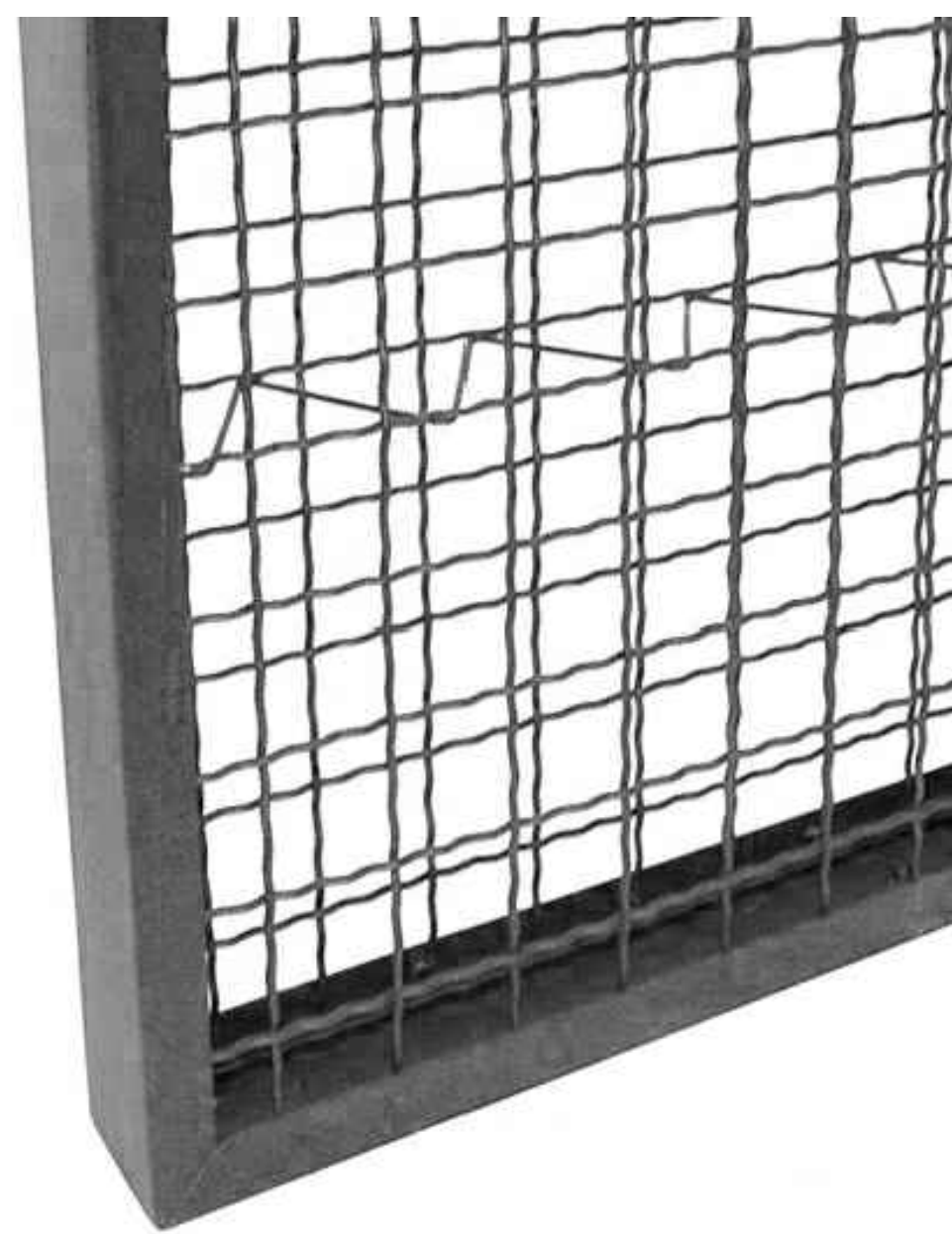
- ESPALIERS CLIMBING HYDRANGEA
- BOSTON IVY
- SILVER LACE VINE
- TRUMPET HONEYSUCKLE



Note: Call 811 at least 48 hours, excluding weekends and holidays, before you dig.

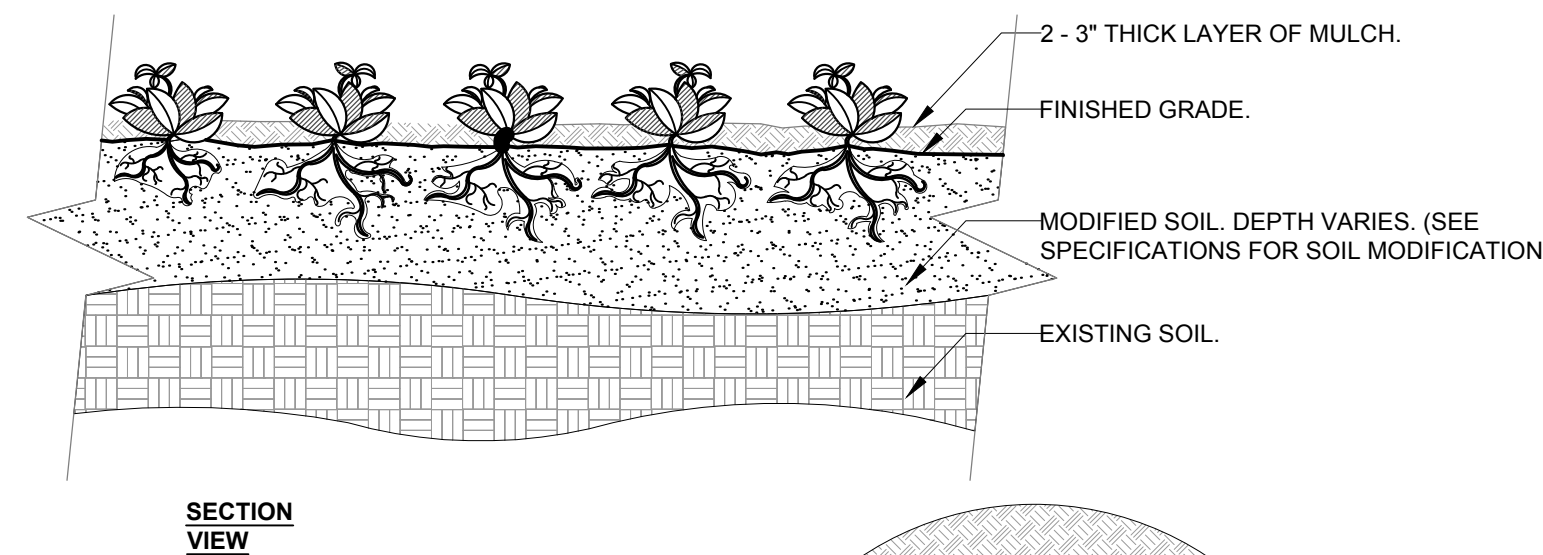
KEYNOTES	LEGEND	GENERAL NOTES	KEY PLAN



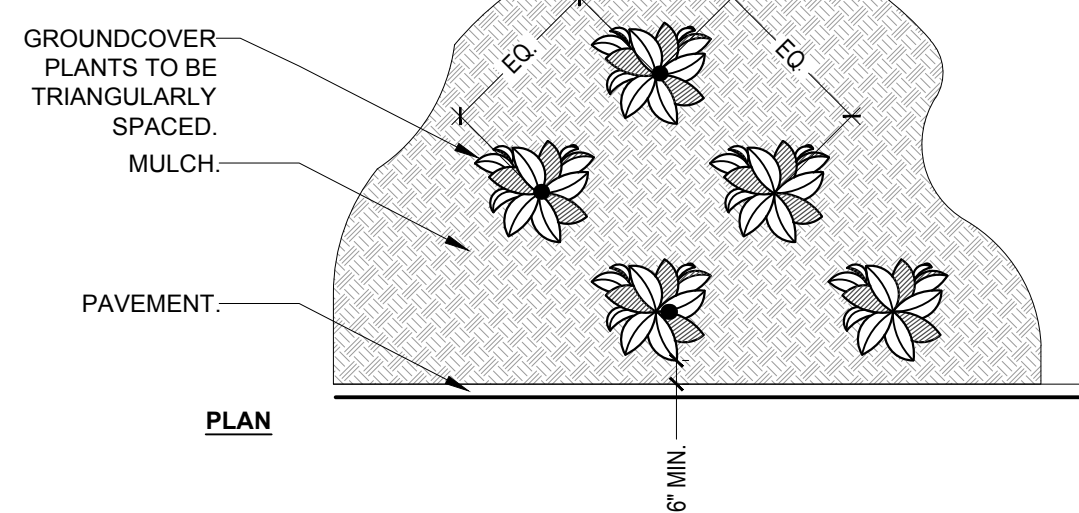


MCNICHOLS® ECO-MESH® WIRE MESH PANELS (48"x96")
 GALVANNEALED STEEL POWDER COATED TEXTURED FINISH
 WOVEN - INTERCRIMP WEAVE, 1515 CRIMP STYLE
 2" X 2" MESH (SQUARE)
 1.8650" X 1.8650" OPENING (SQUARE)
 0.135" THICK (10 GAUGE) WIRE DIAMETER
 0.105" THICK (12 GAUGE) BRIDGE WIRE DIAMETER SPACED 18" ON CENTER
 3" CHANNEL WIDTH WITH 1" RETURN - 16 GAUGE (.0635" THICK)
 87% OPEN AREA
 FOUR MOUNTING BRACKETS (POWDER COATED TEXTURED BLACK)
 & EIGHT STAINLESS STEEL BOLTS, WASHERS, AND NUTS INCLUDED

1 ECO-MESH
 L-4.00 SCALE N.T.S.



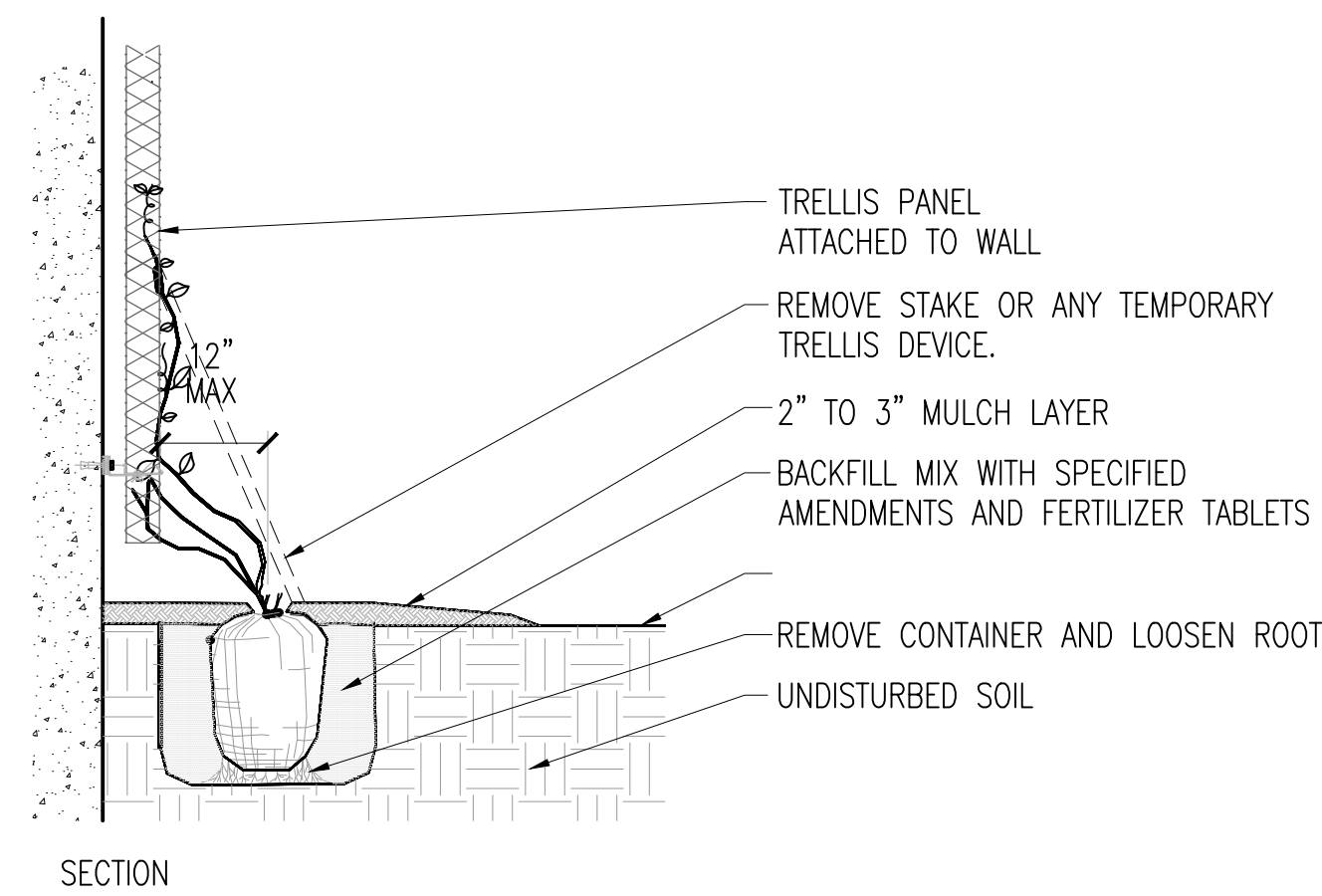
- NOTES:
 1. SEE PLANTING LEGEND FOR GROUNDCOVER SPECIES, SIZE, AND SPACING DIMENSION.
 2. SMALL ROOTS (1/2" OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A
 3. NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY CAN BE REMOVED AT THE TIME OF PLANTING. (SEE ROOT BALL SHAVING CONTAINER DETAIL).
 4. SETTLE SOIL AROUND ROOT BALL OF EACH GROUNDCOVER PRIOR TO MULCHING.



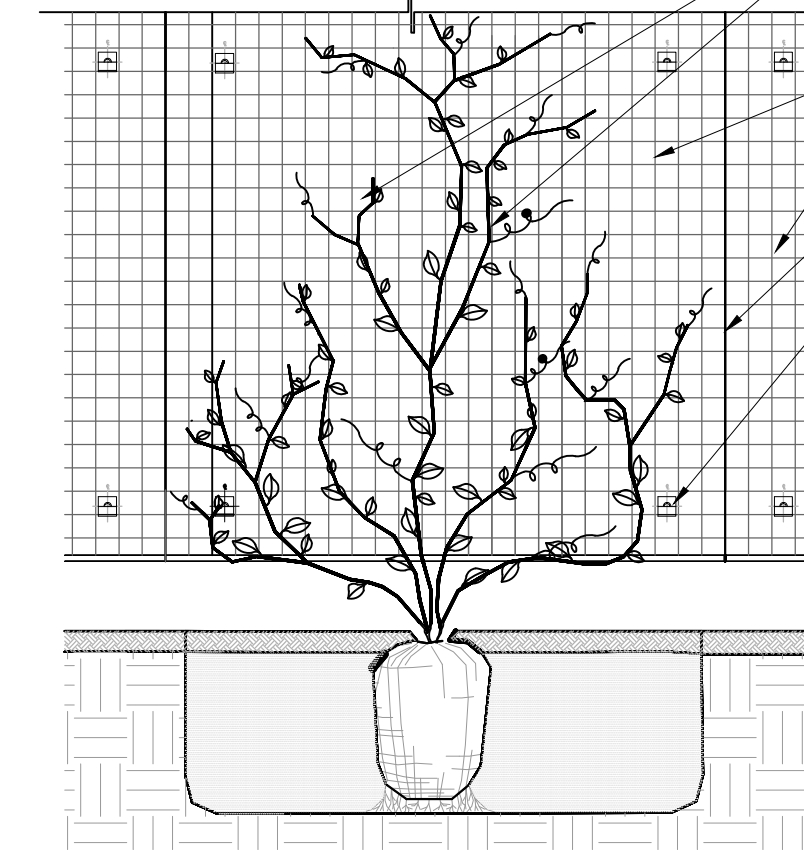
Know what's **below.**
 Call before you dig.

Note: Call 811 at least 48 hours, excluding weekends and holidays, before you dig.

3 GROUNDCOVER PLANTING DETAIL
 L-4.00 SCALE N.T.S.



SECTION



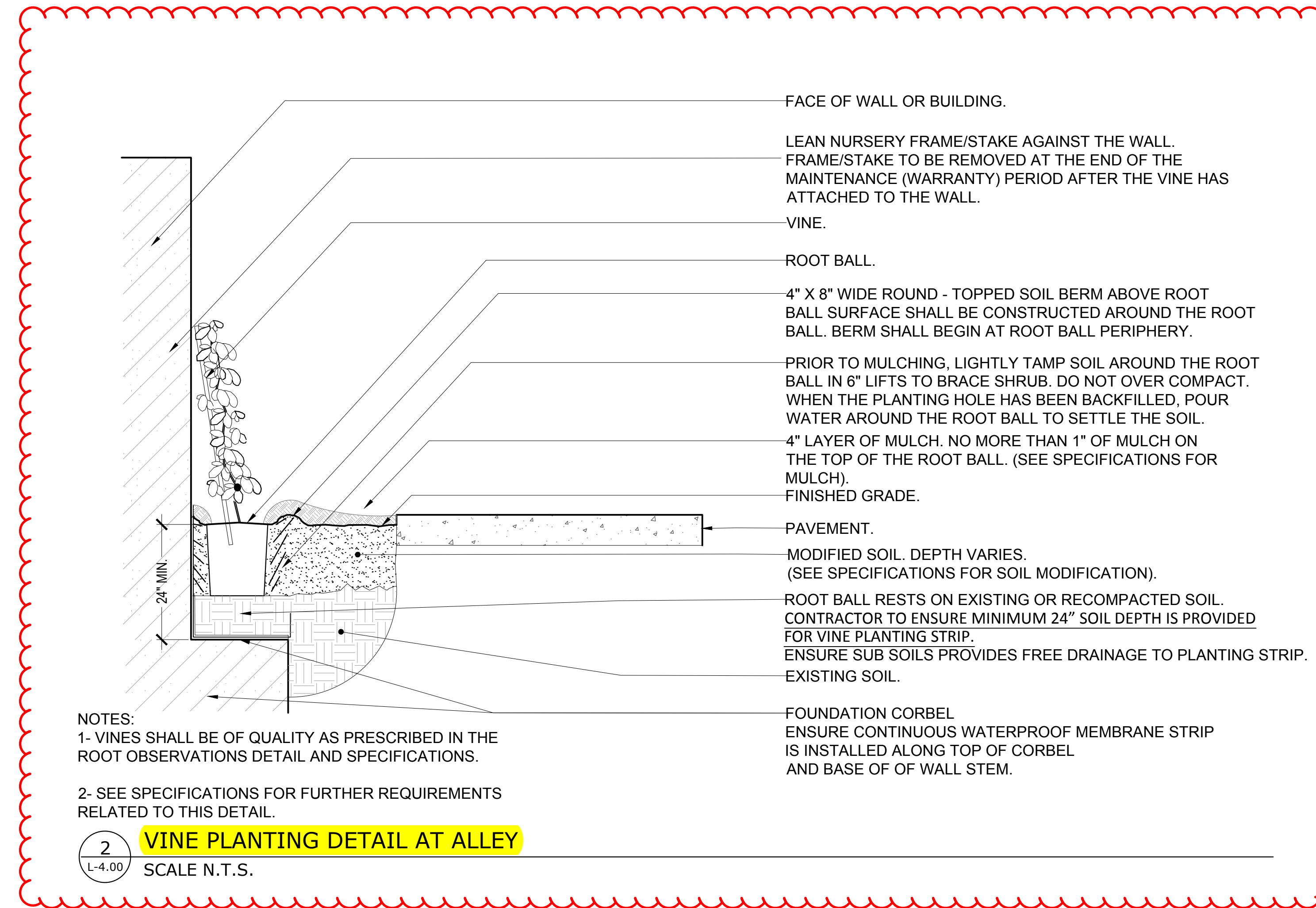
ELEVATION

WEAVE VINE BRANCHES INTO SCREEN, STARTING AT BOTTOM. TIE LARGER BRANCHES LOOSELY TO SCREEN, IF NECESSARY W/ BIO-DEGRADABLE TIES.

GENERAL NOTES:

- PLANT VINES PER LANDSCAPE PLANS. TYPICAL SPACING VARIES FROM 1' TO 4' O.C. DEPENDING ON VINE SPECIES AND CONTAINER SIZE.

4 VINE PLANTING DETAIL - WALL MOUNTED
 L-4.00 SCALE 3/4" = 1'-0"



- NOTES:
 1- VINES SHALL BE OF QUALITY AS PRESCRIBED IN THE ROOT OBSERVATIONS DETAIL AND SPECIFICATIONS.
 2- SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

2 VINE PLANTING DETAIL AT ALLEY
 L-4.00 SCALE N.T.S.

RESERVED FOR CITY STAMP

11/15/2021	LANDSCAPE EXTENSION FOR ZONING REVIEW
09.29.2020	ISSUED FOR CONSTRUCTION
09.14.2020	ISSUED FOR IHDA REVIEW - 3
08.24.2020	ISSUED FOR FINANCIAL RESPONSE - 1
08.07.2020	ISSUED FOR IHDA CORRECTIONS - 1
06.24.2020	ISSUED FOR CORRECTIONS - 3
05.28.2020	ISSUED FOR CORRECTIONS - 2
05.28.2020	ISSUED FOR IHDA REVIEW
05.08.2020	ISSUED FOR COORDINATION
04.24.2020	ISSUED FOR CORRECTIONS - 1
03.12.2020	ISSUED FOR PERMIT / IHDA
01.23.2020	100% DESIGN DEVELOPMENT
09.06.2019	100% SCHEMATIC DESIGN
DATE	ISSUED FOR

CLIENT/DEVELOPER
EVERGREEN
 Real Estate Group
 566 W Lake Street, Suite 400
 Chicago, IL 60661-1414
 P: 312-234-9400
 www.evergreenreg.com

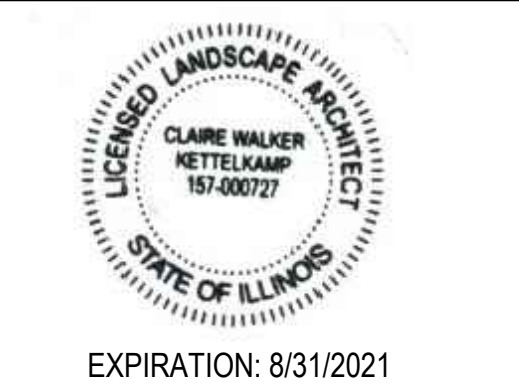
DESIGN TEAM
UrbanWorks
 ARCHITECTURE INTERIORS PLANNING
 ARCHITECT OF RECORD
 125 S Clark Street, Suite 2070
 Chicago, IL 60603
 P: 312-202-1200
 www.urbanworksarchitecture.com

CIVIL ENGINEER
Terra Engineering, LRD
 225 W Ohio Street, 4th Floor
 Chicago, IL 60654
 P: 847-299-4848
 www.terraengineering.com

LANDSCAPE ARCHITECT
Kettelkamp + Kettelkamp
 1315 Sherman Place
 Evanston, IL 60201
 P: 847-905-1281
 www.kettelkamp2.com

STRUCTURAL ENGINEER
CE Anderson & Associates
 175 North Franklin Street, Suite 410
 Chicago, IL 60610
 P: 312-750-1701
 www.caa-se.com

MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION
DYNACEPT, INC.
 2250 E Devon Avenue, Suite 218
 Des Plaines, IL 60018
 P: 847-299-4848
 www.dynaceptinc.com



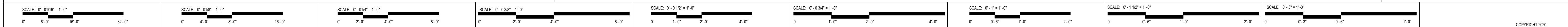
CONSTRUCTION MANAGEMENT
Evergreen Construction
 217 N Jefferson Street, Suite 450
 Chicago, IL 60661-1414
 P: 312-477-7467
 www.evergreencon.net

PROJECT NAME
EVERGREEN SENIOR HOUSING
 PROJECT ADDRESS
 1011 HOWARD ST.
 EVANSTON, IL 60202

DRAWING TITLE
PLANTING DETAILS

SHEET #
L4.00

KEYNOTES	LEGEND	GENERAL NOTES	KEY PLAN



212846



2016947038

Doc# 2016947038 Fee \$88.00

RHSP FEE:\$9.00 RPRF FEE: \$1.00

EDWARD M. MOODY

COOK COUNTY RECORDER OF DEEDS

DATE: 06/17/2020 01:05 PM PG: 1 OF 27

8-O-20

An Ordinance

Granting a Special Use Permit for a Planned Development

Located at 999-1015 Howard Street in the B2 Business District

12/18/2019

8-O-20

AN ORDINANCE

**Granting a Special Use Permit for a Planned Development
Located at 999-1015 Howard Street in the B2 Business District**

WHEREAS, the City of Evanston is a home-rule municipality pursuant to Article VII of the Illinois Constitution of 1970; and

WHEREAS, as a home rule unit of government, the City has the authority to adopt ordinances and to promulgate rules and regulations that protect the public health, safety, and welfare of its residents; and

WHEREAS, Article VII, Section (6)a of the Illinois Constitution of 1970, which states that the "powers and functions of home rule units shall be construed liberally," was written "with the intention that home rule units be given the broadest powers possible" (*Scadron v. City of Des Plaines*, 153 Ill.2d 164); and

WHEREAS, it is a well-established proposition under all applicable case law that the power to regulate land use through zoning regulations is a legitimate means of promoting the public health, safety, and welfare; and

WHEREAS, Division 13 of the Illinois Municipal Code (65 ILCS 5/11-13-1, *et seq.*) grants each municipality the power to establish zoning regulations; and

WHEREAS, pursuant to its home rule authority and the Illinois Municipal Code, the City has adopted a set of zoning regulations, set forth in Title 6 of the Evanston City Code of 1979, as amended, ("the Zoning Ordinance"); and

WHEREAS, David Block, Director of Development for Evergreen Real Estate Group, and representative of 1015 Howard LP (the "Applicant") located at 999-

1015 Howard Street, Evanston, Illinois (the "Subject Property"), legally described in Exhibit A, which is attached hereto and incorporated herein by reference, applied, pursuant to the provisions of the Zoning Ordinance, specifically, Section 6-3-6, "Planned Developments," to permit the construction and operation of a Planned Development located at the Subject Property in the B2 Business District ("B2 District"); and

WHEREAS, the Applicant sought approval to construct a four (4) story, 73,017 square foot addition to the existing CJE Senior Life building, with sixty (60) affordable dwelling units for seniors, and fifty-five (55) parking spaces; and

WHEREAS, construction of the Planned Development, as proposed in the application, requires exception from the strict application of the Zoning Ordinance with regards to building height, number of parking spaces, interior yard setback, rear yard setback, and loading zone vertical clearance; and

WHEREAS, pursuant to Subsection 6-3-6-5 of the Zoning Ordinance, the City Council may grant Site Development Allowances to the normal district regulations established in the Zoning Ordinance; and

WHEREAS, on December 11, 2019, in compliance with the provisions of the Illinois Open Meetings Act (5 ILCS 120/1 *et seq.*) and the Zoning Ordinance, the Plan Commission held a public hearing on the application for a Special Use Permit for a Planned Development, case no. 19PLND-0012, heard extensive testimony and public comment, received other evidence, and made written minutes, findings, and recommendations; and

WHEREAS, the Plan Commission's written findings state that the application for the proposed Planned Development does not meet applicable standards

set forth for Planned Developments in the B2 Zoning District per Subsection 6-9-3-3 and 6-9-1-9 of the Zoning Ordinance; and

WHEREAS, the Plan Commission recommended the City Council approve the application; and

WHEREAS, on January 13, 2019, the Planning and Development ("P&D") Committee of the City Council held meetings, in compliance with the provisions of the Open Meetings Act and the Zoning Ordinance, received input from the public, carefully considered and adopted the findings and recommendations of the Plan Commission, and recommended approval thereof by the City Council; and

WHEREAS, at its meetings of January 13, 2020 and January 27, 2019, held in compliance with the Open Meetings Act and the Zoning Ordinance, the City Council considered the recommendation of the P&D Committee, the Applicant's application, received additional public comment, made certain findings, and adopted said recommendation; and

WHEREAS, it is well-settled law that the legislative judgment of the City Council must be considered presumptively valid (see *Glenview State Bank v. Village of Deerfield*, 213 Ill.App.3d 747 (1991)) and is not subject to courtroom fact-finding (see *National Paint & Coating Ass'n v. City of Chicago*, 45 F.3d 1124 (7th Cir. 1995)),

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EVANSTON, COOK COUNTY, ILLINOIS, THAT:

SECTION 1: The foregoing recitals are hereby found as facts and incorporated herein by reference.

SECTION 2: Pursuant to the terms and conditions of this ordinance, the City Council hereby grants the Special Use Permit applied for in case no. 19PLND-0012, to allow construction and operation of the Planned Development described herein.

SECTION 3: The City Council hereby grants the following Site Development Allowances:

- (A) **Building Height:** A Site Development Allowance is hereby granted for an approximately fifty-one (51) feet maximum building height, whereas subsection 6-9-3-8 of the Zoning Ordinance requires a maximum allows building height of forty-five (45) feet in the B2.
- (B) **Parking Spaces:** A Site Development Allowance is hereby granted permitting fifty-five (55) parking spaces, whereas table 16-B of subsection 6-16-3-5 of the Zoning Ordinance requires a minimum of sixty-nine (69) parking spaces.
- (C) **Interior Yard Setback:** A Site Development Allowance is hereby granted permitting an interior yard setback of zero (0) feet from the Subject Property line, whereas subsection 6-9-3-7(F) of the Zoning Ordinance requires a minimum of a five (5) foot interior yard setback from the Subject Property line for this building in the B2 District.
- (D) **Rear Yard Setback:** A Site Development Allowance is hereby granted permitting a rear yard setback of zero (0) feet from the Subject Property line, whereas subsection 6-9-3-7(G) of the Zoning Ordinance requires a minimum of a fifteen (15) foot rear yard setback from the Subject Property line for this building in the B2 District.
- (E) **Loading Area:** A Site Development Allowance is hereby granted permitting a loading area with a vertical clearance of eleven (11) feet ten (10) inches, whereas subsection 6-16-4-5 of the Zoning Ordinance requires all loading areas to have a vertical clearance of at least fourteen (14) feet.

SECTION 4: Pursuant to Subsection 6-3-5-12 of the Zoning Ordinance, the City Council imposes the following conditions on the Special Use Permit granted hereby, which may be amended by future ordinance(s), and violation of any of which

shall constitute grounds for penalties or revocation of said Special Use Permit pursuant to Subsections 6-3-10-5 and 6-3-10-6 of the Zoning Ordinance:

- (A) **Compliance with Applicable Requirements:** The Applicant shall develop and operate the Planned Development authorized by the terms of this ordinance in substantial compliance with: the terms of this ordinance; the Site and Landscape Plans in Exhibits D and E, attached hereto and incorporated herein by reference; all applicable legislation; the Applicant's testimony and representations to the Design and Project Review Committee, the Plan Commission, the P&D Committee, and the City Council; and the approved documents on file in this case.
- (B) **Continued Design Development:** The applicant shall continue to work with staff on design details on the east and west building elevations.
- (C) **Construction Management Plan:** The Applicant shall sign and agree to a Construction Management Plan (CMP) with the City of Evanston prior to issuance of the Building Permit. The CMP shall include but is not limited to the following: construction phasing/staging plans; construction hours; site access including traffic and pedestrian safety plans; contractor parking; damage control and vibration monitoring; construction exhibits; project communication and signage.
- (D) **Waste:** Prior to issuance of building permit, the Applicant shall develop and obtain the Director of the Public Works Agency's approval of a garbage and waste management plan for the subject property.
- (E) **Landscape Plan:** Prior to issuance of building permit, the Applicant shall develop and obtain the Director of the City's Public Works Agency's approval of a revised Landscape Plan with a tree list.
- (F) **Snow:** Prior to issuance of building permit, the Applicant shall develop and obtain the Director of the Public Works Agency's approval of a snow removal management plan for the subject property.
- (G) **Update to Plans:** The Applicant shall update the plans for the project to show the public sidewalk extending through the driveways off Howard Street.
- (H) **Construction Schedule:** Pursuant to Subsection 6-9-1-9(A)(4) of the Zoning Ordinance, the planned development shall be completed within two (2) years of the issuance of the special use permit for the planned development.
- (I) **Recordation:** Pursuant to Subsection 6-3-6-10 of the Zoning Ordinance, the Applicant shall, at its cost, record a certified copy of this ordinance, including all exhibits attached hereto, with the Cook County Recorder of Deeds, and provide proof of such recordation to the City, before the City may issue any permits pursuant to the Planned Development authorized by the terms of this ordinance.

SECTION 5: When necessary to effectuate the terms, conditions, and purposes of this ordinance, "Applicant" shall be read as "Applicant's tenants, agents, assigns, and successors in interest."

SECTION 6: This ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

SECTION 7: Except as otherwise provided for in this ordinance, all applicable regulations of the Zoning Ordinance and the entire City Code shall apply to the Subject Property and remain in full force and effect with respect to the use and development of the same. To the extent that the terms and provisions of any of said documents conflict with the terms herein, this ordinance shall govern and control.

SECTION 8: All ordinances or parts of ordinances that are in conflict with the terms of this ordinance are hereby repealed.

SECTION 9: If any provision of this ordinance or application thereof to any person or circumstance is ruled unconstitutional or otherwise invalid, such invalidity shall not affect other provisions or applications of this ordinance that can be given effect without the invalid application or provision, and each invalid provision or invalid application of this ordinance is severable.

SECTION 10: The findings and recitals herein are hereby declared to be prima facie evidence of the law of the City and shall be received in evidence as provided by the Illinois Compiled Statutes and the courts of the State of Illinois.

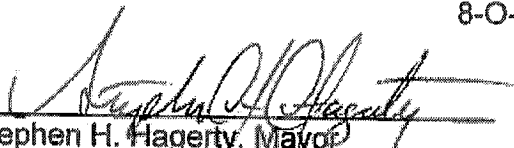
Introduced: January 13, 2020

Approved:

Adopted: January 21, 2020


_____, 2020

8-0-20



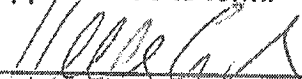
Stephen H. Hagerty, Mayor

Attest:



Devon Reid, City Clerk
Eduardo Gomez, Deputy City Clerk

Approved as to form:



Kelley Gandurski, Corporation Counsel

EXHIBIT A**Legal Description**

LOTS 3 TO 18, BOTH INCLUSIVE, IN GRANT AND GRANT'S HOWARD RIDGE ADDITION TO EVANSTON, BEING A SUBDIVISION OF LOT 1 (EXCEPT THE SOUTH 43 FEET DEEDED TO THE CITY OF EVANSTON FOR HOWARD STREET) IN CORRECTION PLAT OF SUBDIVISION OF LOT 9 (EXCEPT THE NORTH 24 FEET THEREOF) IN COUNTY CLERK'S DIVISION OF UNSUBDIVIDED LANDS IN THE NORTHWEST 1/4 OF LOT 13 IN COUNTY CLERK'S DIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 41 NORTH, RANGE 14 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PINs: ~~11-30-12-057-0000;~~ 122-057-0000
~~11-30-12-042-0000;~~ 122-042-0000
~~11-30-12-043-0000;~~ 122-043-0000
~~11-30-12-044-0000;~~ 122-044-0000
~~11-30-12-045-0000;~~ 122-045-0000
~~11-30-12-046-0000;~~ 122-046-0000
~~11-30-12-047-0000;~~ 122-047-0000
11-30-122-048-0000;
11-30-122-049-0000;
11-30-122-050-0000;
11-30-122-051-0000;
11-30-122-052-0000;
11-30-122-053-0000

COMMONLY KNOWN As: 999-1015 Howard Street

EXHIBIT B
Development Plans



cje SeniorLife

SPONSOR:
CJE SENIOR LIFE
990 W LAKE ST, SUITE 400, CHICAGO, IL 60681
P: 773.598.4000
WWW.CJENET.NET
CONTACT: THOMAS LOCKWOOD



EVERGREEN
Real Estate Group

DEVELOPER:
EREG DEVELOPMENT LLC
590 W LAKE ST, SUITE 400, CHICAGO, IL 60681
P: 312.234.9400
WWW.EVERGREEN.COM
CONTACT: DAVID BLOK, DIRECTOR OF DEVELOPMENT

UrbanWorks

ARCHITECT:
URBANWORKS
ARCHITECTURE INTERIORS AND PLANNING
25 S CLARK ST, SUITE 2070, CHICAGO, IL 60603
P: 312.262.7200
WWW.URBANWORKSARCHITECTURE.COM
CONTACT: ROBERT NATRE, PRINCIPAL

DRAWING INDEX	
COVER	
1	DEVELOPMENT BOUNDARY
2	SITE LOCATION MAP
3	SITE SURROUNDING IMAGES
4	AMENITIES MAP
5	AMENITIES LIST
6	PRELIMINARY LANDSCAPE PLAN
7	LOWER LEVEL PLAN
8	SITE PLAN AND FIRST FLOOR PLAN
9	SECOND FLOOR PLAN
10	THIRD AND FOURTH FLOOR PLAN
11	ENLARGED UNIT PLANS
12	BUILDING MASS SECTIONS
13	BUILDING SECTION DIAGRAM
14	ELEVATIONS
15	EXTERIOR RENDERING - SOUTH FACADE
16	EXTERIOR RENDERING - SOUTH FACADE
17	EXTERIOR RENDERING - NORTH FACADE
18	WALL SECTION

REV: 5
12.3.12019

LOT AREA = 400' X 97.75' = 39,120 SF
75,017 / 39,120 = 1.87 FAR (MAX PERMITTED FAR 2.0)

SF BREAKDOWN BY FLOOR	
LOWER	= 897 GSF
LEVEL 1	= 6,736 GSF +8,900
LEVEL 2	= 16,732 GSF
LEVEL 3	= 19,876 GSF
LEVEL 4	= 19,876 GSF
TOTAL	= 73,017 GSF

CODE AND PROJECT DATA	
SITE AREA	= APPROX. 39,120 SF
ZONING	= REZONED TO UNDERLYING B2 WITH PLANNED DEVELOPMENT
PARKING	= 65 PARKING SPACES TOTAL BY LEVEL: UPPER DECK: 20 LOWER DECK: 35
BUILDING AREA BREAKDOWN	
TOTAL IMPROVEMENTS	= 70,578 SF
RESIDENTIAL	= 61,675 SF
COMMERCIAL	= 8,900 SF
TOTAL DWELLING UNITS	= 60
DWELLING UNITS - 1 BED (64 UNITS)	
10% ACCESSIBLE 1 BED UNITS - 6 UNITS	
20% ADAPTABLE 1 BED UNITS - 12 UNITS	
2% SENIOR 1 BED UNITS - 1 UNIT	
DWELLING UNITS - 2 BED (6 UNITS)	
10% ACCESSIBLE 2 BED UNITS - 1 UNIT	
20% ADAPTABLE 2 BED UNITS - 2 UNITS	
2% SENIOR 2 BED UNITS - 1 UNIT	

DATE 12/31/2019: ISSUE FOR CCPCD - REVISION 5



EVERGREEN
Real Estate Group

EVERGREEN SENIOR HOUSING
999-1015 HOWARD ST. EVANSTON, IL

UrbanWorks
Architecture
Planning
Interior

UrbanWorks, Ltd.
100 N. Dearborn Street, 11th Floor
Chicago, IL 60610
T: 312.261.1200
WWW.URBANWORKSARCHITECTURE.COM

1015 Howard-CJE



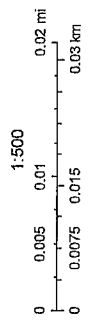
Page 27 of 45

January 14, 2019

Please note, the outlined area makes up the total amount of parcels involved in the proposed development.

- 1015 Howard Street, Evanston IL
- PIN: 11-30-122-057
- 11-30-12-042
- 11-30-12-043
- 11-30-12-044
- 11-30-12-045
- 11-30-12-046
- 11-30-12-047
- 999 Howard Street, Evanston IL
- PIN: 11-30-12-048
- 11-30-12-049
- 11-30-12-050
- 11-30-12-051
- 11-30-12-052
- 11-30-12-053

= DEVELOPMENT BOUNDARY



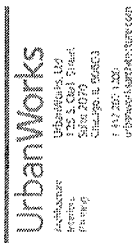
Cook County GIS Dept - Imagery from 2017

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DATE 12/3/2019: ISSUE FOR CCPCD - REVISION 5



EVERGREEN SENIOR HOUSING
999-1015 HOWARD ST. EVANSTON, IL



DEVELOPMENT BOUNDARY



LEGEND:
 SITE

DATE 12/31/2019: ISSUE FOR CCPCD - REVISION 5



EVERGREEN SENIOR HOUSING
 999-1015 HOWARD ST. EVANSTON, IL

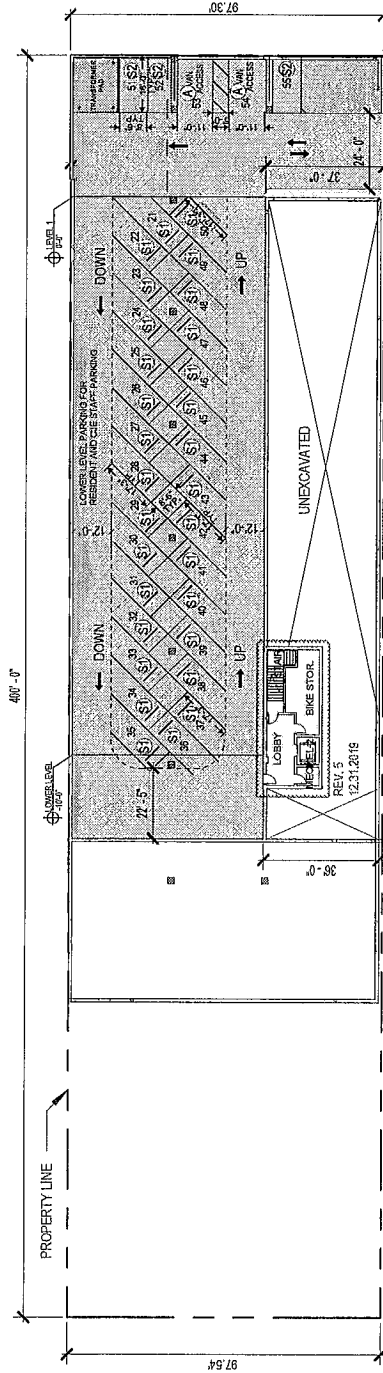
2

SITE LOCATION MAP

UrbanWorks

UrbanWorks, LLC
 1205 S. Clark Street
 Suite 2070
 Chicago, IL 60603
 1 815.202.1201
 urbanworksllc.com

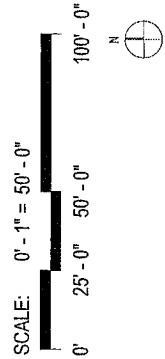
PARKING SPACE DIMENSIONS			
TAG	SPACE	DIMENSION PROVIDED	DIM. REQUIRED
(A)	VAN ACCESSIBLE	11'-0" x 20'	11'-0" x 18'
(B)	C/E BUS - 23' x 8'	11'-0" x 21'	11'-0" x 20'
(C)	C/E BUS - 24' x 8'	11'-0" x 25'	11'-0" x 24'-6"
(D)	COMPACT	11'-0" x 15'	8'-5" x 17'-3"
(E)	STANDARD	11'-0" x 17'-3"	8'-5" x 17'-3"
(F)	STANDARD	8'-6" x 18'	8'-5" x 18'



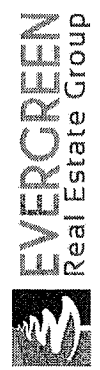
LEGEND:
 [Symbol] CIRCULATION
 [Symbol] SUPPORT

GENERAL NOTES
 1. UNLESS OTHERWISE NOTED, ALL AREAS INDICATED ON THE FLOOR PLAN ARE TO BE FINISHED TO THE INSIDE FACE OF THE WALLS SURROUNDING A ROOM OR DWELLING UNIT.
 2. CORRIDOR WALLS ARE TO BE FINISHED TO THE OUTSIDE FACE OF EXTERIOR WALLS AND TO THE CENTERLINE OF CORRIDOR AND CORRIDOR WALLS.

PROPOSED FINISHES-RESIDENTIAL UNITS
 1. RESIDENT FLOORING: HETEROGENEOUS CERAMIC OR PORCELAIN TILE BATHROOMS
 2. PAINTED DRYWALL, ALL WALLS AND CEILINGS

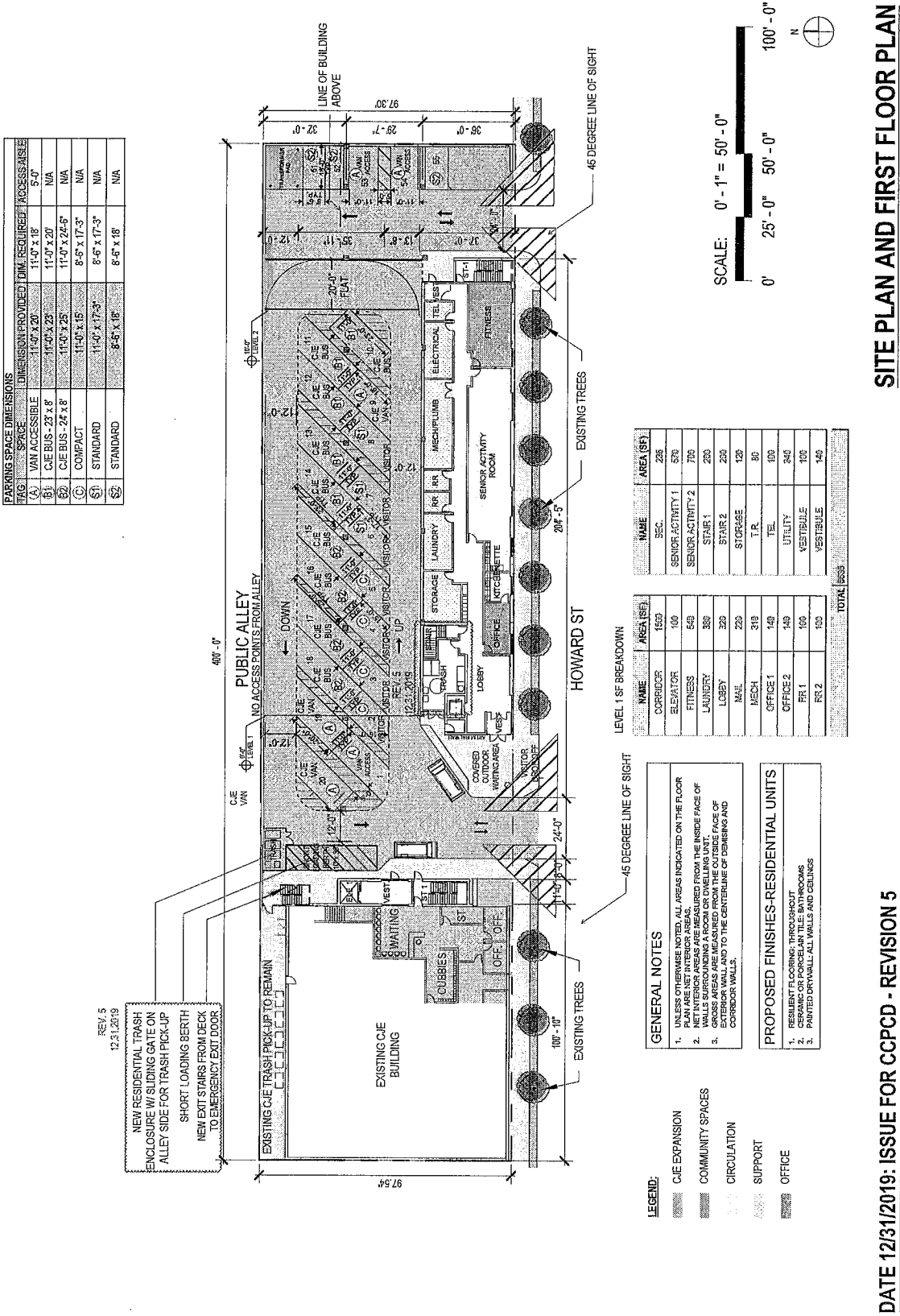


DATE 12/31/2019: ISSUE FOR CCPCD - REVISION 5



EVERGREEN SENIOR HOUSING
 999-1015 HOWARD ST. EVANSTON, IL

LOWER LEVEL PLAN
 UrbanWorks
 1140 North LaSalle
 Chicago, IL 60610
 Tel: 312.297.1200
 www.urbanworks.com



PARKING SPACE DIMENSIONS

FLAG	SPACE	DIMENSION PROVIDED	DIM. REQUIRED	ACCESSIBLE
(A)	VAN ACCESSIBLE	11'-0" x 20'	11'-0" x 18'	5'-0"
(B)	C/E BUS - 23' x 8'	11'-0" x 23'	11'-0" x 20'	N/A
(C)	C/E BUS - 24' x 8'	11'-0" x 25'	11'-0" x 24'-5"	N/A
(D)	COMPACT	11'-0" x 15'	8'-6" x 17'-3"	N/A
(E)	STANDARD	11'-0" x 17'-3"	8'-6" x 17'-3"	N/A
(F)	STANDARD	8'-6" x 18'	8'-6" x 18'	N/A

LEVEL 1 SF BREAKDOWN

NAME	AREA (SF)
CORRIDOR	1638
ELEVATOR	169
FITNESS	545
LAUNDRY	380
LOBBY	320
MHL	220
MECH	313
OFFICE 1	149
OFFICE 2	149
PH 1	199
PH 2	199
TOTAL	1653

GENERAL NOTES

- UNLESS OTHERWISE NOTED, ALL AREAS INDICATED ON THE FLOOR PLAN ARE MEASURED FROM THE INSIDE FACE OF THE WALLS SURROUNDING A ROOM OR DWELLING UNIT.
- GROSS AREAS ARE MEASURED FROM THE OUTSIDE FACE OF THE CORRIDOR WALLS.

PROPOSED FINISHES-RESIDENTIAL UNITS

- RESIDENT FLOORING: HOMOGENEOUS
- RESIDENT CEILING: 9'0" MIN. HANGERS
- PAINTED DRYWALL: ALL WALLS AND CEILING

LEGEND:

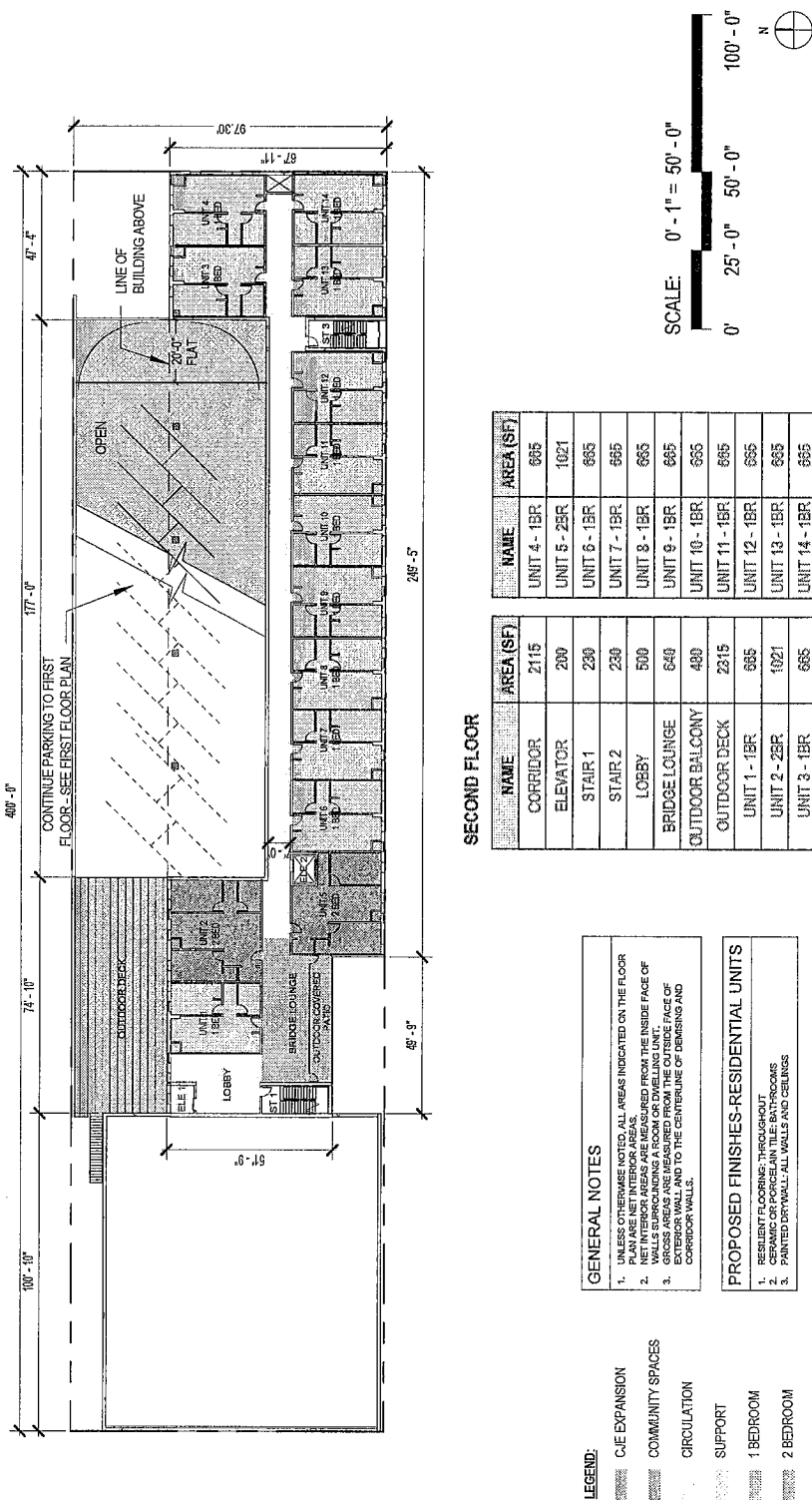
- C/E EXPANSION
- COMMUNITY SPACES
- CIRCULATION
- SUPPORT
- OFFICE

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SECOND FLOOR

NAME	AREA (SF)	NAME	AREA (SF)
CORRIDOR	2115	UNIT 4 - 1BR	685
ELEVATOR	200	UNIT 5 - 2BR	1021
STAIR 1	230	UNIT 6 - 1BR	685
STAIR 2	230	UNIT 7 - 1BR	685
LOBBY	500	UNIT 8 - 1BR	685
BRIDGE LOUNGE	640	UNIT 9 - 1BR	685
OUTDOOR BALCONY	480	UNIT 10 - 1BR	685
OUTDOOR DECK	2315	UNIT 11 - 1BR	685
UNIT 1 - 1BR	685	UNIT 12 - 1BR	685
UNIT 2 - 2BR	1021	UNIT 13 - 1BR	685
UNIT 3 - 1BR	685	UNIT 14 - 1BR	685

TOTAL	16732
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GENERAL NOTES

- UNLESS OTHERWISE NOTED, ALL AREAS INDICATED ON THE FLOOR PLAN ARE NET INTERIOR AREAS.
- NET INTERIOR AREAS ARE MEASURED FROM THE INSIDE FACE OF WALLS SURROUNDING A ROOM OR TRAVELLING UNIT.
- GROSS AREAS ARE MEASURED FROM THE OUTSIDE FACE OF EXTERIOR WALL AND TO THE CENTERLINE OF PERIMETER AND CORRIDOR WALLS.

PROPOSED FINISHES-RESIDENTIAL UNITS

- RESILIENT FLOORING-THROUGHOUT
- PAINTED WALLS AND CEILING
- PAINTED WALL, WALLS AND CEILING

LEGEND:

- C/E EXPANSION
- COMMUNITY SPACES
- CIRCULATION
- SUPPORT
- 1 BEDROOM
- 2 BEDROOM

SECOND FLOOR PLAN

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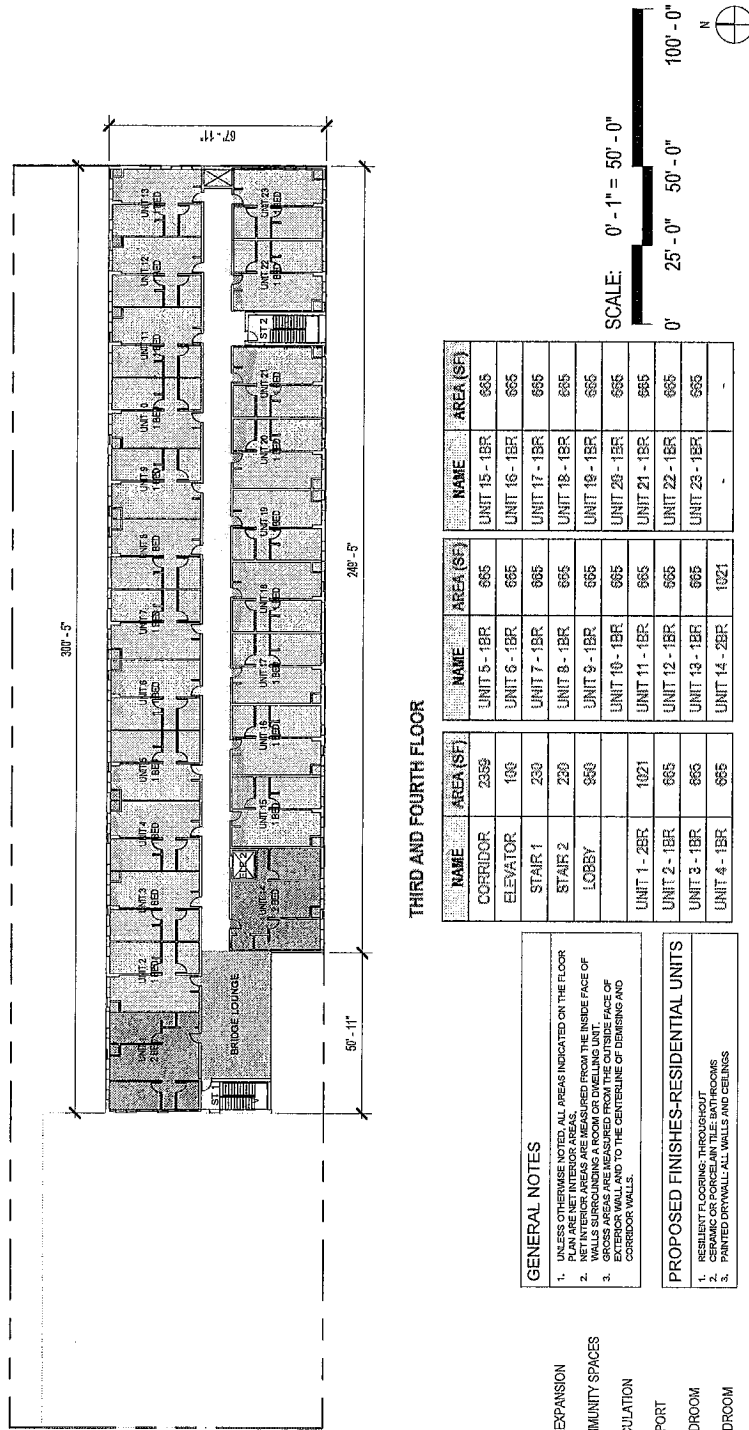
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THIRD AND FOURTH FLOOR

NAME	AREA (SF)	NAME	AREA (SF)	NAME	AREA (SF)
CORRIDOR	2359	UNIT 5 - 1BR	665	UNIT 15 - 1BR	665
ELEVATOR	193	UNIT 6 - 1BR	665	UNIT 16 - 1BR	665
STAIR 1	230	UNIT 7 - 1BR	665	UNIT 17 - 1BR	665
STAIR 2	230	UNIT 8 - 1BR	665	UNIT 18 - 1BR	665
LOBBY	950	UNIT 9 - 1BR	665	UNIT 19 - 1BR	665
		UNIT 10 - 1BR	665	UNIT 20 - 1BR	665
UNIT 1 - 2BR	1021	UNIT 11 - 1BR	665	UNIT 21 - 1BR	665
UNIT 2 - 1BR	665	UNIT 12 - 1BR	665	UNIT 22 - 1BR	665
UNIT 3 - 1BR	665	UNIT 13 - 1BR	665	UNIT 23 - 1BR	665
UNIT 4 - 1BR	665	UNIT 14 - 2BR	1021		
TOTAL	19976				

GENERAL NOTES

- UNLESS OTHERWISE NOTED, ALL AREAS INDICATED ON THE FLOOR PLAN ARE NET INTERIOR AREAS.
- NET INTERIOR AREAS ARE MEASURED FROM THE INSIDE FACE OF EXTERIOR WALL AND TO THE CENTERLINE OF DEEMING AND CORRIDOR WALLS.
- GROSS AREAS ARE MEASURED FROM THE OUTSIDE FACE OF EXTERIOR WALL AND TO THE CENTERLINE OF DEEMING AND CORRIDOR WALLS.

PROPOSED FINISHES-RESIDENTIAL UNITS

- RESILIENT FLOORING THROUGHOUT
- CERAMIC OR PORCELAIN TILE BATH ROOMS
- PAINTED DRYWALL ALL WALLS AND CEILINGS

- LEGEND:**
- C/AE EXPANSION
 - COMMUNITY SPACES
 - CIRCULATION
 - SUPPORT
 - 1 BEDROOM
 - 2 BEDROOM

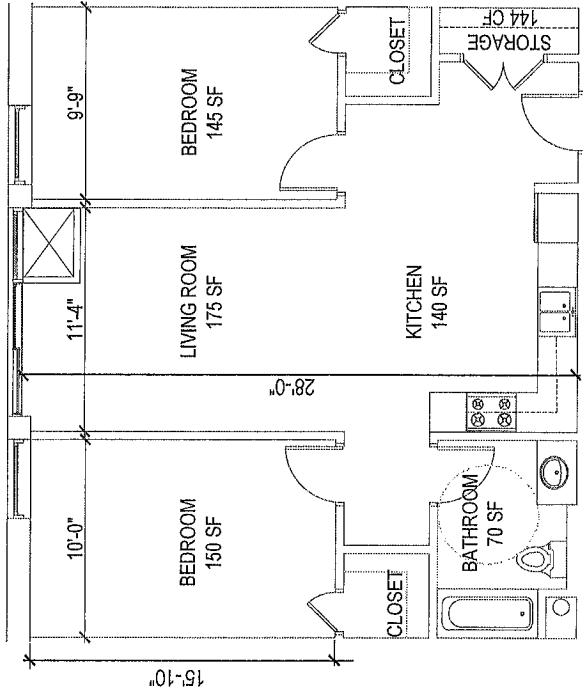
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THIRD AND FOURTH FLOOR PLAN

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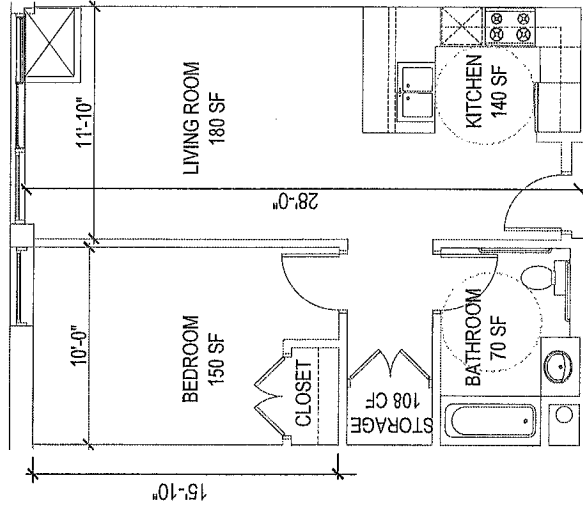
TYPICAL 2 BED UNIT LAYOUT
 GROSS AREA = 1021 SF
 NET AREA = 921 SF

GENERAL NOTES

1. UNLESS OTHERWISE NOTED, ALL AREAS INDICATED ON THE FLOOR PLAN ARE NET INTERIOR AREAS.
2. WALLS SURROUNDING A ROOM OR DWELLING UNIT.
3. GROSS AREAS ARE MEASURED FROM THE OUTSIDE FACE OF EXTERIOR WALLS AND TO THE CENTERLINE OF DEMISING AND CORRIDOR WALLS.

PROPOSED FINISHES-RESIDENTIAL UNITS

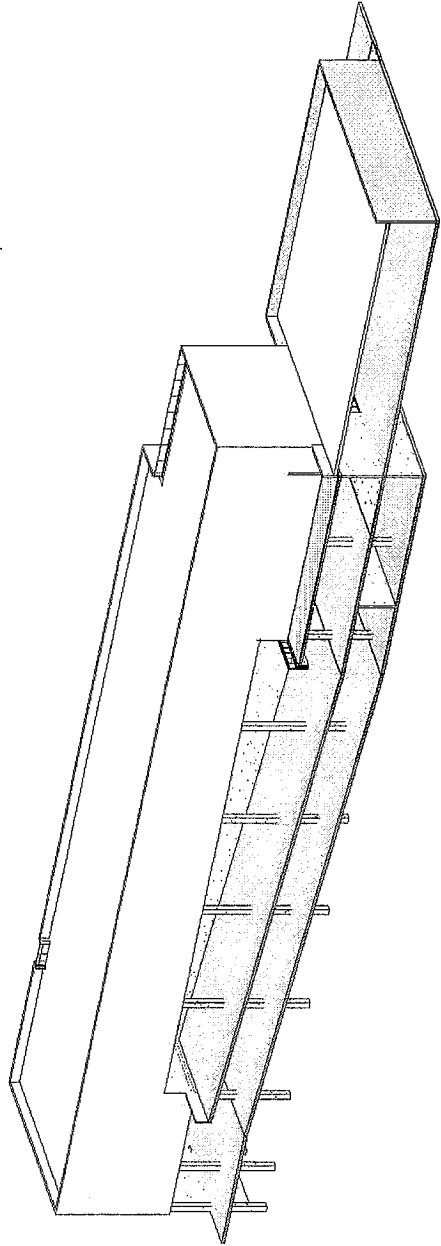
1. RESILIENT FLOORING-THROUGHOUT
2. PAINTED DRY-WALL-ALL WALLS AND CEILINGS
3. PAINTED DRY-WALL-ALL WALLS AND CEILINGS



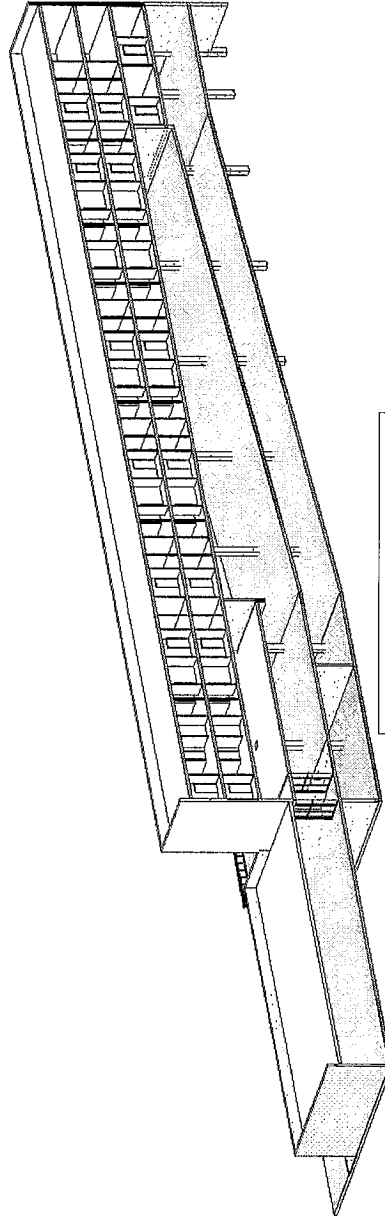
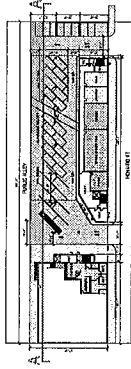
TYPICAL 1 BED UNIT LAYOUT
 GROSS AREA = 665 SF
 NET AREA = 580 SF

SCALE: 0' - 1/8" = 1' - 0"

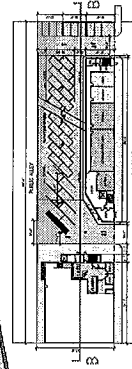




BUILDING SECTION A-A THROUGH PARKING LOOKING SOUTH



BUILDING SECTION B-B THROUGH PARKING LOOKING NORTH



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BUILDING MASS SECTION

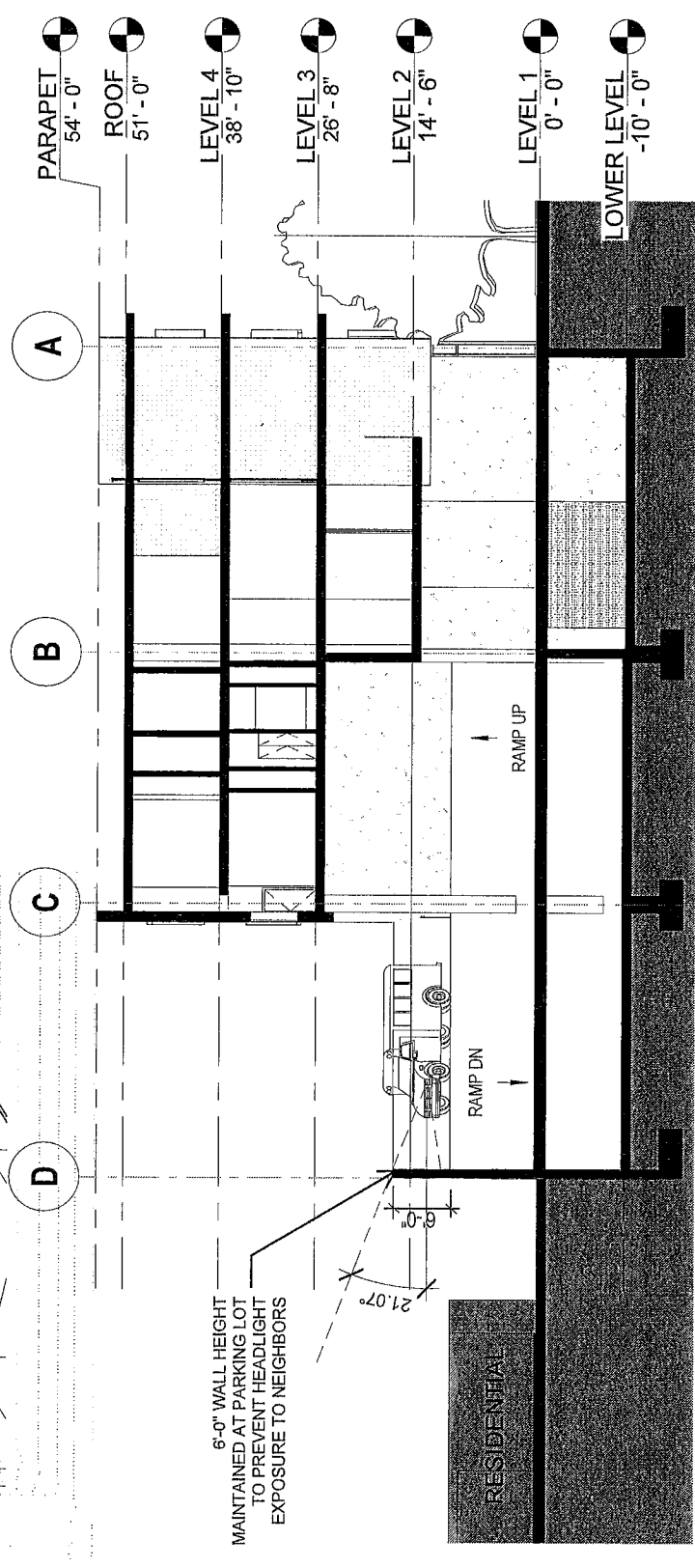
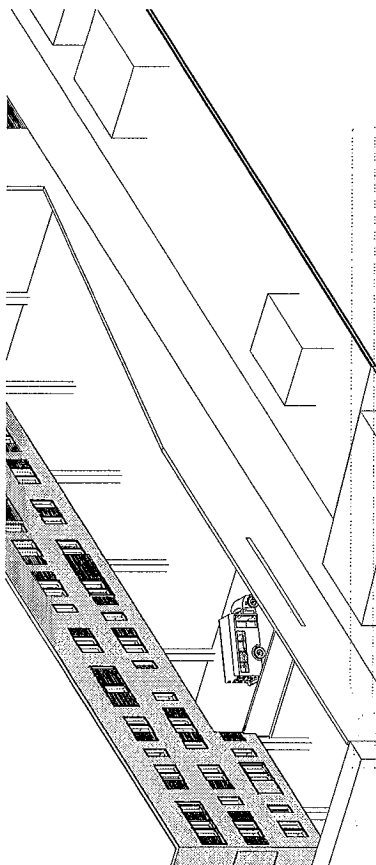


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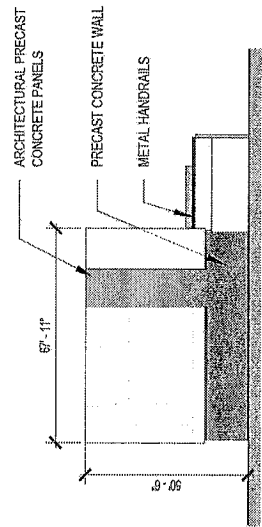
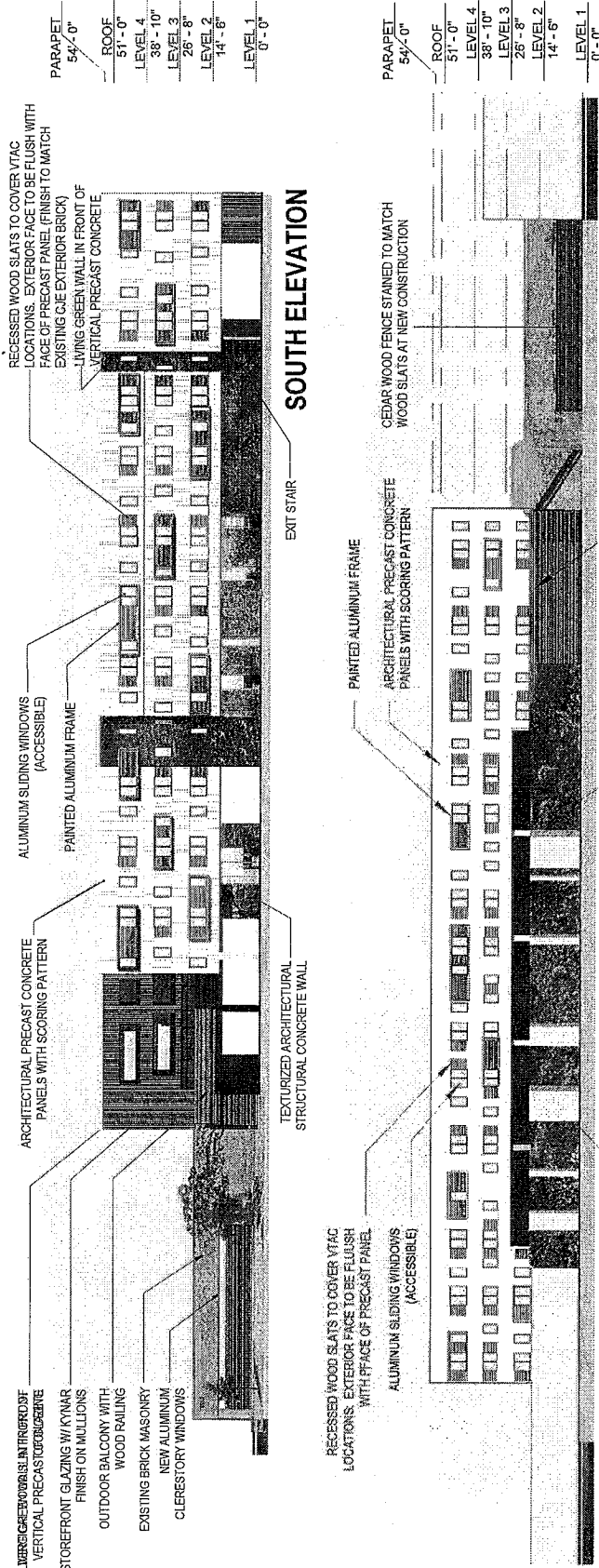
BUILDING SECTION DIAGRAM

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WEST ELEVATION

EAST ELEVATION

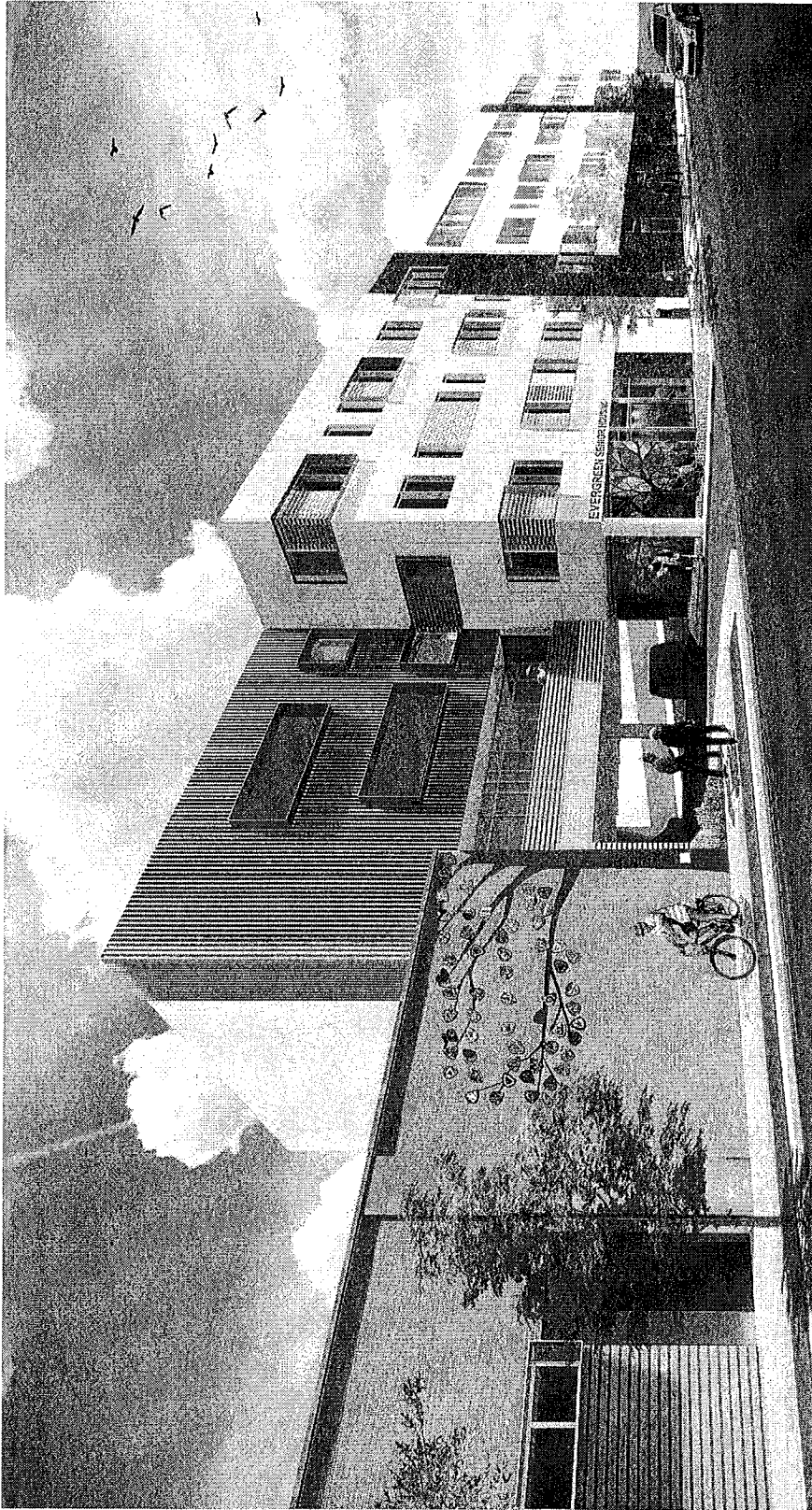
ELEVATION

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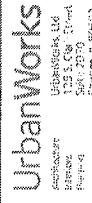
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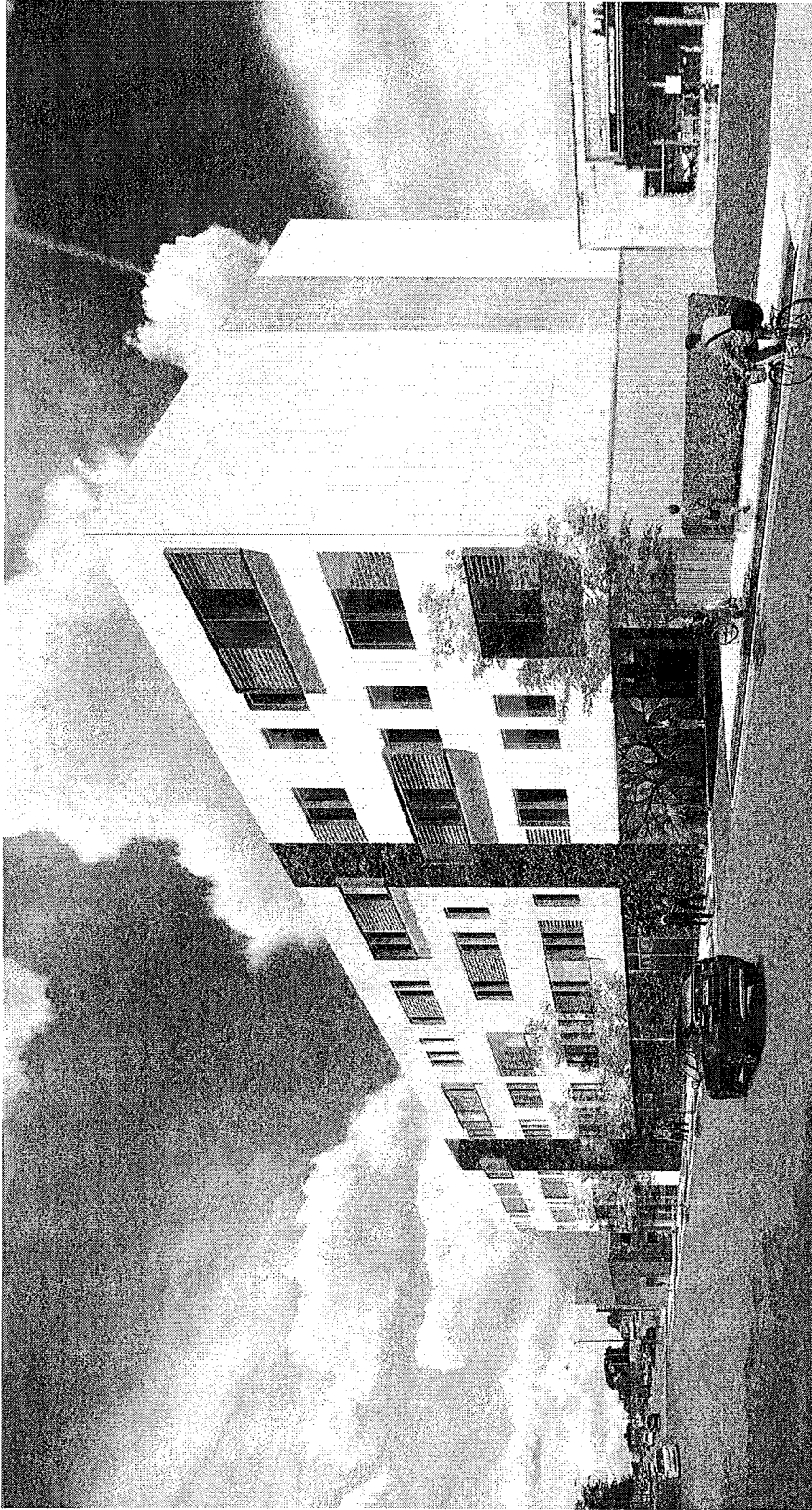
EXTERIOR RENDERING - SOUTH FACADE

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EXTERIOR RENDERING - SOUTH FACADE

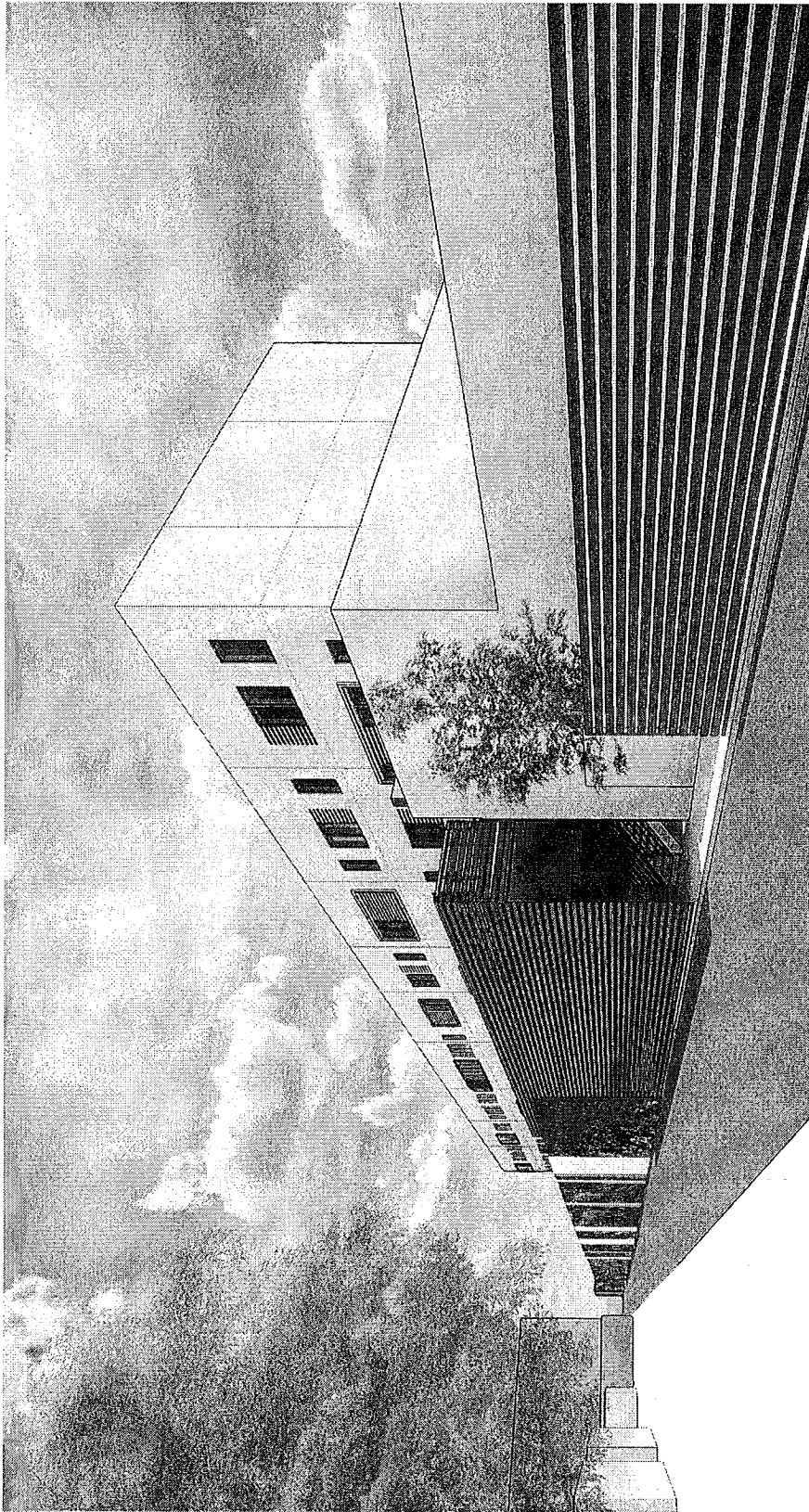
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EXTERIOR RENDERING - NORTH FACADE

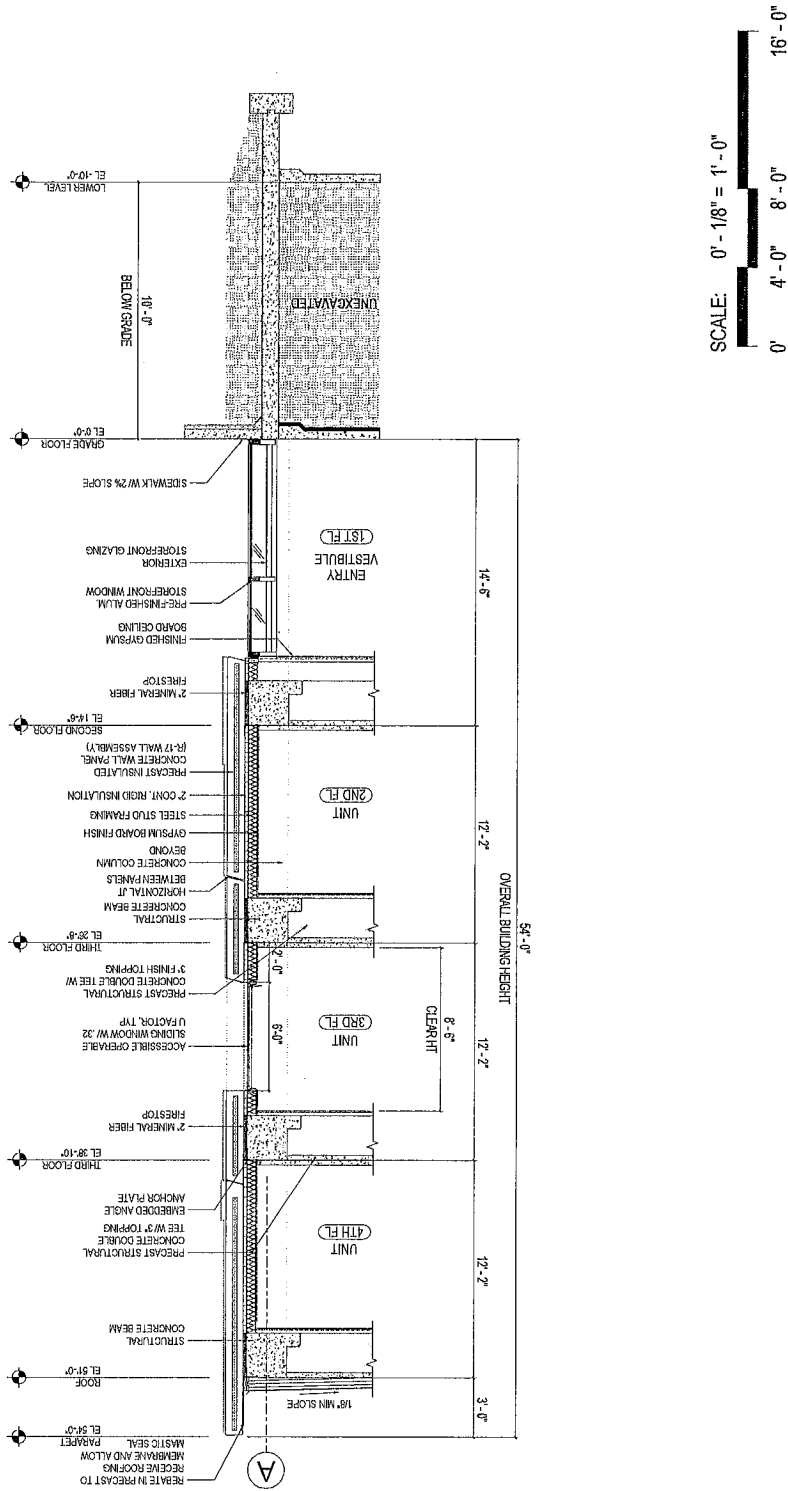
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 urbanworksarchitecture.com



WALL SECTION

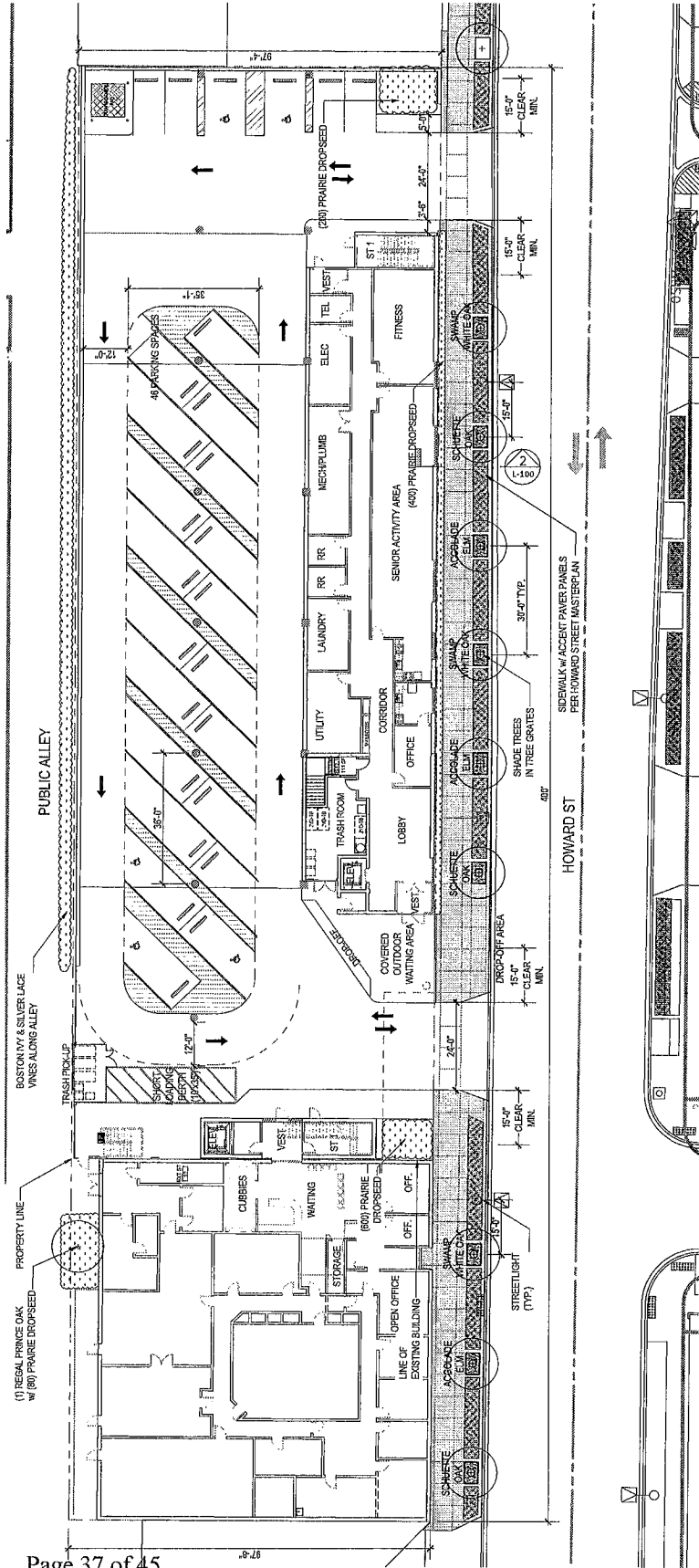
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EXHIBIT C
Landscape Plans



PLANT SCHEDULE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	SPACING
STREET TREES					
3	Hybrid Elm	<i>Ulmus "Morton"</i>		2 1/2" BB	Per Plan
3	Schuetze Oak	<i>Quercus schuetzei</i>		2 1/2" BB	Per Plan
3	Swamp White Oak	<i>Quercus bicolor</i>		2 1/2" BB	Per Plan
SITE TREE					
1	Upright Oak	<i>Quercus "Regal Prince"</i>		4" BB	Per Plan
ORNAMENTAL GRASS					
1	400' Prairie Dropseed	<i>Sporobolus heterolepis</i>		Qt	12" o.c.
VINES					
100	Boston Ivy	<i>Parthenocissus tricuspidata</i>		1 Gallon	48" o.c.
100	Silver Lace Vine	<i>Fallopia auberti</i>		1 Gallon	48" o.c.

LANDSCAPE NARRATIVE:
 The streetscape elements will conform to the City of Evanston's streetscape standards for Howard Street and will be coordinated with the City's Howard Street Corridor Improvements Project currently under development. Tree varieties will include Swamp White Oak (*Quercus bicolor*) and Schuetze's Oak (*Quercus x schuetzei*) as a nod to the legacy of the Oakleaf Historic District where the project is located, an area once forested with oak trees, as well as *Accolade Elm*, (*Ulmus x Accolade*).
 Vines such as Boston Ivy (*Parthenocissus tricuspidata*), Silver Lace Vine (*Fallopium auberti*) and Fallopia auberti will be used to provide a vegetative screen between the building and the street. The vines will be installed in a grid pattern along the perimeter of the building and parking garage from the interior right of way on both the north and the south sides of the development. Vines offer seasonal interest at different times of the year.
 A green wall mounted along the perimeter of the amenity deck to provide a vegetative screen between the amenity deck and the apartment units will be in-built planters with decorative metal trellis panels to allow climbing vines to grow up the wall. Irrigation system will be implemented to maintain the vines.

SCALE: 0' - 1" = 40' - 0"
 0' 20' - 0" 40' - 0" 80' - 0"

VINES GREEN SCREEN			
100	Boston Ivy	<i>Parthenocissus tricuspidata</i>	1 Gallon 48" o.c.
100	Silver Lace Vine	<i>Fallopia auberti</i>	1 Gallon 48" o.c.

REV. 5
 12.31.2019

PRELIMINARY LANDSCAPE PLAN

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