



BOARD OF LOCAL IMPROVEMENTS

Tuesday February 14, 2017

2:00 P.M.

Lorraine H. Morton Civic Center, 2100 Ridge Avenue, Room 2402

AGENDA

- I.** Call to Order / Declaration of Quorum
- II.** Approval of Meeting Minutes from:
 - a. January 2017
- III.** Public Comment
- IV.** Alley Projects Update
- V.** Alley Projects Budget Summary
- VI.** New Business
 - a. SA 1521 - Alley North of Brummel Street, East of Grey Avenue
 - i. Re-schedule Public Hearing
 - b. SA 1522 - Alley North of Simpson Street, East of UP RR
 - i. Approval of Plans and Estimates
 - ii. Schedule Public Hearing
- VII.** Old Business
- VIII.** Roundtable Discussion
- IX.** Adjournment

NEXT MEETING – March 14, 2017

Information about the BLI Committee is available at: www.cityofevanston.org. Questions can be directed to Paulina Abazi at 847-866-2950.

The City of Evanston is committed to making all public meetings accessible to persons with disabilities. Any citizen needing mobility or communications access assistance should contact the Facilities Management Office at 847-866-2916 (Voice) or 847-448-8064 (TYY).

MEETING NOTES

Board of Local Improvements

Tuesday January 10, 2017

2:00 p.m.

Lorraine H. Morton Civic Center, 2100 Ridge, Room #2402

Members Present: David D. Stoneback, Martin Lyons, Lara Biggs, James Maiworm
Members Absent: Rodney Greene, Donald Cornelius
Staff Present: Mario Treto, Dan Manis, Paulina Albazi
Presiding Member: David D. Stoneback

I. Call to Order / Declaration of Quorum

D. Stoneback called the meeting to order.

II. Approval of Meeting Minutes:

M. Lyons made a motion to approve minutes from October.

L. Biggs seconded the motion. All in favor.

III. Public Comment

No public present for comment

IV. Approval of 2017 Meeting Calendar

M. Lyons made a motion to approve 2017 meeting dates.

L. Biggs seconded the motion. All in favor.

M. Lyons directed staff to forward the dates to the City Clerk to update City calendar.

V. Alley Projects Update

D. Manis updated the board on the status of 2015 alleys. Final hearings are scheduled for the upcoming week. 2016 alleys are pending final inspection. L. Biggs will update accounting on final CDBG Payment.

VI. Alley Project budget Summary

D. Manis provides the board with an alley budget summary.

The 2018 alley, north of Simpson Street, east of rail road right-of-way, will be reprogrammed for 2017 after final budget amounts reviewed.

VII. New Business

a. SA 1521 – Alley North of Brummel Street, East of Grey Avenue

i. Approval of Plans and Estimates

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L. Biggs motions to accept plans and estimates for alley north of Brummel St., east of Grey Ave.

J. Maiworm seconds the motion. All in favor.

ii. Schedule Public Hearing

Board proposes Public hearing for March 21st at 6pm.

J. Maiworm motions to accept March 21, 2017 public hearing date.

L. Biggs seconds the motion. All in favor.

VIII. Old Business

a. 2015 Alley – Final Hearings

Final hearings for 2015 alleys are scheduled for the upcoming week.

b. Special Assessment Interest Rate

M. Lyons informed the board the special assessment interest rate has been set as of January 3, 2017.

c. Garnett Place Alley

The Garnett Place alley went to the Transportation and Parking Committee in December. The City will be moving forward with making this a City owned public lot with metered parking spaces.

d. Northwestern Alley Vacation

D. Stoneback updated the Board on the current status of Northwestern University's alley vacation request. At this time, Northwestern University has withdrawn its request for an alley vacation at South of Sheridan Rd. and West of Sheridan Rd.

X. Roundtable Discussion

With the board's approval, D. Stoneback would like to recommend to the City Manager to modify the City Code in regards to the Board of Local Improvements which currently requires six members.

D. Stoneback would like to propose it be modified to five members; Public Works Agency Director, Superintendent of Special Assessment, Bureau Chief of Infrastructure Maintenance, City Engineer, and City Clerk. M. Lyons would prefer majority quorum be more than two members.

L. Biggs recommends that City Manager's Office appoint a new member.

XI. Adjournment

J. Maiworm motions to adjourn. L. Biggs seconded the motion. All in favor.

NEXT MEETING – February 14, 2017

Information about the BLI Committee is available at: www.cityofevanston.org. Questions can be directed to Paulina Albazi at 847-866-2950.

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Board of Local Improvements Alley Projects Summary

Total 2016 Budget: \$1,080,000
 2015 GO Bonds: \$250,000
 New GO Bonds: \$250,000
 Garnett Place: \$100,000 *(Parking Fund)*
 Special Assessment: \$100,000 *(for Garnett Place)*
 CDBG: \$380,000

2016 Alleys - CIP

No.	S.A.	Location	Contracted Cost	Status	Accepted by BLI	Public Hearing	Ward
9	1518	North of Reba Place, East of Ridge Avenue	\$215,718	Construction complete, final inspection pending	11/9/2015	6/2/2016	9
10	1519	North of Greenwood St, East of Darrow Avenue	\$311,537	Construction complete, final inspection pending	1/11/2016	5/31/2016	2
11a	1520	North of Greenwood St, East of Dodge Avenue	\$64,177	Construction complete, final inspection pending	4/26/2016	5/31/2016	2
12	N/A	North of Central Street, East of Eastwood Avenue	\$440,442	Construction complete, final inspection pending	N/A	N/A	7

Sub-Total (2016 CIP Alleys): \$1,031,874

2016 Alleys - CDBG

11b	1520	North of Greenwood St, East of Dodge Avenue	\$200,000	Construction complete, final inspection pending	1/11/2016	5/31/2016	2
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Sub-Total (2016 CDBG Alleys): \$200,000

Board of Local Improvements Alley Projects Summary

Total 2017 Budget: \$1,266,000
 2017 GO Bonds: \$250,000
 Special Assessment: \$250,000
 CDBG: \$280,000
 Sewer Fund: \$150,000
PUD: \$36,000
 Parking Fund: \$300,000 (Garnett Place)

2017 Alleys - Special Assessment

No.	S.A.	Location	Estimated Cost	Status	Accepted by BLI	Public Hearing	Ward
13	1521	North of Brummel Street, East of Grey Avenue	\$289,000	Design Complete, Public Hearing Pending	1/11/2016	-	8
14	-	North of Simpson Street, East of RR ROW	\$246,000	Design Complete, Public Hearing Pending	2/9/2016	-	5

Sub-Total (2017 CIP Alleys): \$535,000

2017 Alleys - CDBG

15	N/A	North of Brummel St, East of Elmwood Ave	\$246,000	Design Underway	<<CDBG Alley>>		8
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Sub-Total (2017 CDBG Alleys): \$246,000

2017 Alleys - Other

No.	S.A.	Location	Estimated Cost	Status	Accepted by BLI	Public Hearing	Ward
16	N/A	Garnett Place Alley, (Parking Lot)	\$250,000	Design Underway	N/A		1
17	-	North of Grove Street, East of Chicago Avenue	\$100,000	Design Underway	2014 PUD Ordinance	N/A	1

Sub-Total (2017 Other Alleys): **\$350,000**

Board of Local Improvements Alley Projects Summary

Funding Contingent 2018 Alleys - CIP

No.	S.A.	Location	Estimated Cost	Status	Accepted by BLI	Public Hearing	Ward
18	-	North of Payne Street, East of McDaniel Avenue	\$497,000	Survey Complete, Design Pending	3/8/2016	-	6

Sub-Total (2018 CIP Alleys): \$497,000

Funding Contingent 2019 Alleys - CIP

No.	S.A.	Location	Estimated Cost	Status	Accepted by BLI	Public Hearing	Ward
19	-	North of Leonard Place East of Bryant Avenue	\$328,000	Survey & Design Pending	6/14/2016	-	7

Sub-Total (2019 CIP Alleys): \$328,000

Funding Contingent 2020 Alleys - CIP

No.	S.A.	Location	Estimated Cost	Status	Accepted by BLI	Public Hearing	Ward
20	-	North of Simpson Street, East of McDaniel Avenue	\$658,000	Survey & Design Pending	6/14/2016	-	7

Sub-Total (2020 CIP Alleys): \$658,000

Potential Alley Paving

No.	S.A.	Location	Estimated Cost	Petition Status	Petition Issued	Expiration	Ward
<< NO ACTIVE PETITIONS >>							

Budget Summary

2016 Alley Paving Project

Awarded Cost				Funding Source				Other	
No.	SA	Location	Total	GO	SA	CDBG	Sewer	PUD	Easement
9	1518	North of Reba Place, East of Ridge Avenue	\$215,718	\$184,862	\$0	\$0	\$30,856	\$0	\$0
10	1519	North of Greenwood St, East of Darrow Avenue	\$311,537	\$290,988	\$0	\$0	\$0	\$0	\$20,549
11	1520	North of Greenwood St, East of Dodge Avenue	\$264,177	\$0	\$0	\$200,000	\$0	\$0	\$64,177
12	N/A	North of Central Street, East of Eastwood Avenue	\$440,442	\$0	\$0	\$0	\$0	\$400,000	\$40,442

Awarded Totals (A) **\$1,231,874** **\$475,850** **\$0** **\$200,000** **\$30,856** **\$400,000** **\$125,168**

Pre-Final Construction Cost

Pre-Final Construction Cost				Funding Source				Other	
No.	SA	Location	Total	GO	SA	CDBG	Sewer	PUD	Easement
9	1518	North of Reba Place, East of Ridge Avenue	\$200,000	\$171,392	\$0	\$0	\$28,608	\$0	\$0
10	1519	North of Greenwood St, East of Darrow Avenue	\$280,000	\$280,000	\$0	\$0	\$0	\$0	\$0
11	1520	North of Greenwood St, East of Dodge Avenue	\$230,000	\$0	\$0	\$200,000	\$0	\$0	\$30,000
12	N/A	North of Central Street, East of Eastwood Avenue	\$410,000	\$0	\$0	\$0	\$0	\$400,000	\$10,000

Pre-Final Totals (B) **\$1,120,000** **\$451,392** **\$0** **\$200,000** **\$28,608** **\$400,000** **\$40,000**

Surplus (A-B) **\$111,874** **\$24,458** **\$0** **\$0** **\$2,248** **\$0** **\$85,168**

2017 Alleys

Estimated Construction Cost

Estimated Construction Cost				Funding Source				Other	
No.	SA	Location	Total	GO	SA	CDBG	Sewer	PUD	Parking
13	1521	North of Brummel Street, East of Grey Avenue	\$289,000	\$114,000	\$114,000	\$0	\$61,000	\$0	\$0
14	N/A	North of Brummel St, East of Elmwood Ave	\$246,000	\$0	\$0	\$246,000	\$0	\$0	\$0
15	N/A	Garnett Place Alley	\$250,000	\$0	\$0	\$0	\$0	\$0	\$250,000
16	N/A	North of Grove Street, East of Chicago Avenue	\$100,000	\$64,000	\$0	\$0	\$0	\$36,000	\$0
17	N/A	North of Simpson Street, East of RR ROW	\$268,000	\$147,000	\$99,000	\$0	\$0	\$0	\$0

Totals **\$1,153,000** **\$325,000** **\$213,000** **\$246,000** **\$61,000** **\$36,000** **\$250,000**

2017 Budget **\$1,266,000** **\$250,000** **\$250,000** **\$280,000** **\$150,000** **\$36,000** **\$300,000**

Surplus **\$113,000** **-\$75,000** **\$37,000** **\$34,000** **\$89,000** **\$0** **\$50,000**

FACT SHEET

ALLEY PAVING – SPECIAL ASSESSMENT 1522

NORTH OF SIMPSON STREET, EAST OF RAILROAD ROW

1. Petition circulated by Ms. Deb Bailey, 2134 Wesley Avenue.
2. Petition received by the Engineer for the Board of Local Improvements @ January, 2016.
3. Parcels by Tax Code with paid indicator from Cook County Treasurer checked on February 4, 2016.
4. Total Assessable Number of Units: 17
5. 52.94% of abutting property owners signed the petition, by the Unit Method.
6. Petition reviewed and accepted by BLI on February 9, 2016.
7. Width of Alley Right-of Way: 16 Feet
Width of Proposed Alley Pavement: 13 and 14 Feet
Length of Proposed Alley Pavement: 561 Feet
8. Total Estimated Construction Cost: \$245,863.00
Engineering and Legal Cost: \$22,127.68
Total Cost of Special Assessment: \$267,990.68

City Contribution: \$158,022.00 (Due to Rail Road ROW)
Private Benefit: \$109,968.68
9. Total Assessable Number of Units: 17 (Total Units 18, One Unit belongs to the City)
10. Cost per Assessable Unit using City Contribution: \$6,109.37

Fountain

11. Plans, Specifications, and Estimate reviewed at May 9, 2016 BLI meeting.
12. Public Hearing set for June 2, 2015. Set at April 26, 2016 BLI meeting.
13. Notices for Public Hearing sent out on May 20, 2016.
13. Ordinance adopted by the City Council on April 10, 2012.
14. Legal hearing scheduled for May 31, 2012. Notices sent out on May 3, 2012.

Page 2
Fact Sheet: SA 1509
Alley N / Brummel Street, E / Hartrey Avenue

15. Bid opening for project scheduled for June 19, 2012.
16. Low bidder: Acura Inc.
556 County Line Road
Bensenville, IL. 60106
17. The contract was awarded to Acura Inc. on July 9, 2012 in the amount of \$211,127.50
18. Pre-construction meeting held on July 19, 2012.
19. Construction started on August 15, 2012 and was completed on
October 11, 2012. Punch list items are completed on April 25, 2013.
20. The final project construction cost is \$195,304.50
21. Final inspection with the Senior Engineer, Utilities director and Public works Director held
on November 16, 2012.
22. The final contract amount for project: \$195,304.50
SA construction cost: \$195,304.50

Engineering:	\$8,788.70
Legal:	\$8,788.70
Total cost for SA:	\$212,881.90
City Contribution:	\$136,854.40
Private Benefit:	\$76,027.50

23. Cost per Assessable Unit Using City Contribution: \$3620.36

Engineering,
August 12, 2013

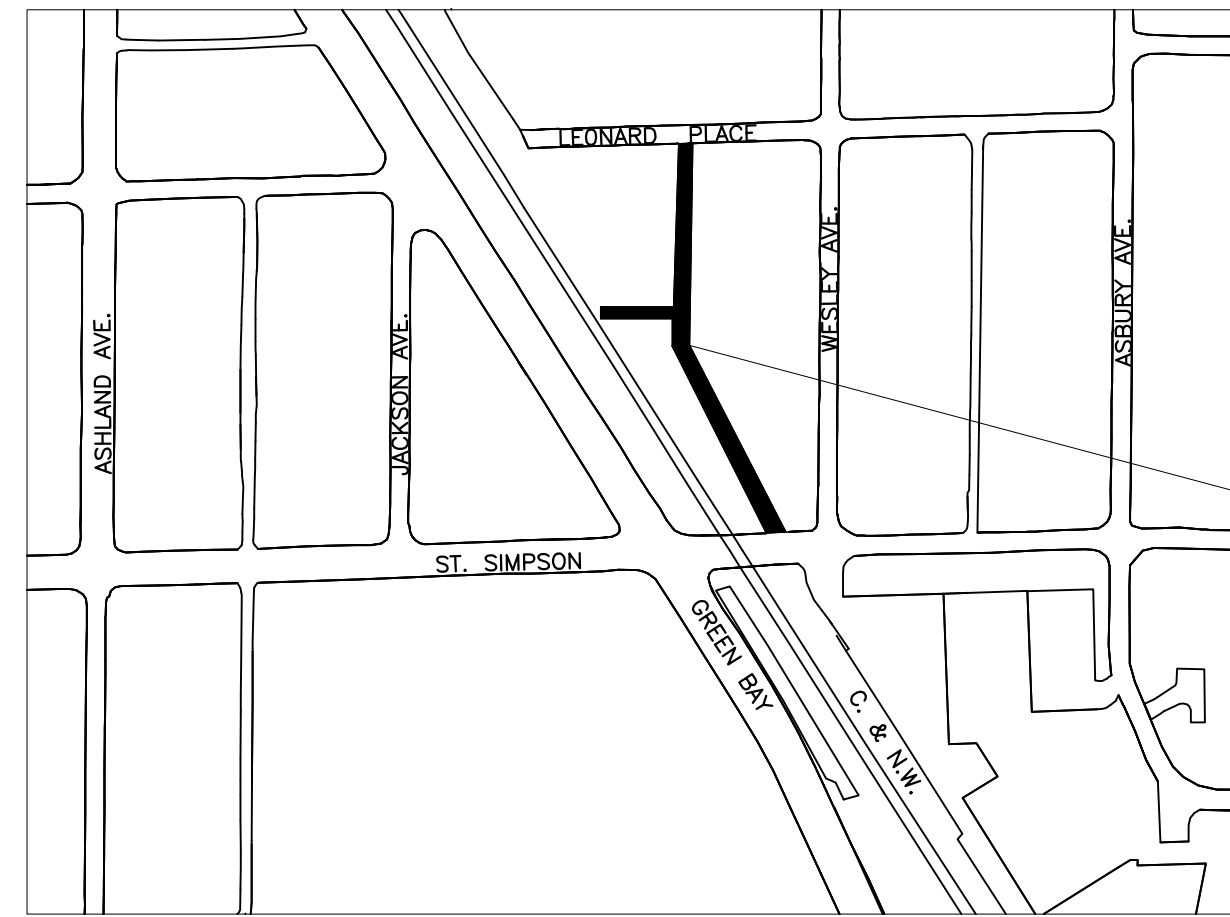
COST ESTIMATE
PROJECT NO.: S.A. 1522
PAVING OF ALLEY; NORTH OF SIMPSON STREET, EAST OF RAILROAD ROW

ITEM NO.	ITEM	UNIT	QUANTITY	UNIT PRICE	TOTAL
1	EARTH EXCAVATION	CU. YD.	305	\$65.00	\$19,825.00
2	TRENCH BACKFILL	CU. YD.	203	\$40.00	\$8,120.00
3	SUB-BASE GRANULAR MATERIAL, TYPE B	CU. YD.	25	\$45.00	\$1,125.00
4	GRANULAR CRADLE MATERIAL, CA-11	TON	90	\$30.00	\$2,700.00
5	AGGREGATE BASE COURSE, TYPE B, 4"	SQ. YD.	35	\$15.00	\$525.00
6	INCIDENTAL HOT-MIX ASPHALT SURFACING	TON	10	\$230.00	\$2,300.00
7	PORTLAND CEMENT CONCRETE PAVEMENT, 8"	SQ. YD.	880	\$75.00	\$66,000.00
8	STORM SEWERS, SPECIAL, 8" (D. I. P. / CL 50)	FOOT	269	\$117.00	\$31,473.00
9	STORM SEWERS, 8" PVC SDR 26	FOOT	174	\$90.00	\$15,660.00
10	CATCH BASIN, TYPE A, 4' DIA., TYPE 1 FRAME, OL	EACH	1	\$4,500.00	\$4,500.00
11	MANHOLE, TYPE A, 4' DIA., TYPE 1 FRAME, OL	EACH	2	\$5,000.00	\$10,000.00
12	INLET, TYPE A, TYPE 1 FRAME, OPEN LID	EACH	5	\$1,900.00	\$9,500.00
13	CONCRETE CURB , TYPE B	FOOT	280	\$30.00	\$8,400.00
14	DRIVEWAY PAVEMENT REMOVAL	SQ. YD.	265	\$20.00	\$5,300.00
15	CURB REMOVAL	FOOT	280	\$8.00	\$2,240.00
16	SIDEWALK REMOVAL	SQ. FT.	260	\$2.50	\$650.00
17	PCC DRIVEWAY PAVEMENT - 6"	SQ. YD.	230	\$65.00	\$14,950.00
18	PCC SIDEWALK - 5"	SQ. FT.	260	\$8.00	\$2,080.00
19	PROTECTIVE SEALER	SQ. YD.	1,110	\$2.00	\$2,220.00
20	CRUSHED STONE, CA - 14	TON	20	\$45.00	\$900.00
21	FURNISHING AND PLACING TOPSOIL, 3"	SQ. YD.	130	\$8.00	\$1,040.00
22	SODDING, SALT TOLERANT	SQ. YD.	130	\$15.00	\$1,950.00
23	CLASS B PATCHES, SPECIAL 9" (HES)	SQ. YD.	20	\$110.00	\$2,200.00
24	DETECTABLE WARNINGS	SQ. FT.	20	\$45.00	\$900.00
25	HOT-MIX ASPHALT SURFACE REMOVAL	SQ. YD.	40	\$20.00	\$800.00
26	TEMPORARY FENCE	FOOT	95	\$5.00	\$475.00
27	CONSTRUCTION LAYOUT AND STAKING	LSUM	1	\$4,000.00	\$4,000.00
28	STREET SWEEPING	EACH	4	\$400.00	\$1,600.00
29	SOIL DISPOSAL ANALYSIS	LSUM	1	\$3,000.00	\$3,000.00
30	NON SPECIAL/SPECIAL WASTE DISPOSAL	CU. YD.	410	\$27.00	\$11,070.00
31	CLOSED CIRCUIT TV INSPECTION	LSUM	1	\$4,000.00	\$4,000.00
32	PRE-CONSTRUCTION SURFACE VIDEO TAPING	LSUM	1	\$3,000.00	\$3,000.00
33	EPOXY PAVEMENT MARKING LINE-4" YELLOW	FOOT	120	\$28.00	\$3,360.00
TOTAL					\$245,863.00
ENGINEERING					\$11,063.84
LEGAL					\$11,063.84
ENGINEERING AND LEGAL COSTS					\$22,127.67
TOTAL PROJECT COSTS					\$267,990.67

CITY	COUNTY	NO. OF SHEETS	SHEET NO.
EVANSTON	COOK	5	1

STANDARD SYMBOLS

	SIDEWALK REMOVAL AND REPLACEMENT
	PAVEMENT REMOVAL AND REPLACEMENT
	DRIVEWAY REMOVAL & REPLACEMENT (ASPHALT)
	DRIVEWAY REMOVAL & REPLACEMENT (CONCRETE)
	12" CS EXISTING COMBINED SEWER
	12" CS PROPOSED COMBINED SEWER
	12" SAN EXISTING SANITARY SEWER
	12" SAN PROPOSED SANITARY SEWER
	12" SS EXISTING STORM SEWER
	12" SS PROPOSED STORM SEWER
	EXISTING MANHOLE
	PROPOSED MANHOLE
	EXISTING CATCH BASIN
	PROPOSED MANHOLE-CATCH BASIN
	PROPOSED INLET
	CATCH BASIN TO BE FILLED
	CATCH BASIN TO BE REMOVED
	MANHOLE-CATCH BASINS TO BE RECONSTRUCTED
	MANHOLE-CATCH BASIN TO BE ADJUSTED
	SUMMIT
	EXISTING LIGHT STANDARD
	EXISTING POWER POLE
	FENCE
	RIGHT OF WAY
	CENTERLINE
	DECIDUOUS TREES
	EVERGREEN TREES
	HEDGE, BUSHES
	EXISTING DETECTABLE WARNINGS
	PROPOSED DETECTABLE WARNINGS



PROJECT LOCATION

**PAVING OF ALLEY
NORTH OF SIMPSON STREET
SOUTH OF LEONARD PLACE
EAST OF RAIL ROAD ROW
WEST OF WESLEY AVENUE**

NOTICE

NO WORK TO BE DONE
WITHIN THE PAVED
ALLEY AREA FOR FIVE
YEARS BY ANY UTILITY

FOR UNDERGROUND UTILITY INFORMATION
AND LOCATIONS, CALL

J.U.L.I.E

CALL 811
1-800-892-0123

SUMMARY OF QUANTITIES

ITEM NO.	ITEM	UNIT	QUANTITY
1	EARTH EXCAVATION	CU. YD.	305
2	TRENCH BACKFILL	CU. YD.	203
3	SUB-BASE GRANULAR MATERIAL, TYPE B	CU. YD.	25
4	GRANULAR CRADLE MATERIAL, CA-11	TON	90
5	AGGREGATE BASE COURSE, TYPE B, 4"	SQ. YD.	35
6	INCIDENTAL HOT-MIX ASPHALT SURFACING	TON	10
7	PORTLAND CEMENT CONCRETE PAVEMENT, 8"	SQ. YD.	880
8	STORM SEWERS, SPECIAL, 8" (D.I.P. / CL 50)	FOOT	269
9	STORM SEWERS, 8" PVC SDR 26	FOOT	174
10	CATCH BASIN, TYPE A, 4' DIAMETER, TYPE 1 FRAME, OPEN LID	EACH	1
11	MANHOLE, TYPE A, 4' DIAMETER, TYPE 1 FRAME, OPEN LID	EACH	2
12	INLET, TYPE A, TYPE 1 FRAME, OPEN LID	EACH	5
13	CONCRETE CURB, TYPE B	FOOT	280
14	DRIVEWAY PAVEMENT REMOVAL	SQ. YD.	265
15	CURB REMOVAL	FOOT	280
16	SIDEWALK REMOVAL	SQ. FT.	260
17	PORTLAND CEMENT CONCRETE DRIVEWAY PAVEMENT - 6"	SQ. YD.	230
18	PORTLAND CEMENT CONCRETE SIDEWALK - 5"	SQ. FT.	260
19	PROTECTIVE SEALER	SQ. YD.	1,110
20	CRUSHED STONE, CA-14	TON	20
21	FURNISHING AND PLACING TOPSOIL, 3"	SQ. YD.	130
22	SODDING, SALT TOLERANT	SQ. YD.	130
23	CLASS B PATCHES, SPECIAL 6" (HE'S)	SQ. YD.	20
24	DETECTABLE WARNINGS	SQ. FT.	20
25	HOT-MIX ASPHALT SURFACE REMOVAL	SQ. YD.	40
26	TEMPORARY FENCE	FOOT	95
27	CONSTRUCTION LAYOUT AND STAKING	LUMP SUM	1
28	STREET SWEEPING	EACH	4
29	SOIL DISPOSAL ANALYSIS	LUMP SUM	1
30	NON SPECIAL/SPECIAL WASTE DISPOSAL	CU. YD.	410
31	CLOSED CIRCUIT TV INSPECTION	LUMP SUM	1
32	PRE-CONSTRUCTION SURFACE VIDEO TAPING	LUMP SUM	1
33	EPOXY PAVEMENT MARKING LINE-4" YELLOW	FOOT	120

GENERAL NOTES

1. ANY REFERENCE TO "STANDARD" THROUGHOUT THE PLANS, SPECIFICATIONS OR SPECIAL PROVISIONS SHALL BE INTERPRETED TO THE LATEST STANDARDS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
2. SAWING OF EXISTING SURFACES, WHEN REQUIRED FOR REMOVAL OR CONSTRUCTION, WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE CONSIDERED INCIDENTAL TO THE VARIOUS PAY ITEMS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING THE CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE.
4. THE CONTRACTOR WILL BE REQUIRED TO CONSTRUCT ALL NEW FRAMES AND LIDS IN CONFORMANCE WITH DETAILS OF STANDARD FRAMES AND LIDS SHOWN IN THE PLANS.
5. PROTECTIVE COAT WILL BE APPLIED TO CONCRETE CURB AND SIDEWALK. THIS WORK WILL NOT BE PAID FOR SEPARATELY, BUT SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.

BENCHMARKS

NO.	DESCRIPTION	ELEV.
OSBM 16-2	SPIKE IN EAST FACE OF UTILITY POLE AT NW CORNER OF PUBLIC WORKS PROPERTY ON SOUTH SIDE OF SIMPSON STREET @ WESLEY AVENUE	20.86
OSBM 16-3	NORTH SIDE OF DOORWAY OF GARAGE AT "T" IN ALLEY SOUTH OF LEONARD PLACE & WEST OF WESLEY AVENUE	18.94
BM #36	CITY OF EVANSTON GIS BENCHMARK #36, SOUTH SIDE OF CENTRAL STREET ON THE SOUTH SIDE OF SIDEWALK, WEST OF ELM AVENUE	26.22
BM #40	CITY OF EVANSTON GIS BENCHMARK #40, EAST SIDE OF ASBURY AVENUE ON THE EAST SIDE OF SIDEWALK, NORTH OF SIMPSON	18.15
BM #42	CITY OF EVANSTON GIS BENCHMARK #42, NORTHEAST CORNER OF DAVIS STREET & FOREST PLACE NORTH OF SIDEWALK	16.25

NOTE: 1. SEE THE CONTRACT SPECIFICATIONS FOR TYPICAL GENERAL NOTES PERTAINING TO THE REQUIREMENTS AND CONDITIONS OF THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE PROPERTIES ABUTTING THE WORK AREA OF THE PROJECT. ANY PRIVATE PROPERTY THAT IS DAMAGED DURING THE CONSTRUCTION PERIOD SHALL BE REPAIRED OR REPLACED TO ITS ORIGINAL CONDITION AT THE CONTRACTORS' EXPENSE. IN ORDER TO DOCUMENT THE ORIGINAL CONDITION OF ALL PRIVATE PROPERTIES ABUTTING THE WORK AREA, PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE PROPERTY OWNERS AND MAKE A VIDEOTAPE RECORD OF THE PROJECT AREA. THIS SHALL INCLUDE THE CONDITION AND IDENTIFICATION (BY ADDRESS) OF ALL FENCES, GARAGES AND GARAGE FLOORS. THIS RECORD SHALL BE USED TO RESOLVE ANY DAMAGE CLAIMS THAT MAY ARISE AFTER THE CONSTRUCTION. A COPY OF THE VIDEOTAPE SHALL BE FURNISHED TO THE RESIDENT ENGINEER PRIOR TO THE START OF CONSTRUCTION.

CITY OF EVANSTON PUBLIC WORKS AGENCY CAPITAL PLANNING & ENGINEERING BUREAU					
S.A.1522 PAVING OF ALLEY NORTH OF SIMPSON STREET EAST OF RAIL ROAD ROW					
REVISIONS		DESIGNED BY: PC	APPROVED BY:	DATE:	FILE:
DATE	NAME	DRAWN BY: DT	DATE		
		DATE 01/25/17	DATE 12/23/16		
		CHECKED BY: PC,DM	BOOK: NONE	CITY ENGINEER	
		DATE 01/27/17	SCALE: VARIES	DIRECTOR OF PUBLIC WORKS	

CITY	COUNTY	NO. OF SHEETS	SHEET NO.
EVANSTON	COOK	5	2

PROJECT NO. S.A. 1522

GENERAL NOTES

THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION, THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" LATEST EDITION, PROJECT SPECIFICATIONS, ALL APPLICABLE REQUIREMENTS OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, THE RESPECTIVE CITY, ALL APPLICABLE REQUIREMENTS OF THE ORDINANCES OF AUTHORITIES HAVING JURISDICTION AND ALL ADDENDA THERETO SHALL GOVERN THIS WORK.

THE STANDARD SPECIFICATIONS, PROJECT SPECIFICATIONS, CONSTRUCTION PLANS AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE TO BE CONSIDERED A PART OF THE CONTRACT.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADES. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, STANDARD SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSION OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.

BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER OR HIS REPRESENTATIVES. FINAL PAYMENT WILL BE MADE AFTER ALL OF THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED.

WHENEVER, DURING CONSTRUCTION OPERATIONS, ANY LOOSE MATERIAL IS DEPOSITED IN THE FLOW LINE OF GUTTERS, DRAINAGE STRUCTURES, DITCHES, ETC. SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THE LOOSE MATERIAL WILL BE REMOVED AT THE CLOSE OF EACH WORKING DAY. AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. THE CONTRACTOR'S FAILURE TO PROVIDE THE ABOVE WILL PRECLUDE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS, TRAFFIC CONTROL DEVICES, AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION.

WHENEVER THE PERFORMANCE OF WORK IS INDICATED ON THE PLANS AND NO ITEM IS INCLUDED IN THE CONTRACT FOR PAYMENT, THE WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE CONCLUSION OF EACH DAY. SITE DRAINAGE MAY BE ACHIEVED BY DITCHING, PUMPING OR ANY OTHER METHOD ACCEPTABLE TO THE ENGINEER AND RESPECTIVE CITY. THE CONTRACTOR'S FAILURE TO PROVIDE THE ABOVE WILL PRECLUDE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF.

ALL CONSTRUCTION WILL BE INSPECTED BY THE ENGINEER AND THE CITY. SPECIFICALLY ALL TRENCHES AND SEWERS SHALL BE LEFT OPEN (BUT SAFELY BARRICADED) UNTIL INSPECTED AND APPROVED BY THE CITY ENGINEER.

PAVEMENT SUBBASE, BASE, AND SURFACE MUST EACH BE INSPECTED BY THE ENGINEER AND THE RESPECTIVE CITY PRIOR TO THE NEXT PHASE OF WORK. PROOF ROLLING AND NUCLEAR DENSITY TESTING WILL BE UTILIZED.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

WHEN A CONFLICT BETWEEN PLANS AND SPECIFICATIONS OR NOTES OCCURS, THE ENGINEER SHALL DECIDE WHICH GOVERNS. GENERALLY, THE MORE RESTRICTIVE, MORE SPECIFIC, OR STRICHER PROVISION SHALL GOVERN.

CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL AREAS AFFECTED BY EQUIPMENT OR LABORERS TO EXISTING CONDITIONS. CONTRACTOR IS ALSO RESPONSIBLE FOR PROTECTING ALL NEW WORK UNTIL COMPLETION OF THIS CONTRACT.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, THE RESPECTIVE CITY AND THEIR AGENTS, FROM ALL LIABILITY INVOLVED IN THE CONSTRUCTION, INSTALLATION AND TESTING OF THE WORK ON THIS PROJECT.

THE CONTRACTOR MUST CARRY INSURANCE IN ACCORDANCE WITH CITY SPECIFICATIONS AND MUST PRESENT A JOB-SPECIFIC CERTIFICATE OF INSURANCE NAMING ALL OFFICIALS AND EMPLOYEES OF THE OWNER, THE CITY, AND THE ENGINEER, AS ADDITIONAL INSURED.

EXISTING UTILITIES: WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION OF SUCH UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATSOEVER IN RESPECT TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. HE SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES, J.U.L.I.E., THE RESPECTIVE CITY, DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS FROM THE DATE OF INITIAL ACCEPTANCE OF THE WORK BY THE OWNER AGAINST ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE.

REMOVED PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE DISPOSED OF OFFSITE AT LOCATIONS PROVIDED BY THE CONTRACTOR AT HIS EXPENSE.

CONSTRUCTION MEANS, METHODS AND JOB SITE SAFETY ARE THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR.

CONSTRUCTION ACTIVITIES MAY OCCUR BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY AND 8:00 AM TO 4:00 PM ON SATURDAY (AS APPROVED BY THE ENGINEER). CONSTRUCTION ACTIVITIES ON SUNDAY ARE PROHIBITED. NO WORK WILL BE PERFORMED ON STATE OF ILLINOIS OBSERVED HOLIDAYS. ANY VIOLATION FOR WORKING HOURS CONTRACTOR WILL BE FINED \$500.00 FOR OCCURRENCE.

PAVING AND GRADING NOTES

ALL PAVEMENT DIMENSIONS ARE TO THE EDGE OF PAVEMENT OR FACE OF CURB, UNLESS OTHERWISE INDICATED. CURB RADI ARE TO THE BACK OF CURB UNLESS OTHERWISE INDICATED.

PAVING WORK SHALL INCLUDE FINAL SUB-GRADE SHAPING AND PREPARATION, FORMING, PLACEMENT OF BASE COURSE MATERIALS, AND SUBSEQUENT BINDER AND/OR SURFACE COURSES, FINISHING AND CURING OF CONCRETE, FINAL CLEAN-UP AND ALL RELATED WORK.

THE PROPOSED PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.

PAVEMENT DESIGN SHALL BE AS DETAILED. PRIOR TO THE PLACEMENT OF ANY STONE BASE ALL SUBBASE SHALL BE COMPACTED WITH A SELF-PROPELLED SHEEPSFOOT COMPACTOR (CAT 815 OR LARGER) TO A MINIMUM DENSITY OF 95% MODIFIED PROCTOR. TESTING SHALL BE BY NUCLEAR DENSITY TEST AND PROOF ROLLING. THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE BEFORE PAVEMENT CONSTRUCTION PROCEEDS. THE PROOF ROLL MUST BE WITNESSED BY THE ENGINEER OR HIS REPRESENTATIVE. THE SUBGRADE WILL NOT BE APPROVED AND ACCEPTED WITHOUT PROOF ROLLING. THE PROOF ROLLING SHALL BE DONE BY A FULLY LOADED THREE-AXLE DUMP TRUCK TOGETHER WITH LOAD WEIGHING AT LEAST TWENTY-FIVE (25) TONS. IF THE SUBGRADE OR BASE HAS FAILURE OR PUMPING AS INDICATED BY PROOF ROLLING, THE AREA OF FAILURE OR PUMPING SHALL BE SCARIFIED AND RECOMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. SUBSEQUENT PROOF ROLL WILL BE CONDUCTED UNTIL THE SUBGRADE IS FOUND TO BE ACCEPTABLE TO THE ENGINEER.

A MODIFIED PROCTOR DENSITY OF 95% IS REQUIRED FOR STONE BASE. A DENSITY OF 93% IS REQUIRED FOR ASPHALT. ALL OFF-ROAD ZONES SHALL BE COMPACTED TO A MINIMUM OF 90% STANDARD PROCTOR. FILL CANNOT INCLUDE DEBRIS. (REMOVE ALL DEBRIS, TREES, ETC. FROM SITE).

ALL DISTURBED NON-PAVEMENT AREAS SHALL BE ROUGH GRADED. THE CONTRACTOR IS RESPONSIBLE FOR ALL EROSION PREVENTION AND REPAIR.

CURB AND GUTTER SHALL BE, 86.12, VERTICAL CURB OR MATCH EXISTING FOR SHORT SECTIONS. THE CURB SHALL CONSIST OF PORTLAND CEMENT CONCRETE, 4" SLUMP, 6.1 BAG MIX, AND AIR ENTRAINMENT OF NOT LESS FIVE (5%) OR MORE THAN EIGHT (8%). CONCRETE SHALL BE A MINIMUM COMPRESSIVE STRENGTH (3500 PSI) AT FOURTEEN (14) DAYS. ALL CURB AND GUTTER SHALL BE BROOM FINISHED. SAW CONSTRUCTION JOINTS AT LEAST 2" IN DEPTH 15' O.C. AND AT ALL P.C.'S & P.T.'S WITHIN 24 HOURS. CURB AND GUTTER SHALL BE BACKFILLED AFTER PAVEMENT IS INSTALLED. IT SHALL BE BACKFILLED AND COMPACTED FOR A DISTANCE OF 5 FEET AT A 2% GRADE.

3/4" THICK PRE-MOLDED FIBER EXPANSION JOINTS WITH 3/4" x 18" PLAIN ROUND, STEEL DOWEL BARS SHALL BE INSTALLED IN ALL CURBS, 1/2" x 12" PLAIN ROUND STEEL DOWEL BARS IN SIDEWALK AT (60') SIXTY FOOT INTERVALS AND AT ALL P.C.'S, P.T.'S, CURB RETURNS. ALTERNATE ENDS OF THE DOWEL BARS SHALL BE GREASED AND FITTED WITH METAL EXPANSION TUBES. ALL EXPANSION JOINTS MUST BE FREE OF CONCRETE FOR FULL DEPTH. CONSTRUCTION JOINTS SHALL BE TOOLED AT 5' INTERVALS IN THE SIDEWALK. THE COST OF THESE JOINTS SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT. CONSTRUCTION JOINTS SHALL ALSO BE TOOLED DOWN THE CENTER OF ALL SIDEWALKS GREATER THAN 6' WIDE. (FIVE FOOT SPACING MAXIMUM).

ALL PORTLAND CEMENT CONCRETE SHALL BE CURED AND PROTECTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.

- CONCRETE SURFACE (SIDEWALKS & DRIVEWAY PAVEMENTS)
- FINISH WITH A LIGHT BROOM FINISH.
 - 6.1 BAG MIX, 4" SLUMP MAX, 5%-8% AIR-ENTRAINED, READY-MIX CONCRETE.
 - 3500 PSI AT 14 DAYS, TWO CYLINDERS/50 CY.
 - SLOPE AT MINIMUM 1%, OR AS NOTED ON PLANS.

WHENEVER NEW CONCRETE ABUTS EXISTING CONCRETE, SET A 3/4" THICK PRE-MOLDED FIBER EXPANSION JOINT AND 3/4" IDOT STANDARD EXPANSION ANCHOR TIES IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. THIS INCLUDES CONCRETE POURED ADJACENT TO EXISTING SIDEWALKS, CURBS AND BUILDINGS. THE DOWEL BARS SHOULD BE 4" INTO EXISTING CONCRETE WITH 8" EXTENDING INTO NEW CONCRETE.

PRIME COAT FOR THE SURFACE COURSE SHALL BE APPLIED TO THE BINDER AT A RATE OF 0.07 GAL/SY (SS-1). PRIME COAT FOR THE BINDER COURSE SHALL BE APPLIED TO THE SUBBASE AT A RATE OF 0.25 GAL/SY (P.E.P.) PRIME COAT WILL NOT BE PAID FOR SEPARATELY.

WHEREVER A PAVEMENT OVERLAY OCCURS ADJACENT TO A CONCRETE SURFACE OR EXISTING PAVEMENT, THE CONTRACTOR SHALL GRIND DOWN (OR REMOVE) ASPHALT 3' WIDE BY 1.5" DEPTH UNLESS OTHERWISE NOTED ON THE PLANS. THIS IS CONSIDERED INCIDENTAL TO THE CONTRACT.

ALL CURB AND SIDEWALK SHALL BE REINFORCED WITH TWO #4 REBARS (THREE EQUALLY SPACED REBAR FOR SIDEWALK) WHENEVER THE CURB OR SIDEWALK CROSSES A UTILITY TRENCH. EXTEND THE REBAR TEN FEET BEYOND THE TRENCH ON BOTH SIDES.

ALL PAVEMENT MARKING SHALL BE EPOXY PAVEMENT MARKINGS

ALL SIGN POSTS SHALL CONFORM TO IDOT AND MUTCD STANDARDS.

PORTLAND CEMENT CONCRETE PAVEMENT

GENERAL

PORTLAND CEMENT CONCRETE PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 420 OF THE "STANDARD SPECIFICATIONS", EXCEPT THAT THE FINAL FINISH SHALL BE OBTAINED BY THE USE OF TWO (2) SEPARATE BURLAP DRAGS HAVING A DOUBLE THICKNESS, BE AT LEAST FOUR (4) FEET WIDE AND TWO (2) FEET LONGER THAN WIDTH OF SLAB UNDER CONSTRUCTION. THE BURLAP SHALL BE ATTACHED TO A BRIDGE RIDING ON PAVEMENT FORMS AND BE KEPT SATURATED WHILE IN USE. IT SHALL BE LAID ON THE PAVEMENT SURFACE AND DRAGGED IN THE DIRECTION THE PAVEMENT IS BEING LAID, WITH APPROXIMATELY TWO (2) FEET OF WIDTH IN CONTACT WITH THE PAVEMENT SURFACE. THE BURLAP DRAG SHALL BE KEPT CLEANED AND FREE OF HARDENED CONCRETE.

THE ENGINEER MAY REQUIRE CHANGES IN BELTING, BURLAPPING AND EQUIPMENT TO PRODUCE DESIRED FINAL SURFACE TEXTURE.

PREPARATION BASE:

ALL LABOR, EQUIPMENT AND MATERIAL NECESSARY FOR BASE PREPARATION SHALL BE INCLUDED IN THE VARIOUS PAY ITEMS. THIS WORK WILL NOT BE PAID FOR SEPARATELY.

TRANSVERSE EXPANSION JOINTS

TRANSVERSE EXPANSION JOINTS SHALL BE PLACED THROUGHOUT THE ENTIRE IMPROVEMENT ACROSS THE CONCRETE PAVEMENT AT RIGHT ANGLES TO THE EDGE THEREOF AND AT INTERVALS OF SIXTY FEET (60') MEASURED ALONG SAID CENTER LINE. THE EXPANSION JOINTS SHALL BE MADE BY PLACING AND LEAVING IN PLACE PRIOR TO LAYING THE CONCRETE MIXTURE FOR THE PAVEMENT, BITUMINOUS PRE-MOLDED JOINT FILLER CONFORMING TO THE REQUIREMENTS OF ARTICLE 751.03 OF THE "STANDARD SPECIFICATIONS"; SAID JOINT FILLER SHALL BE ONE INCH (1") IN THICKNESS AND SHALL EXTEND VERTICALLY FROM A POINT ONE INCH (1") BELOW THE TOP OF THE SUBGRADE TO A POINT ONE-HALF INCH (1/2") BELOW THE FINISHED GRADE OF THE PAVEMENT. THE INTERVENING SPACE BETWEEN THE TOP OF SAID JOINT FILLER AND THE FINISHED GRADE OF THE PAVEMENT SHALL BE FILLED WITH ASPHALT P.A.F.-3.

LOAD TRANSFER ACROSS SAID EXPANSION JOINT SHALL BE ACCOMPLISHED BY INSTALLATION OF ONE INCH (1") ROUND, PRE-COATED, SMOOTH STEEL BARS EIGHTEEN INCHES (18") LONG AT TWELVE INCH (12") CENTER THROUGH SAID JOINT FILLER, OR BY OTHER LOAD TRANSFER DEVICE APPROVED BY THE ENGINEER. ONE END OF EACH OF SAID STEEL BAR SHALL BE FURNISHED WITH A METAL OR FIBER CAP TO PROVIDE ONE INCH (1") OF EXPANSION SPACE. SAID STEEL BARS SHALL BE MAINTAINED RIGIDLY IN PROPER ALIGNMENT BY APPROVED MEANS.

ALL MANHOLE FRAMES AND OTHER FIXED OBJECTS, WITH THE EXPANSION OF FRAMES OTHERWISE MENTIONED IN THOSE SPECIFICATIONS, SHALL BE SEPARATED FROM THE CONCRETE PAVEMENT BY A JOINT FILLER OF THE SAME THICKNESS AND CHARACTER AS HEREINBEFORE SPECIFIED FOR EXPANSION JOINTS, WHICH JOINT FILLER SHALL EXTEND THROUGH THE ENTIRE THICKNESS OF THE PAVEMENT. SAID JOINT FILLER SHALL BE PLACED IN SUCH A MANNER AS TO FORM A SQUARE WHOSE SIDES WILL BE FIFTEEN INCHES (15") FROM THE UPPER OUTSIDE EDGES OF THE FRAMES.

FURNISHING ALL LABOR, EQUIPMENT, AND MATERIAL FOR INSTALLATION OF SAID EXPANSION JOINTS, LOAD TRANSFER DEVICES AND REINFORCING STEEL SHALL NOT BE PAID FOR DIRECTLY, BUT WILL BE CONSIDERED INCIDENTAL TO THE CONSTRUCTION OF THE PORTLAND CEMENT CONCRETE PAVEMENT.

CONTRACTION JOINT

SEE THE DETAIL FOR CONTRACTION JOINT. ALL SAW JOINT TO BE FILLED FLUSH WITH SEALER.

MIXING AND PLACING CONCRETE

CONCRETE SHALL BE MIXED AND PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 420 OF THE "STANDARD SPECIFICATIONS", INsofar AS THE SAME MAY APPLY. WHILE BEING PLACED, THE CONCRETE SHALL BE VIGOROUSLY VIBRATED BY THE USE OF A MECHANICAL VIBRATING DEVICE, AND SPADED TO ELIMINATE VOIDS OR HONEYCOMB POCKETS AND BULKHEADS. THE CONCRETE SHALL BE STRUCK OFF, SO THAT THE UPPER SURFACE SHALL CONFORM TO AND BE SUFFICIENTLY HIGHER THAN THE CONTOUR HEREIN SPECIFIED FOR THE UPPER SURFACE OF THE FINISHED PAVEMENT, TO GIVE THE SPECIFIED THICKNESS OF PAVEMENT HEREIN REQUIRED. THE STRIKE BOARD SHALL BE MOVED FORWARD WITH A COMBINED LONGITUDINAL AND TRANSVERSE MOTION, AND SO MANIPULATED AS TO TAMP THE CONCRETE THOROUGHLY. A SLIGHT EXCESS OF MATERIAL SHALL BE KEPT IN FRONT OF THE CUTTING EDGE AT ALL TIMES. THE ENTIRE AREA OF THE PAVEMENT SHALL BE STRUCK OFF AND TAMPED, SO EXECUTED AS TO INSURE MAXIMUM COMPACTION.

FINISHED CONCRETE

AFTER THE VIBRATING AND THE TAMPING HAS BEEN COMPLETED, THE PAVEMENT SHALL BE RUBBED SMOOTH OF ALL RIDGES AND DEPRESSIONS AND BROUGHT TO A TRUE EVEN SURFACE BY THE USE OF WOODEN FLOATS. A SPLIT FLOAT, SHAPED ON THE UNDER SIDE TO CONFORM TO THE CONTOUR OF THE PAVEMENT, SHALL BE USED FOR FINISHING THE CONCRETE ON BOTH SIDES OF THE LONGITUDINAL JOINTS, HEREINBEFORE SPECIFIED. THE EDGES ADJOINING THE TRANSVERSE EXPANSION JOINT AND THE FORM SHALL BE TOOLED WITH AN EDGING TOOL HAVE A RADIUS OF ONE-QUARTER INCH (3/4").

AFTER THE FLOATING HAS BEEN COMPLETED, THE SURFACE OF THE PAVEMENT SHALL BE TESTED WITH A NOTCHED STRAIGHT EDGE, TEN FEET (10') IN LENGTH. THIS STRAIGHT EDGE SHALL BE PLACED OVER THE TRANSVERSE JOINTS AND BETWEEN THE SAME AT FREQUENT INTERVALS, PARALLEL TO THE CENTER LINE OF THE PAVEMENT AND MOVED ACROSS FROM SIDE TO SIDE. ANY VIBRATION IN EXCESS OF ONE-EIGHTH INCH (1/8") ABOVE OR BELOW THE GENERAL ESTABLISHED CONTOUR OF THE PAVEMENT SHALL BE RUBBED WITH A LONG HANDLED FLOAT AND THE IRREGULARITIES CORRECTED UNTIL THE STRAIGHT EDGE SHALL SHOW A BEARING FOR ITS ENTIRE LENGTH.

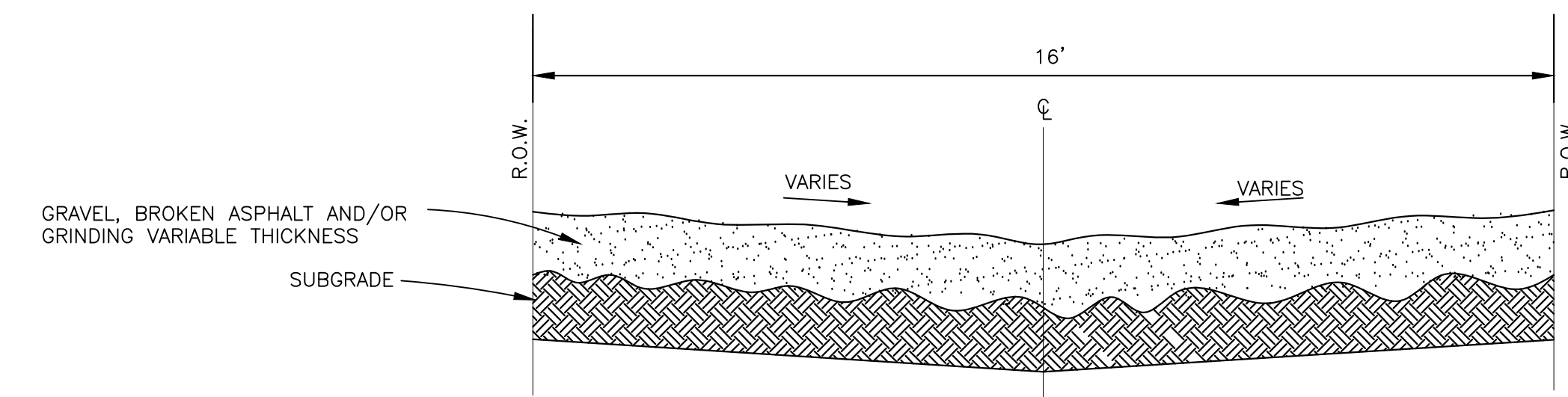
WORKMEN SHALL NOT WALK ON FRESHLY LAID CONCRETE AND NO ONE SHALL BE ALLOWED ON THE CONCRETE AFTER IT HAS BEEN WORKED INTO FORM AND SHAPE UNTIL IT HAS ENTIRELY HARDENED. THE ENTIRE SURFACING OF THE CONCRETE PAVEMENT SHALL BE DONE WITH A BRIDGE, NOT LESS THAN ONE FOOT (1') IN WIDTH WHICH SHALL NOT COME IN CONTACT WITH THE CONCRETE PAVEMENT AT ANY POINT. TWO (2) OF SAID BRIDGES SHALL BE PROVIDED FOR EACH CONCRETE MIXING GANG. TWO BRIDGES SHALL BE MAINTAINED IN CONSTANT READINESS TO BE IMMEDIATELY MOVED INTO POSITION, TO PROVIDE ACCESS FOR FINISHING, TOOLING AND EDGING JOINTS, ADJUSTING AND REFINISHING DAMAGED PORTIONS OF THE FINISHED SURFACE.

PROTECTION AND CURING

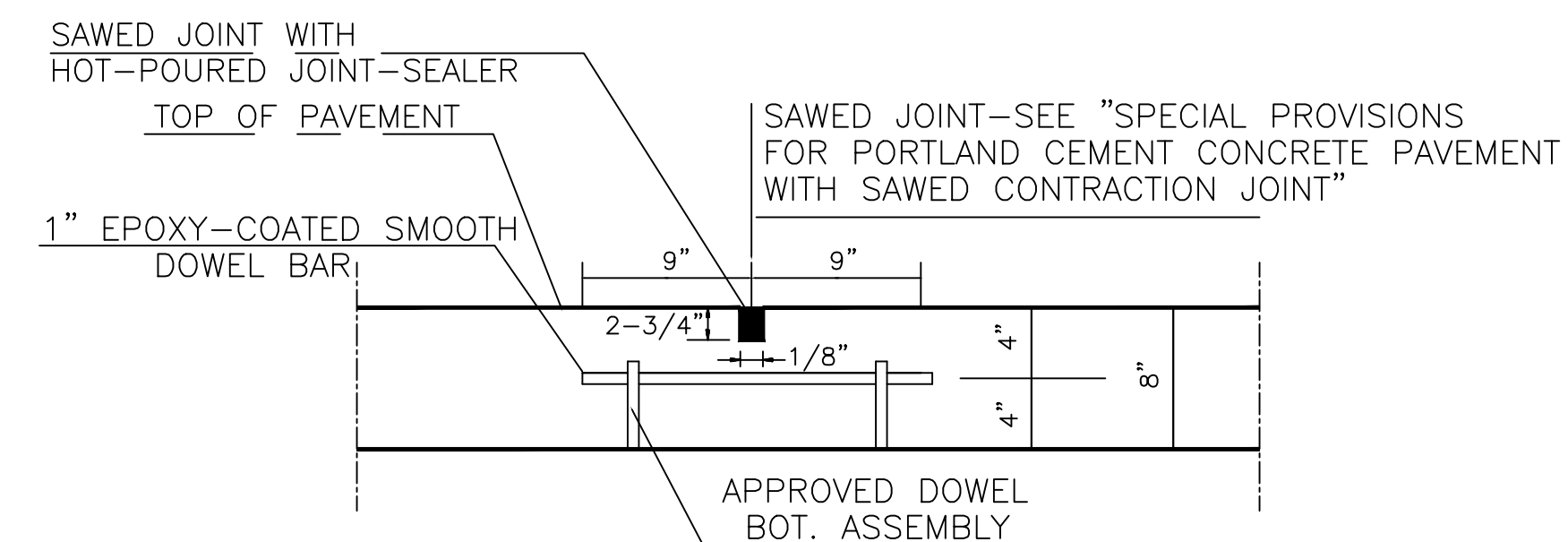
PROTECTION AND CURING SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 420 OF THE "STANDARD SPECIFICATIONS".

PROTECTIVE SEALER

TO REDUCE THE PENETRATION OF SALT, THE NUMBER ONE CAUSE OF REPAIR CORROSION, SPALLING AND CRACKING, A PROTECTIVE SURFACE TREATMENT CONSISTING OF CHEM-TRETE BSM 20 OR EQUAL SHALL BE APPLIED TO THE SURFACE OF THE PORTLAND CEMENT CONCRETE PAVEMENT. BEFORE THE SURFACE TREATMENT MIXTURE IS APPLIED, THE CONCRETE SURFACE SHALL HAVE A MINIMUM CURING PERIOD OF 28 CALENDAR DAYS PRIOR TO THE APPLICATION OF THE MIXTURE AND SHALL BE CLEANED TO REMOVE ALL OIL, GRIME, AND LOOSE PARTICLES WHICH WOULD PREVENT THE MIXTURE FROM PENETRATING THE CONCRETE. IF CHEM-TRETE BSM 20 WILL BE USED FOR PROTECTIVE SURFACE TREATMENT, SODIUM SILICATE CURING COMPOUND SHALL BE APPLIED FOR CONCRETE CURING, UNLESS OTHERWISE DIRECTED BY THE ENGINEER. THE TEMPERATURE OF CONCRETE AND THE AIR SHALL BE 50 DEG. F OR HIGHER AT THE TIME OF APPLICATION

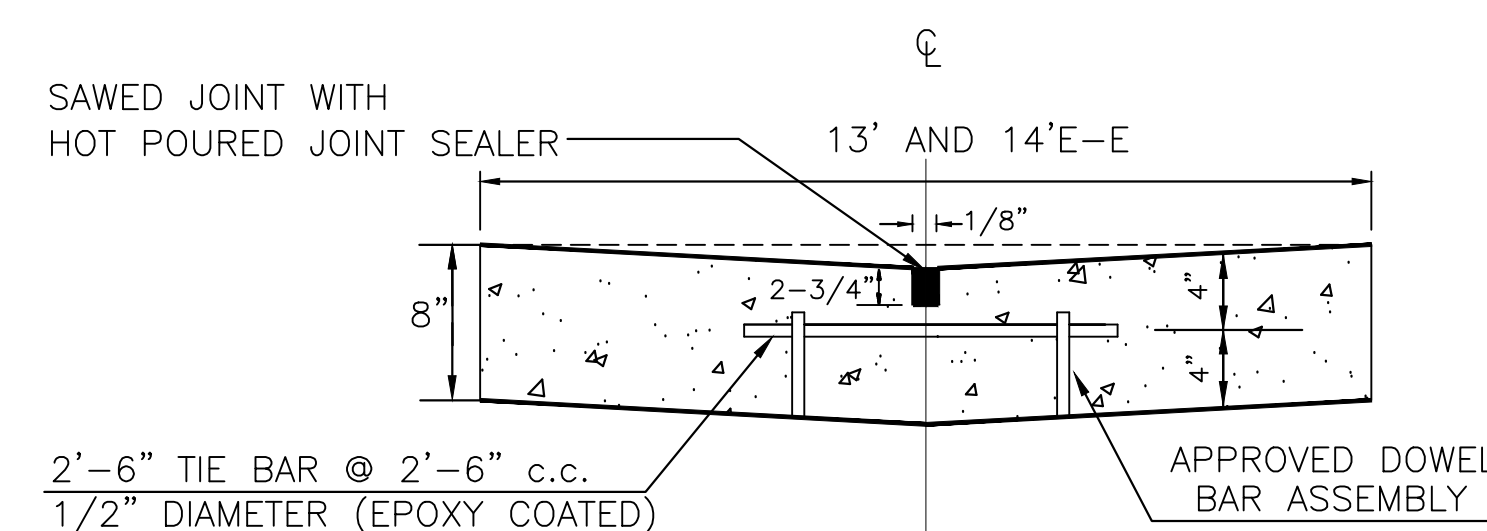


EXISTING TYPICAL CROSS-SECTION (NOT TO SCALE)



SAWED CONTRACTION JOINT

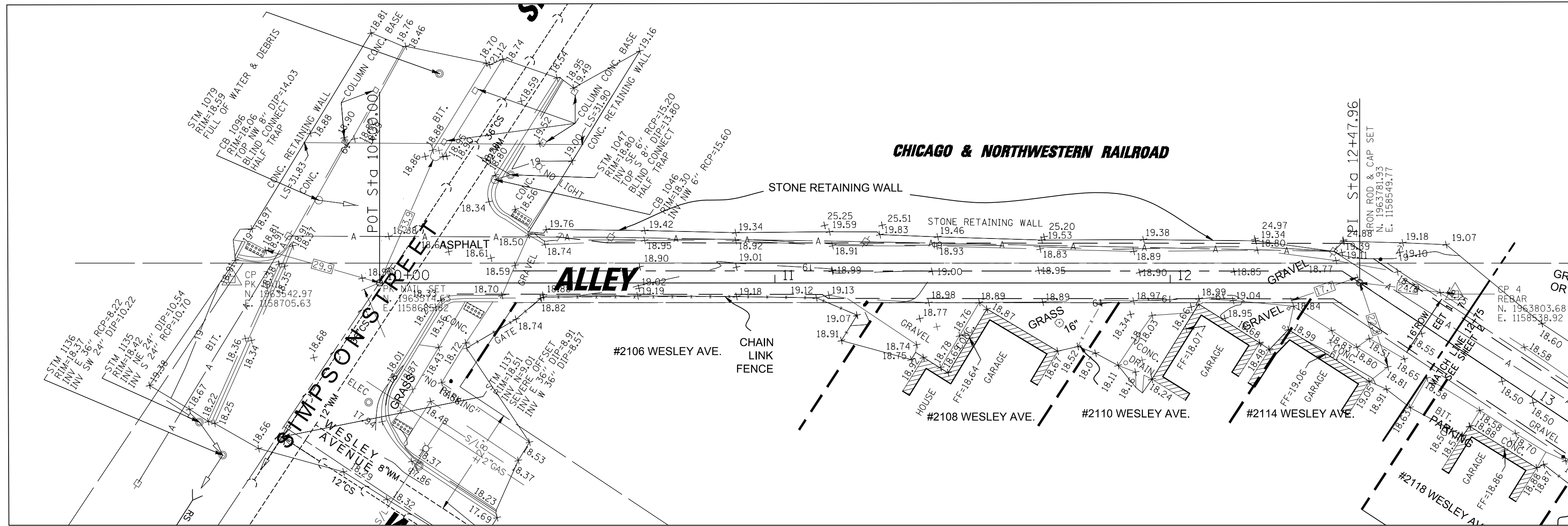
ALL SAWED JOINT TO BE FILLED FLUSH WITH SEALER, HOT Poured TYPE FOR JOINTS IN CONCRETE S.S.-5-164, OR WITH COLD APPLIED READY MIXED CONCRETE JOINT SEALING COMPOUND AS SPECIFIED IN THE "SPECIAL PROVISION FOR PORTLAND CEMENT CONCRETE PAVEMENT WITH SAWED CONTRACTION JOINTS"



LONGITUDINAL SAWED CENTER JOINT TYPICAL SECTION

ALLEY NORTH OF SIMPSON STREET, EAST OF RAIL ROAD ROW

EXISTING

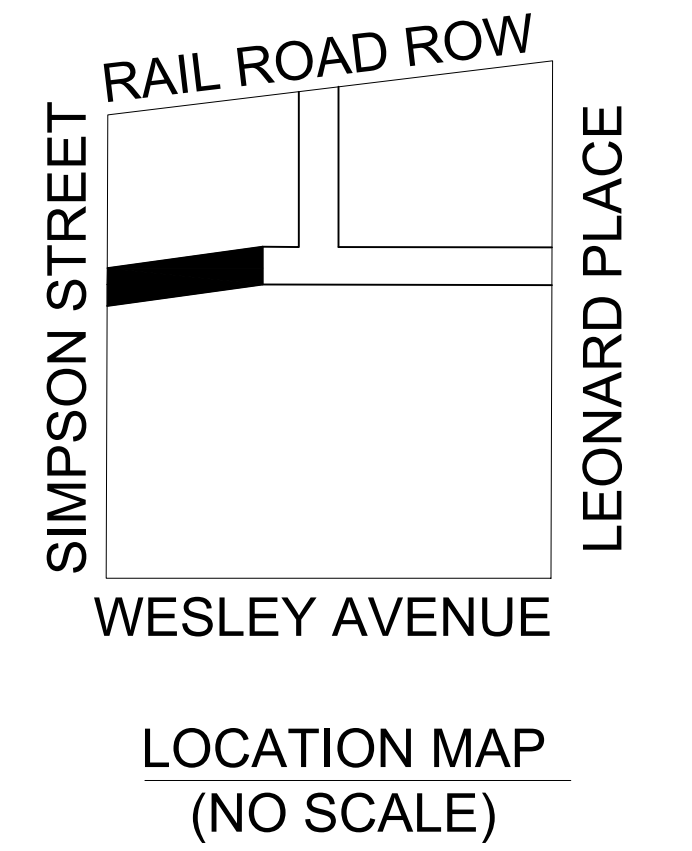


LEGEND

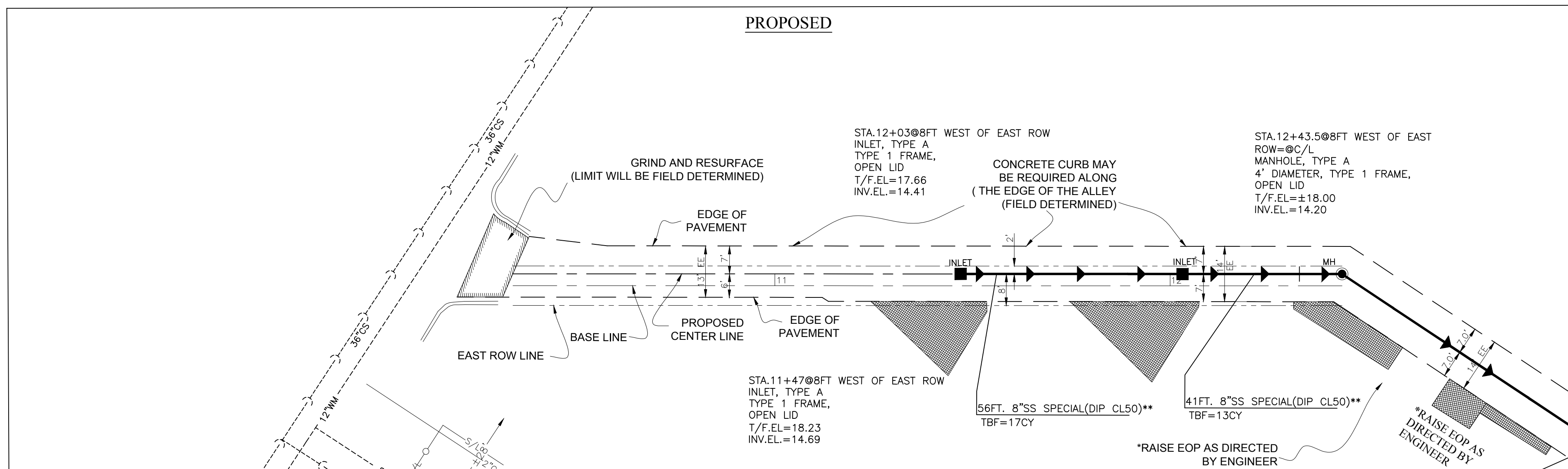
- ELEVATION BENCHMARK
- SIGN
- INLET
- CATCH BASIN
- DRAIN
- MANHOLE
- POWER POLE
- GUY WIRE
- SPLICE BOX
- TELEPHONE SPLICE BOX
- BUSH
- DECIDUOUS TREE
- CONIFEROUS TREE
- CONTOUR LINE
- EDGE OF PAVEMENT
- PAINT STRIPING
- BUSH LINE
- GUARDRAIL
- BUILDING EDGE
- BUILDING OVERHANG
- FENCE LINE
- AERIAL WIRES
- STORM SEWER
- SANITARY SEWER
- COMBO SEWER
- CENTERLINE
- R.O.W. LINE
- ADA DETECTABLE WARNING

CITY	COUNTY	NO. OF SHEETS	SHEET NO.
EVANSTON	COOK	5	3

PROJECT NO: SA 1522
 HORIZONTAL SCALE: 1" = 20'
 VERTICAL SCALE: 1" = 2'

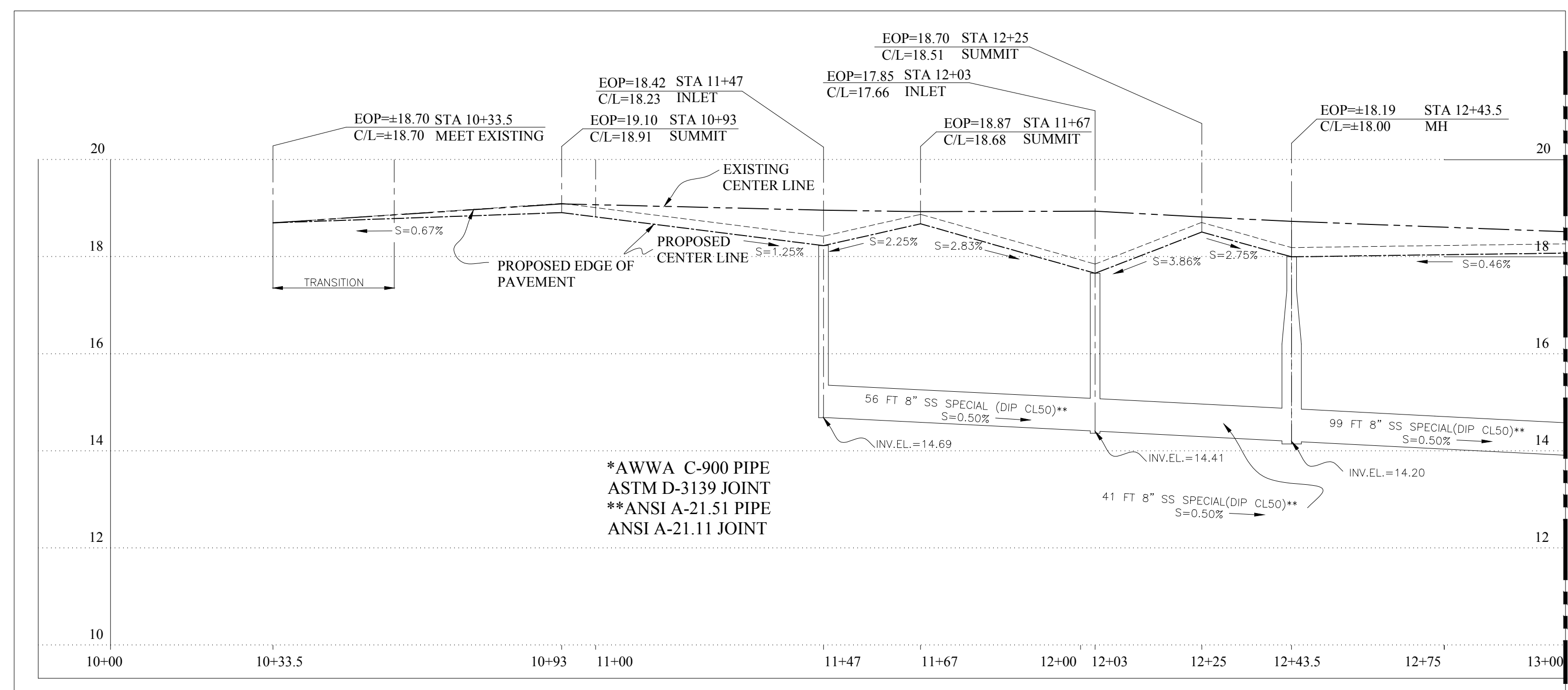


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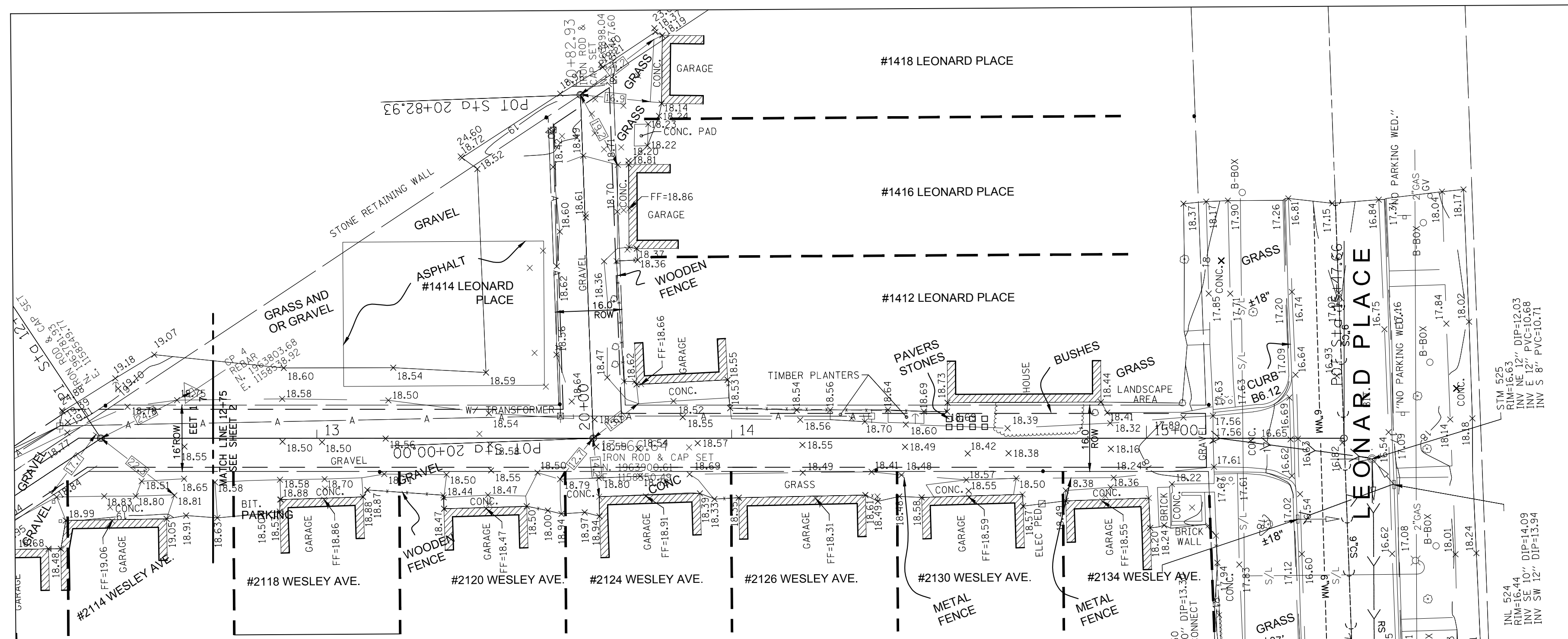
BENCHMARKS

NO.	DESCRIPTION	ELEV.
OSBM 16-2	SPIKE IN EAST FACE OF UTILITY POLE AT NW CORNER OF PUBLIC WORKS PROPERTY ON SOUTH SIDE OF SIMPSON STREET @ WESLEY AVENUE	20.86
OSBM 16-3	NORTH SIDE OF DOORWAY OF GARAGE AT "T" IN ALLEY SOUTH OF LEONARD PLACE & WEST OF WESLEY AVENUE	18.94
BM #36	CITY OF EVANSTON GIS BENCHMARK #36, SOUTH SIDE OF CENTRAL STREET ON THE SOUTH SIDE OF SIDEWALK, WEST OF ELM AVENUE	26.22
BM #40	CITY OF EVANSTON GIS BENCHMARK #40, EAST SIDE OF ASBURY AVENUE ON THE EAST SIDE OF SIDEWALK, NORTH OF SIMPSON	18.15
BM #42	CITY OF EVANSTON GIS BENCHMARK #42, NORTHEAST CORNER OF DAVIS STREET & FOREST PLACE NORTH OF SIDEWALK	16.25



ALLEY NORTH OF SIMPSON STREET, EAST OF RAIL ROAD ROW

EXISTING

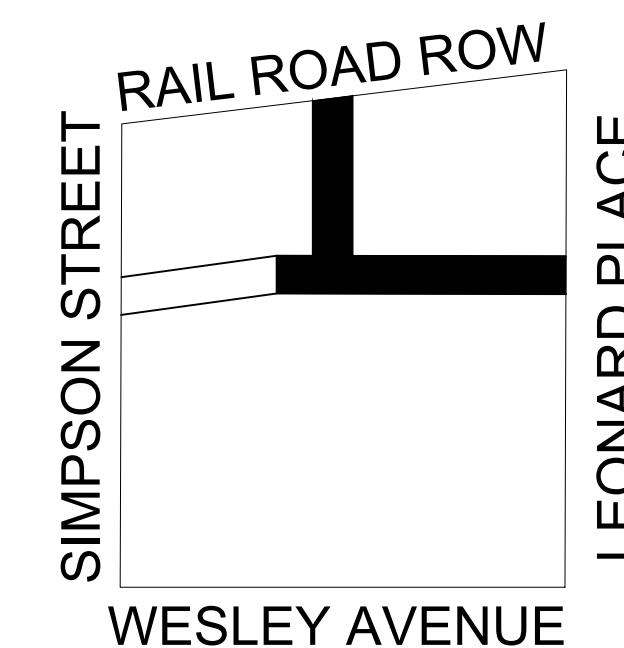


CITY	COUNTY	NO. OF SHEETS	SHEET NO.
EVANSTON	COOK	5	4

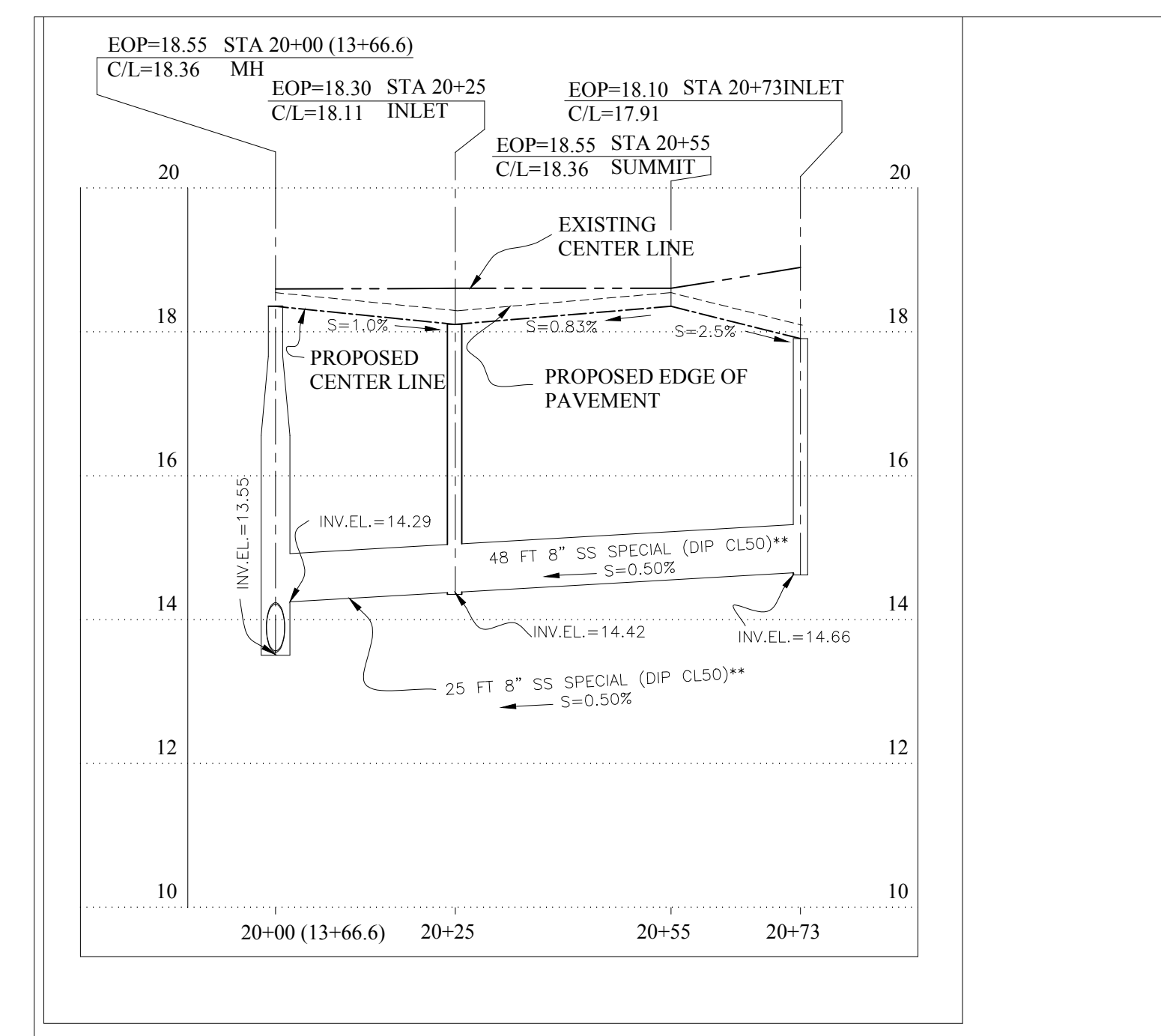
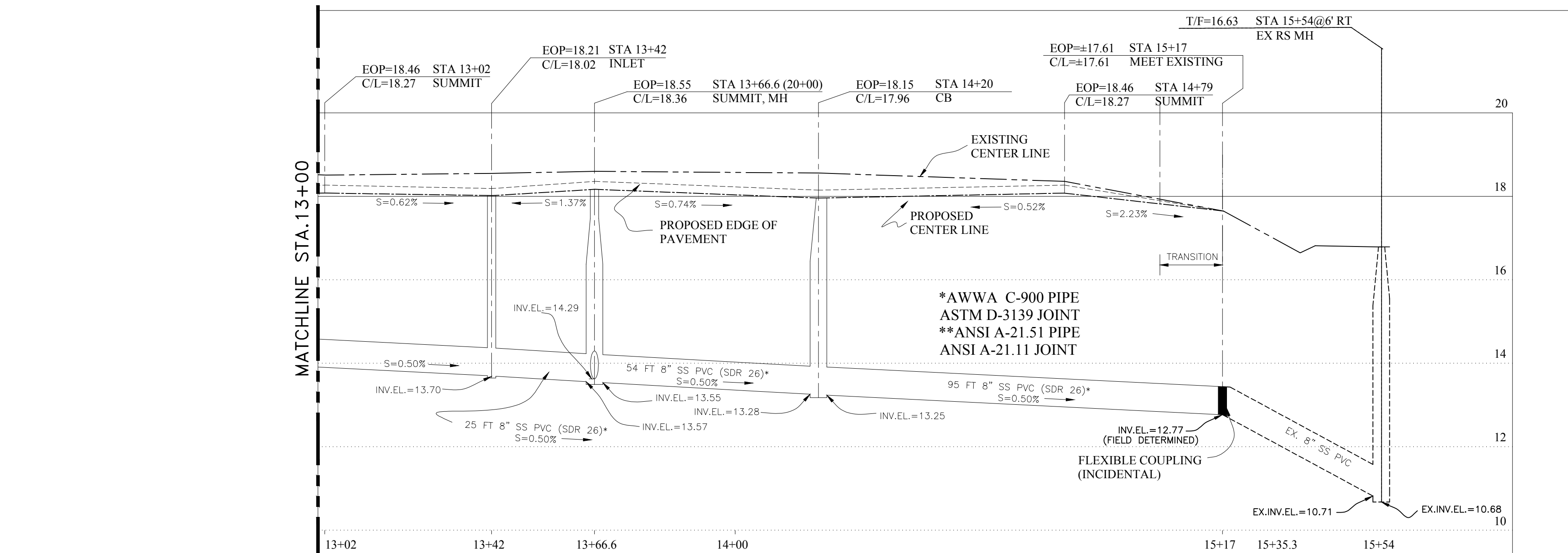
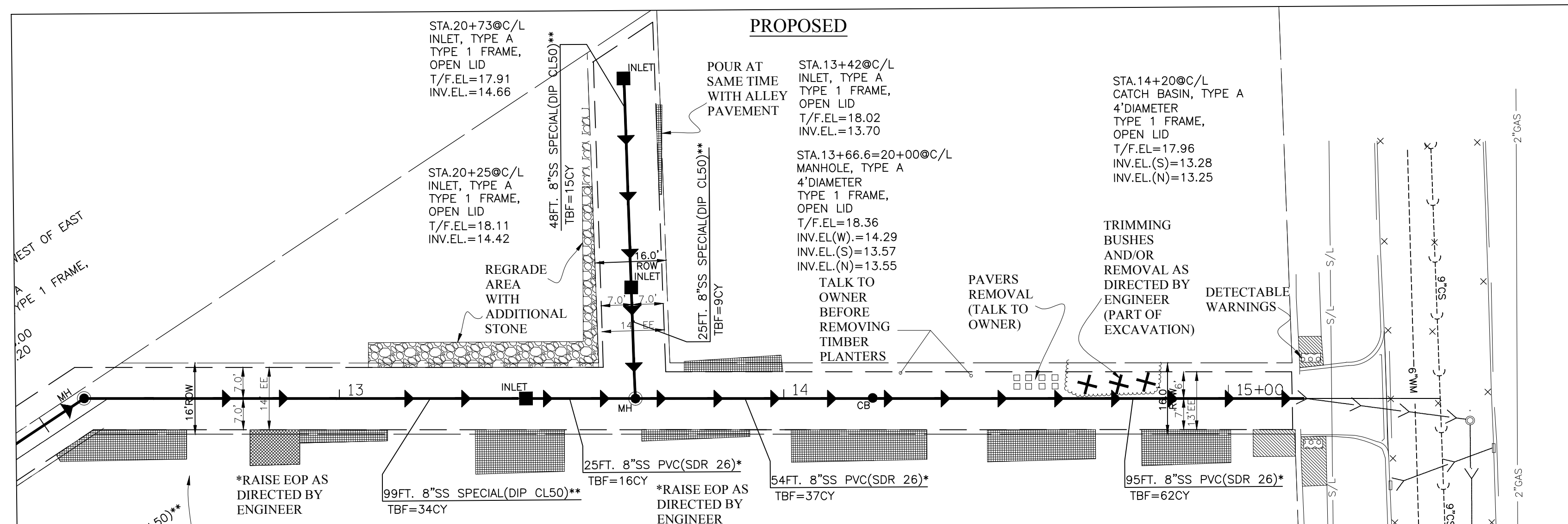
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LEGEND

- ELEVATION BENCHMARK
- SIGN
- INLET
- CATCH BASIN
- DRAIN
- BOLLARD
- VENT PIPE
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- STORM SEWER
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- R.O.W. LINE
- ADA DETECTABLE WARNING



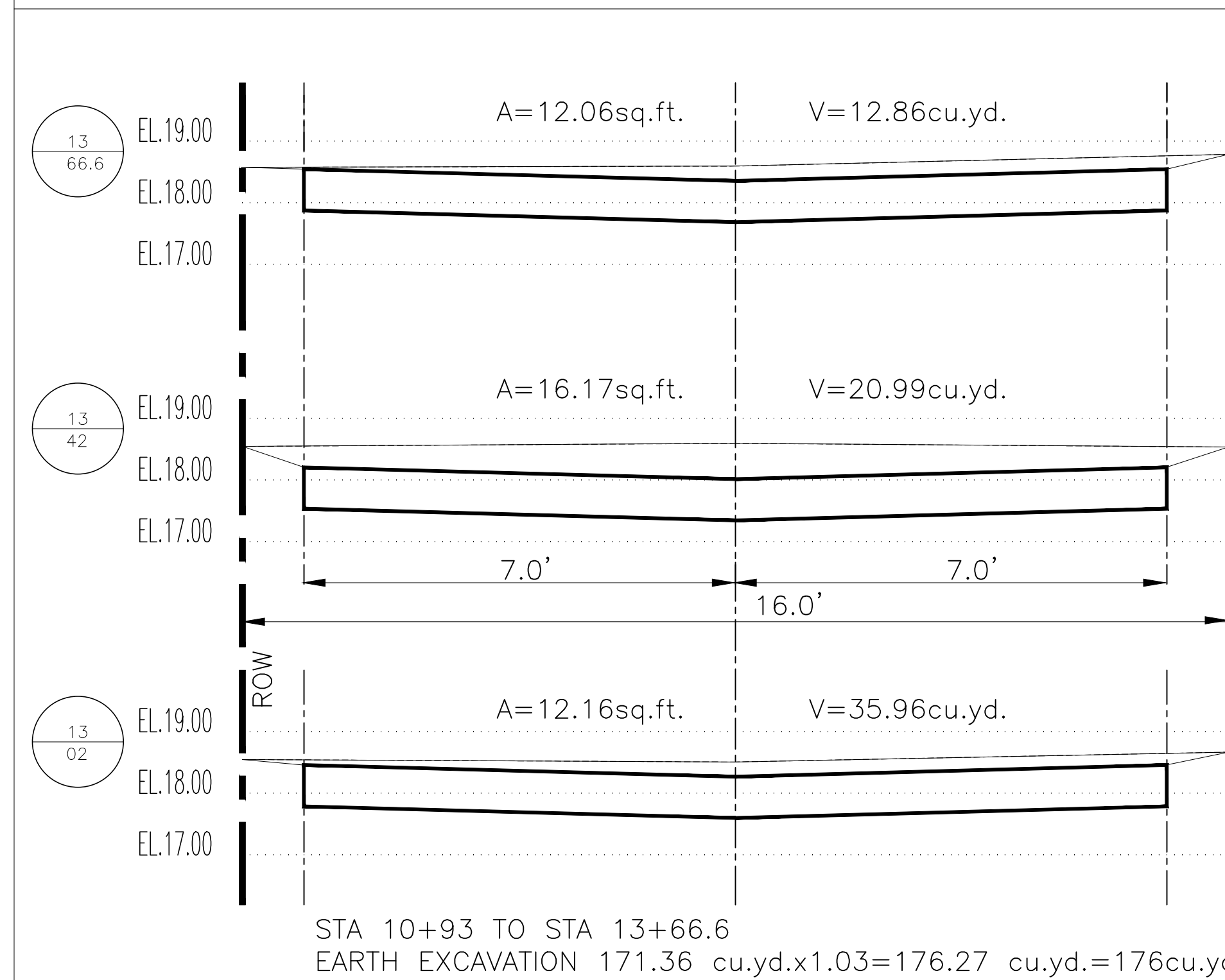
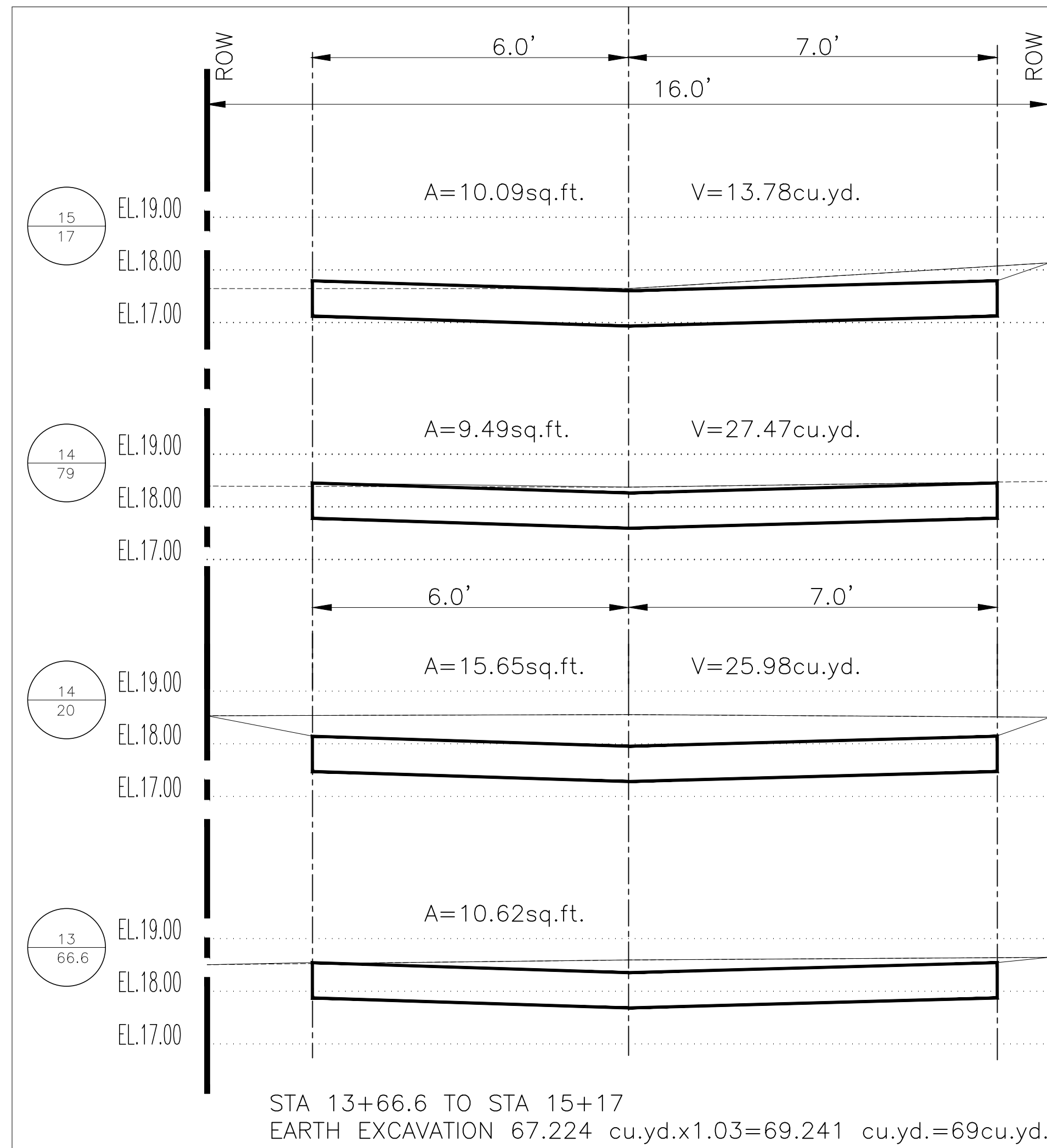
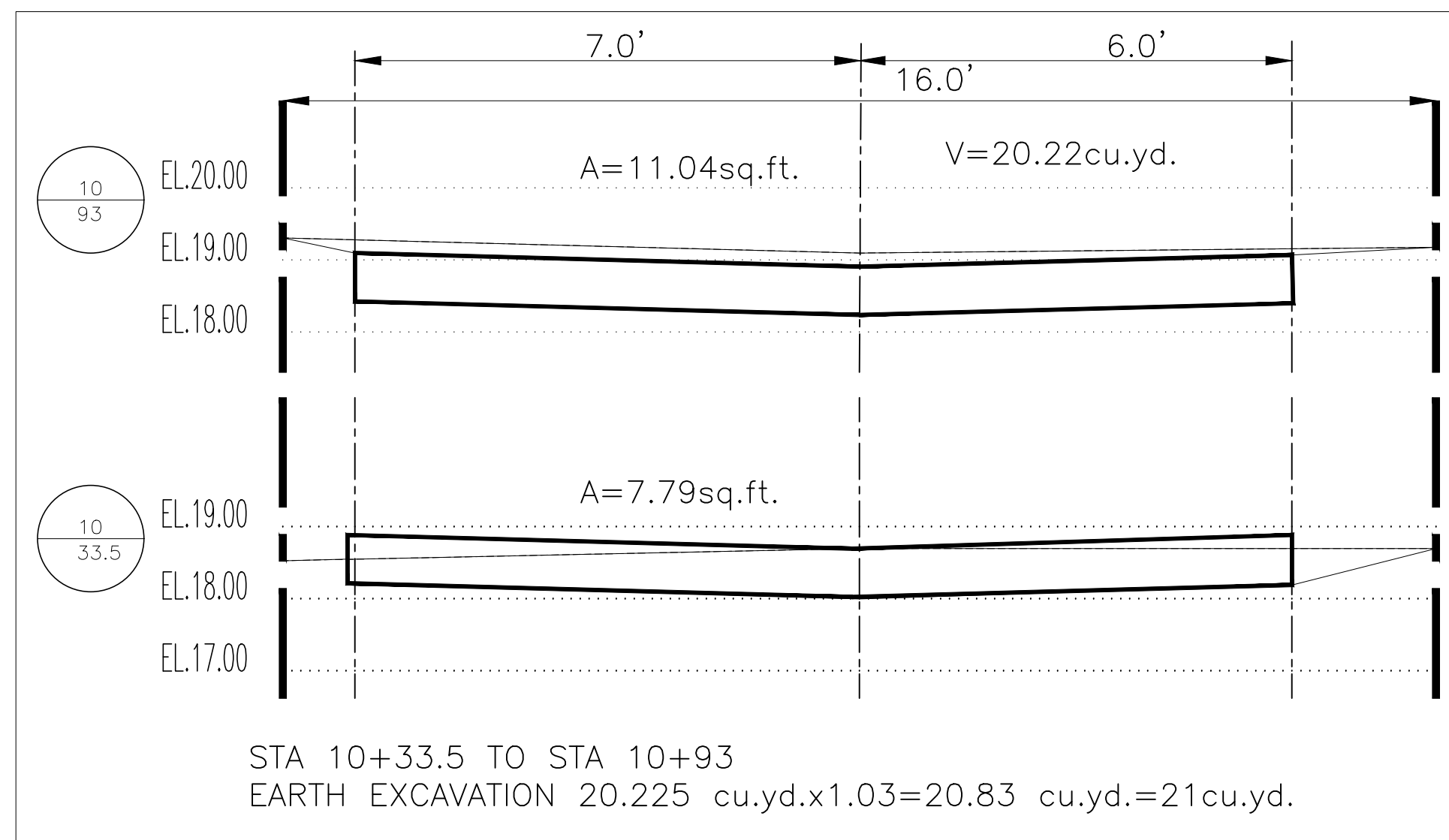
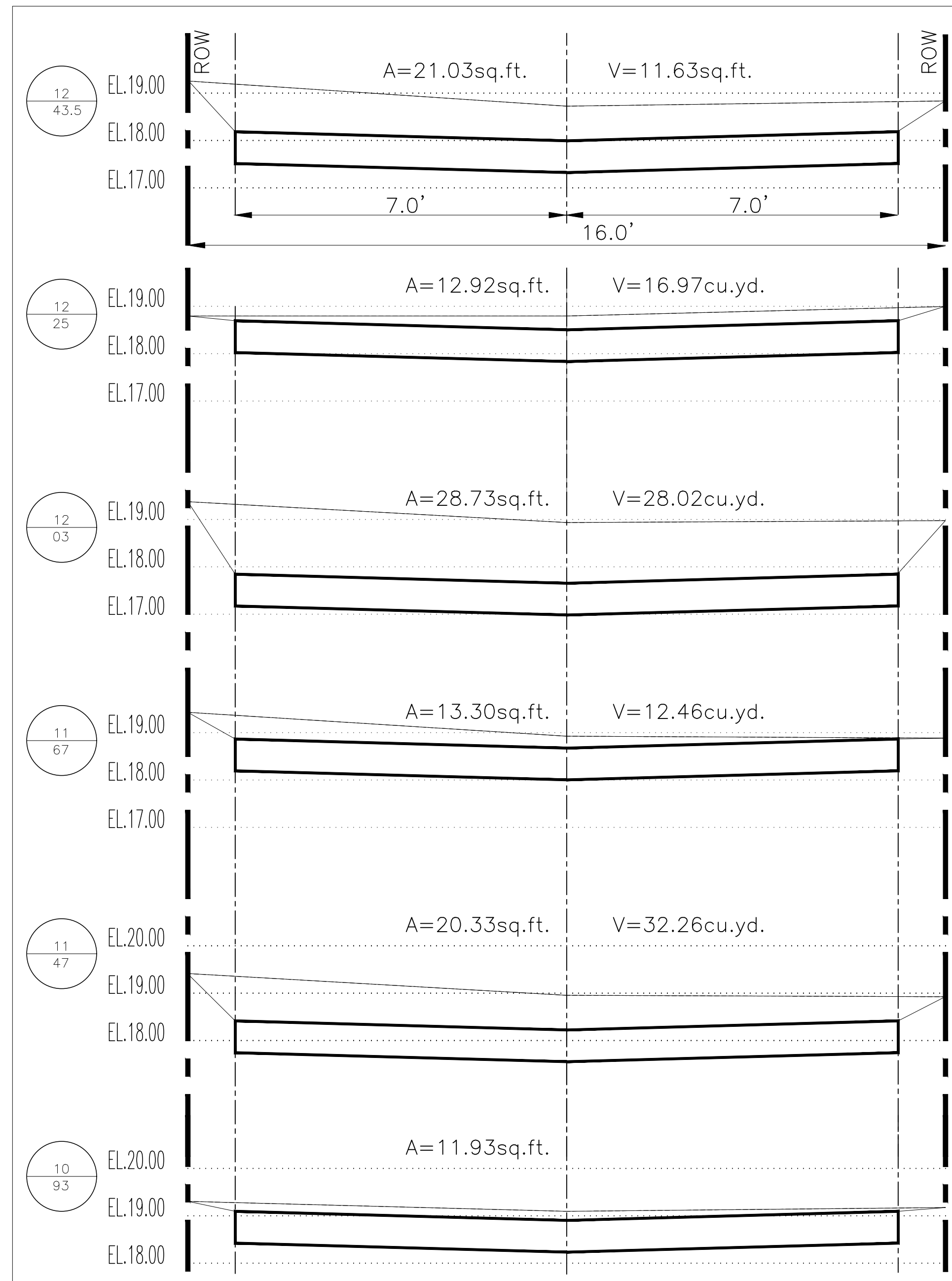
LOCATION MAP (NO SCALE)



SURVEY BOOK	SURVEYED BY	DATE
NONE	V3 ENGINEERS	01/20/17
	PLOTTED AREAS CHECKED	01/24/17
	DT PC	

CITY	COUNTY	NO. OF SHEETS	SHEET NO.
EVANSTON	COOK	5	5

PROJECT NO. S.A. 1522
HOR AND VERT SCALE: 1"=2'



TOTAL EARTH EXCAVATION FOR THE PROJECT= 21+176+69+39=305 CU.YD.

