

1571 Maple
Evanston, Illinois
60202



Construction Management Plan

April 15, 2016

General Contractor: NOVAK CONSTRUCTION COMPANY
Owner: CENTRUM PROPERTIES
Architect: HIRSCH AND ASSOCIATES

This Construction Management Plan has been prepared by Novak Construction Company and outlines the construction procedures that will be used during the construction of the project located at 1571 Maple Avenue in Evanston, Illinois.

Staging and Logistics

The attached Exhibits are the construction site logistics/staging plan that will be used during the project. The project will primarily be completed in 4 major phases. Phase 3 and Phase 4 overlap by 3-4 Months

Phase 1 – Mobilization and Caisson Installation. Approximate Duration 1 Months. Exhibit A

Phase 2 – Mass Excavation, ERS Systems, Foundation, Underground Utilities, Ground Level Concrete. Approximate Duration 4 Months. Exhibit B

Phase 3 - Structural Steel and Precast Plank Tower Operations. Approximate Duration 4 Months. Exhibit C

Phase 4 – Exterior Skin System and Interior Build-Out. Approximate Duration 6 Months. Exhibit D

The field office for the site will be located with the southwest corner of the construction site. Dumpsters and concrete wash out will be adjacent to the Construction Entrance at Maple Ave, located within the parking lot area. The man hoist will be installed within the fence boundary, within the parking lot off Maple Ave.

Jersey barriers with a fence/wind screen tops will be installed along Elmwood Ave, as needed, to separate traffic from the construction staging area and site. Construction staging areas will be maintained within the project barricades. In-swing Gates with stops to prevent out swinging and/or removable fence panels will be used to access the interior of the site. The fencing will be installed (post driven, wind screens and top rails) around the site to fully enclosure the property. Pedestrian traffic mirrors will be installed at the entrance and exit gates to allow pedestrians to see traffic that is exiting the construction area. Required signage on the construction fence along Elmwood and Maple Ave. shall include a rendering of the approved design (to be approved by the City of Evanston), website address and emergency contact information. All other fence openings/gates shall have the required emergency contact information and include padlock knoxlock as specified by the City of Evanston.

Pedestrian traffic will continue to be able to use the west side of Elmwood Ave, the east side of Maple and the south side of Davis, during the construction of Phase 1 and 2. The fencing will be installed on the side walk, leaving a minimum of 5' of existing accessible sidewalk for pedestrian traffic along Elmwood and Davis with 12' of accessible side walk on Maple. If the sidewalk needs to be closed for more than a day, the pedestrians will be temporarily routed to Maple Avenue or Elmwood, with the appropriate signage. The existing street lights and foundations will be removed and the opening replaced with concrete for pedestrian use, temp street lighting will be installed on site to light the sidewalk and street area.

For Phase 3 and 4, the sidewalk on Elmwood will be closed for the majority of this duration and pedestrian traffic will be re-rerouted to Maple Ave, with appropriate signage. A sidewalk canopy will be placed on the south side of Davis during phase 3

and 4 to protect the public from work above.

Signage directing pedestrians to any relocated walkways will be in place and maintained throughout construction with accessible curb ramps with detectable warnings at all curb cuts in accordance with the Illinois Accessibility Code. Traffic control flagmen will be provided at the street when trucks are entering or leaving the project site for the safety of pedestrians.

Scheduled work day closures for portions of Maple and Elmwood Ave will be required for the connection of underground utilities. This work will be scheduled with the City. Maple Ave will always have at least one drive lane available to vehicular traffic. Elmwood Ave will be closed to through traffic during Phase 3 and 4.

At the onset of the project, the streetscape, parking meters and light pole directly to the West of the project site entrance will be removed. A junction box will be added at the street light location to allow the electrical to feed to the adjacent lights. Temporary lighting will be installed in this area, if required for safety. The temporary construction entrance will be located at this spot and the two parking spaces will need to be removed for the duration of the project.

All temporary facilities such as fencing, barricades, and trailers will be removed from the site upon completion of the project.

Project Schedule

Project Milestone dates for the project:

■ Earth Retention/Caissons/Foundation	April 25, 2016 – June 25, 2016
■ Building Structure	July 2016– December 2016
■ Façade/Windows/Roof	August 2016 – May 2017
■ Interiors	August 2016 – May 2017

Construction Work Hours

Work hours for the project will be per the City of Evanston requirements:

Monday - Friday:	7am - 7pm
Saturday:	8am - 5pm
Sunday:	Work not allowed unless special permission is granted from the City.

Contractor Parking

There will be no onsite parking for contractors with the exception of the project superintendent and for contractor loading and unloading of tools or equipment only.

Contractors and construction personnel will be required to park in one of the Public Parking garages in the surrounding area. The closest locations are the Sherman Plaza Self Park at Davis and Benson and 1010 Grove Street. (See Exhibit which is the City of Evanston Public Parking Off-Street Facilities and Lots).

Subcontractors will not be allowed to park on residential city streets. Any contractors who park on residential city streets will be removed from the jobsite.

Parking restrictions will be incorporated into all subcontract agreements and communicated weekly to all on site personnel.

Delivery Routes and Staging

We have reviewed the various streets entering and exiting Evanston and have developed a site access plan that is in strict accordance with the City of Evanston Truck Routes as published on the City of Evanston website as well as attached to this plan as Exhibit E. The construction truck routing is broken down per Phases below:

The following traffic controls will be in place during the project:

- **Phase 1 and Phase 2** – Caisson, Excavation, ERS and Foundation Operations

Construction traffic will arrive to the site using acceptable routes to Maple Avenue keeping in mind the posted height restrictions as noted in Exhibit F, at which point enter the site at the southwest gate as indicated on the Phase Drawings.

Traffic exiting the site will only exit on Maple Avenue and Elmwood Avenue to the approved truck routes per Exhibit H that will take them to the North, South or West to exit the City of Evanston.

Staging of trucks will be on Elmwood Ave adjacent to the property, with one lane of traffic always open. Parking along Elmwood Ave will be allowed for the Public in metered spaces

- **Phase 3** – Structural Steel & Precast Erection of Tower

Erection of Phase 3 (Structural Steel and Precast Plank) will be with a crane positioned in Elmwood Ave. Truck traffic and deliveries will be from the Elmwood Ave side, through the closed section of Street, then exiting Elmwood Ave. North on to Davis Street. When trucks are crossing any construction pedestrian lane, flagmen will be provided.

Traffic exiting the site will only exit on Elmwood Avenue, North to Davis to the approved truck routes per Exhibit H that will take them to the North, South or West to exit the City of Evanston.

Vehicular public traffic will be temporarily routed away from Elmwood Ave to Maple Ave for the duration of this work, which should be 50-60 days. Signage will be placed around the area as well as temporary traffic controls per Exhibit G.

Street closure of Elmwood will be 24 Hours per day, 7 Days per week for the duration of the phase

- **Phase 4** – Exterior Enclosure & Interior Build-out

Construction traffic will arrive to the site using acceptable routes to Maple Avenue keeping in mind the posted height restrictions as noted in Exhibit H, at which point enter the site at the southwest gate as indicated on the Phase Drawings.

Traffic exiting the site will only exit on Maple Avenue to the approved truck routes per

Exhibit H that will take them to the North, South or West to exit the City of Evanston.
Staging of trucks on local residential streets will not be permitted.

Any Contractor or Subcontractor whose personnel do not adhere to the foregoing contractual terms will be required to utilize other drivers for their subsequent deliveries.

Vibration Monitoring and Surveys

Vibration Monitoring

Prior to commencement of construction activities, seismographs to monitor vibrations will be installed at select buildings surrounding the project site to ensure damaging levels of vibration are not occurring at any neighboring properties.

Seismographs will be used and installed in accordance with manufacturer's and consultant's recommendations. We anticipate [4] units will be installed: two units located in the basement of the south existing structure (Winthrop Club at 1570 Elmwood), and one unit located on the Metra Wall Structure to the East of the site and one unit in the basement of the Building to the West of the site (922 Davis / 924 Davis / 1579 Maple). Novak Construction Company will provide a diagram indicating the locations of the [4] units prior to installation and be presented to the City for verification.

All units will be confirmed in the "on" status prior to commencement of work. Initial ambient/baseline readings will be recorded prior to below-grade construction to serve as a reference or comparison point to vibrations potentially caused by below-grade or mass grading activities. Monitoring shall be continuous during foundation, sheeting, and mass excavation operations.

Our consultants will utilize US Bureau of Mines Criteria for Building Damage as an acceptable threshold for the project, and will program seismographs, equipped with cellular modems, to e-mail project team members immediately if levels are greater than acceptable levels.

Resulting documentation of the vibration monitoring will be sent to the City of Evanston on a bi-weekly basis, or as required by the City.

Written documentation of the final results from the monitoring equipment will be available 7 days after completion of the below grade construction operations for review and documentation.

Building/Foundation Survey

Prior to commencement of construction activities, a building survey (with photos and video) of the building facades closest to the project site will be performed to document the existing exterior conditions at the following properties:

1570 Elmwood Avenue
922 Davis Street
924 Davis Street
1579 Maple Avenue
Retaining Wall along Elmwood Avenue

Settlement Monitoring

Survey points will be placed on site for monitoring and documentation as follows:

1. Settlement/Lateral survey points on all surface utility structures within 40' of the site property lines on Elmwood Ave, Maple Ave and Davis St.
2. Settlement/lateral survey points on 20 foot intervals along curb line of Elmwood Ave, Maple Ave and Davis St.
3. Settlement/lateral survey points on existing buildings immediately west and south of the project site.

Work Site Communication with Neighborhood and Residences

The project team will update all of the property owners or management companies for all of the adjoining buildings along Maple Ave, Davis S and Elmwood Ave. Initial notification to these businesses and properties will be made by a notification letter which will include all contact information and emergency phone numbers for the Construction Team's key employees. This initial notification will be made at least 1 week prior to mobilization on the project. Updates will be provided weekly with a monthly newsletter published.

The initial letter will be delivered to referenced properties by US Mail. A website will also be set up and maintained for weekly updates – 1571maple.novakconstruction.com.

All public way closure notifications will be provided (1) week prior to commencement. Emergency phone numbers of contractor's key employees will be posted on the construction gates and on the project website

TOPOGRAPHIC SURVEY

ABBREVIATIONS

PVC	=	POLYVINYL CHLORIDE PIPE
VCP	=	VITREOUS CLAY PIPE
RCP	=	REINFORCED CONCRETE PIPE
DIP	=	DUCTILE IRON PIPE
F.F.	=	FINISHED FLOOR

LEGAL DESCRIPTION

PARCEL 1:
THE SOUTH 50 FEET OF THE NORTH 200 FEET OF THE WEST 120 FEET OF BLOCK 63 IN EVANSTON (EXCEPT SO MUCH OF SAID PREMISES, IF ANY, WHICH LIES NORTH OF THE SOUTH 300 FEET OF SAID BLOCK 63) TOGETHER WITH THE SOUTH 10 FEET OF THE NORTH 200 FEET OF SAID BLOCK 63 (EXCEPT THEREFROM THE WEST 120 FEET THEREOF AND EXCEPT THAT PART THEREOF DEDICATED FOR STREET PURPOSES); ALSO THAT PART OF SAID BLOCK 63, IF ANY, LYING BETWEEN THE NORTH 200 FEET AND THE SOUTH 250 FEET 1-1/2 INCHES OF SAID BLOCK 63 MEASURED ALONG THE WEST LINE OF SAID BLOCK AND LYING WEST OF THE WESTERLY LINE OF ELMWOOD AVENUE ALL IN EVANSTON, A SUBDIVISION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTION 18, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2:
THE NORTH 150 FEET OF THAT PART OF BLOCK 63 IN EVANSTON WHICH LIES WEST OF THE RIGHT OF WAY OF THE CHICAGO AND MILWAUKEE RAILROAD (KNOWN AS THE CHICAGO AND NORTHWESTERN RAILROAD) (EXCEPT THEREFROM THE WEST 83-1/2 FEET AND EXCEPT THAT PART THEREOF DEDICATED FOR STREET PURPOSES); SAID BLOCK 63 BEING SITUATED IN THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 3:
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PARCEL 4:
THE WEST 83-1/2 FEET OF THE SOUTH 20 FEET OF THE NORTH 150 FEET OF BLOCK 63 IN THE VILLAGE OF EVANSTON, BEING A SUBDIVISION OF PARTS OF SECTION 13, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND IN SECTION 18, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 5:
THE EAST 20 FEET 10 INCHES OF THE WEST 83 FEET 5-1/2 INCHES OF THE NORTH 130 FEET OF BLOCK 63 IN THE VILLAGE OF EVANSTON IN SECTION 18, TOWNSHIP 41 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

BENCHMARKS:

SOURCE BENCHMARK (EVANSTON GIS BENCHMARK #44)
STAINLESS STEEL ROD IN SLEEVE LOCATED APPROXIMATELY 30 FEET NORTH OF THE CENTERLINE ON DEMPSTER STREET AND APPROXIMATELY 35 FEET EAST OF THE CENTERLINE OF RIDGE AVENUE.

ELEVATION=36.53 DATUM: CITY OF EVANSTON

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NORTHEAST TAG BOLT ON FIRE HYDRANT LOCATED ON THE WEST SIDE OF MAPLE AVENUE APPROXIMATELY 300 FEET SOUTH OF THE CENTERLINE FOR DAVIS STREET AND APPROXIMATELY 23 FEET WEST OF THE CENTERLINE FOR MAPLE AVENUE.

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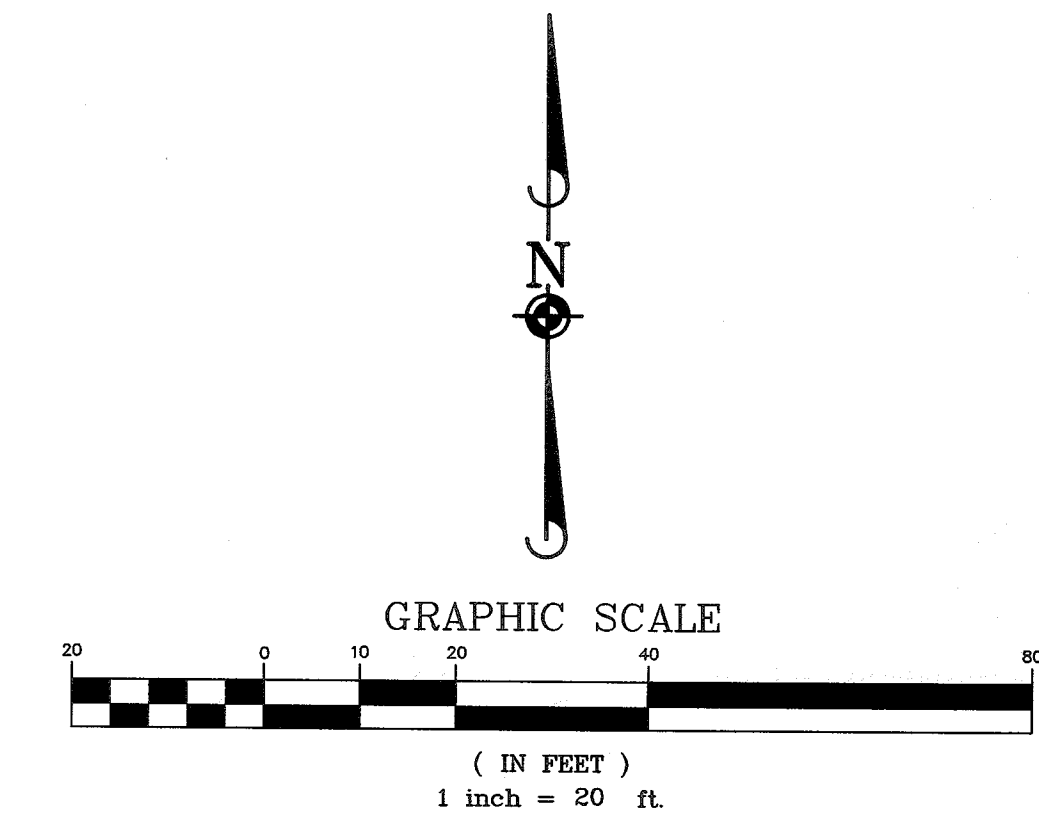
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TOPOGRAPHIC FIELD WORK COMPLETED ON 08/31/15

GENERAL NOTES

- DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON. DISTANCES AND/OR BEARINGS SHOWN IN PARENTHESIS (456.67) ARE RECORD OR DEED VALUES, NOT FIELD MEASURED.
- COMPARE THIS PLAT, BENCHMARKS AND ALL SURVEY MONUMENTS BEFORE BUILDING, AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.
- THIS SURVEY IS SUBJECT TO MATTERS OF TITLE, WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT. EASEMENTS, SETBACKS AND OTHER RESTRICTIONS WHICH MAY BE FOUND IN A CURRENT TITLE REPORT, LOCAL ORDINANCES, DEEDS OR OTHER INSTRUMENTS OF RECORD HAVE NOT BEEN SHOWN.
- ONLY THE IMPROVEMENTS WHICH WERE VISIBLE FROM ABOVE GROUND AT THE TIME OF SURVEY AND THROUGH A NORMAL SEARCH AND WALK THROUGH OF THE SITE ARE SHOWN ON THE FACE OF THIS PLAT. LAWN SPRINKLER SYSTEMS, IF ANY, ARE NOT SHOWN ON THIS SURVEY.
- THIS SURVEY MAY NOT REFLECT ALL UTILITIES, OR IMPROVEMENTS, IF SUCH ITEMS ARE HIDDEN BY LANDSCAPING OR ARE COVERED BY LEAVES OR OTHER OBSTRUCTIONS. THERE MAY BE ADDITIONAL UTILITIES OR IMPROVEMENTS THAT HAVE NOT BEEN SHOWN.
- UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO, STORM SEWER, SANITARY SEWERS AND WATER MAINS, SHOWN HEREON ARE BASED ON ACTUAL OBSERVED LOCATION AT AN OPEN MANHOLE. THE EXACT LOCATION MAY BE DIFFERENT FROM THE LOCATION SHOWN HEREON.
- OTHER THAN VISIBLE OBSERVATIONS NOTED HEREON, THIS SURVEY MAKES NO STATEMENT REGARDING THE ACTUAL PRESENCE OR ABSENCE OF ANY SERVICE OR UTILITY LINE. CONTROLLED UNDERGROUND EXPLORATORY EFFORT TOGETHER WITH "JULIE" MARKINGS IS RECOMMENDED TO DETERMINE THE FULL EXTENT OF UNDERGROUND SERVICE AND UTILITY LINES. CONTACT JULIE.AT 1-800-892-0123.
- THIS SURVEY WAS PREPARED FOR CENTRUM PARTNERS, LLC. BASED ON A FIELD SURVEY COMPLETED ON AUGUST 31, 2015. BOUNDARY LINES HAVE BEEN SHOWN HEREON BASED ON AN ALTA SURVEY PREPARED BY B.H. SUHR & COMPANY, INC. DATED FEBRUARY 10, 2014.
- THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A TOPOGRAPHIC SURVEY. MANHARD CONSULTING, LTD. IS A PROFESSIONAL DESIGN FIRM, REGISTRATION NUMBER 184003350, EXPIRES APRIL 30, 2017.

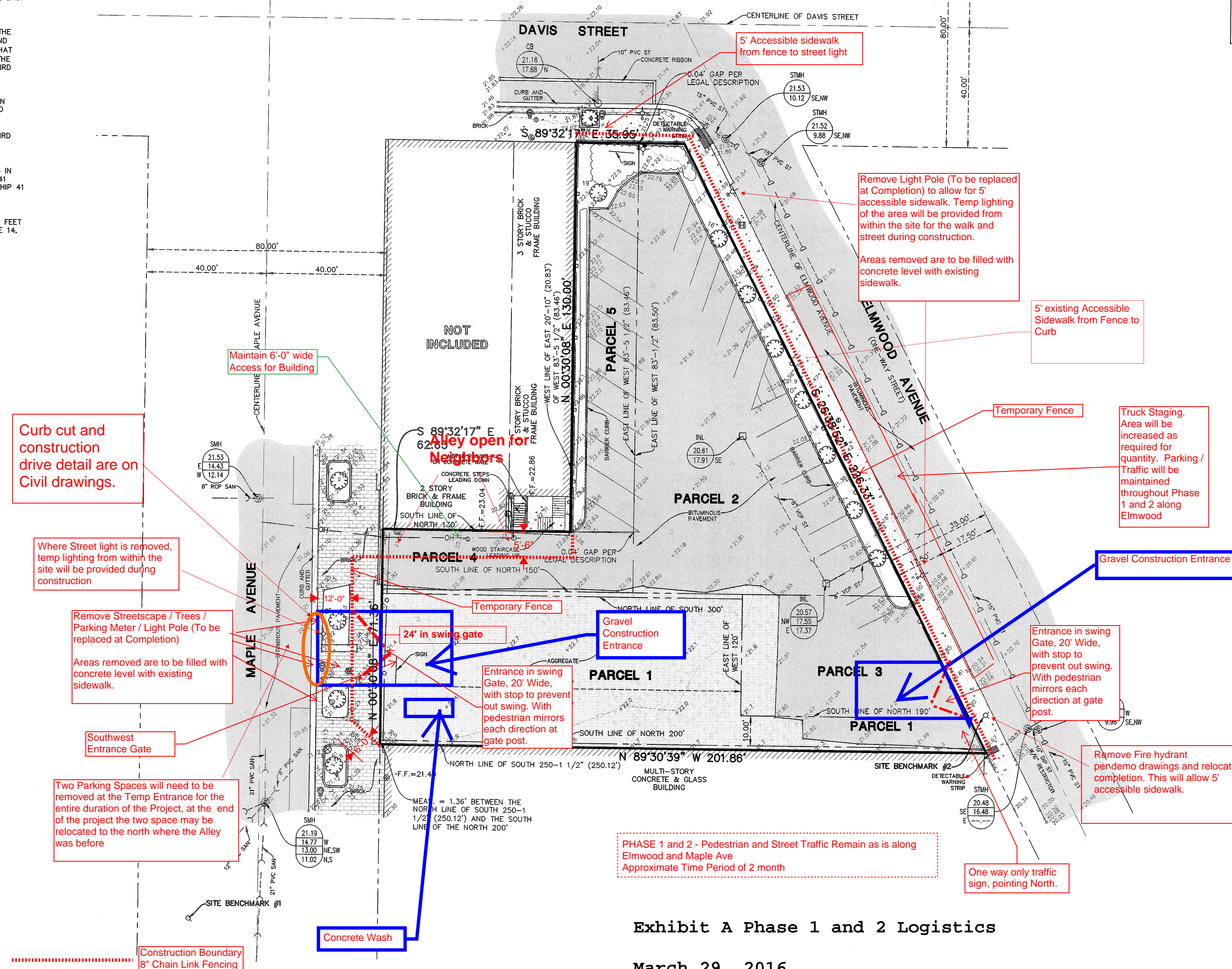


BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE ILLINOIS STATE PLANE COORDINATE SYSTEM OF 1983, EAST ZONE-2011 ADJUSTMENT, ADJUSTED TO GROUND VALUES, AS ESTABLISHED UTILIZING TRIMBLE VRS REAL-TIME KINEMATIC (RTK) GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS)

LEGEND

- EX. PROPERTY LINE
- EX. SIDEWALK
- EX. CONCRETE CURB & GUTTER
- EX. DEPRESSED CURB
- EX. EDGE OF PAVEMENT
- EX. CHAIN-LINK FENCE
- EX. WOOD FENCE
- EX. WROUGHT IRON FENCE
- EX. WIRE FENCE
- EX. STORM LINE
- EX. SANITARY LINE
- EX. COMBINATION SEWER LINE
- EX. OVERHEAD WIRES
- ⊙ EX. STORM/OUTLET CONTROL MANHOLE
- ⊙ EX. STORM CATCH BASIN
- ⊙ EX. STORM INLET
- ⊙ EX. DOWNSPOUT DRAIN
- ⊙ EX. FIRE HYDRANT
- ⊙ EX. VALVE VAULT
- ⊙ EX. VALVE BOX
- ⊙ EX. WELL HEAD
- ⊙ EX. BUFFALO BOX
- ⊙ EX. WATER METER
- ⊙ EX. GAS VALVE
- ⊙ EX. GAS METER
- ⊙ EX. GAS MANHOLE
- ⊙ EX. ELECTRIC METER
- ⊙ EX. POWER POLE
- ⊙ EX. GUY WIRE
- ⊙ EX. PARKING METER
- ⊙ EX. HANDHOLE
- ⊙ EX. SPOT ELEVATION
- ⊙ EX. DECIDUOUS TREE WITH TRUNK DIAMETER IN INCHES
- ⊙ EX. CONIFEROUS TREE WITH HEIGHT IN FEET
- ⊙ EX. DECIDUOUS BUSH
- ⊙ EX. CONIFEROUS BUSH
- ⊙ EX. TREE/BRUSH LINE
- ⊙ EX. LIGHT STANDARD
- ⊙ EX. STREET LIGHT
- ⊙ EX. SIGN
- ⊙ EX. 1 FOOT CONTOURS
- ⊙ EX. RIM ELEVATION
- ⊙ EX. INVERT ELEVATION
- ⊙ EX. PAVEMENT HATCH
- ⊙ EX. CONCRETE HATCH
- ⊙ EX. BRICK HATCH
- ⊙ EX. AGGREGATE HATCH



Truck Staging Area will be increased as required for quantity. Parking / Traffic will be maintained throughout Phase 1 and 2 along Elmwood

PHASE 1 and 2 - Pedestrian and Street Traffic Remain as is along Elmwood and Maple Ave
Approximate Time Period of 2 month

One way only traffic sign, pointing North.

Exhibit A Phase 1 and 2 Logistics

March 29, 2016

ERIC R. VESELY
ILLINOIS PROFESSIONAL LAND SURVEYOR
NO. 3855
VERNON HILLS, ILLINOIS

DATE: SEPTEMBER 3, 2015
EXPIRES: 11/30/2016

Manhard CONSULTING LTD.
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manhard.com
Civil Engineers • Surveyors • Water Resource Engineers • Water & Wastewater Engineers • Planners
Construction Managers • Environmental Scientists • Landscape Architects • Planners

1571 MAPLE AVENUE
EVANSTON, ILLINOIS
TOPOGRAPHIC SURVEY

PROJ. MGR.: FF
PROJ. ASSOC.: ERV
DRAWN BY: SJK
DATE: 08/31/15
SCALE: 1" = 20'
SHEET
1 OF 1
CEI.EVL01

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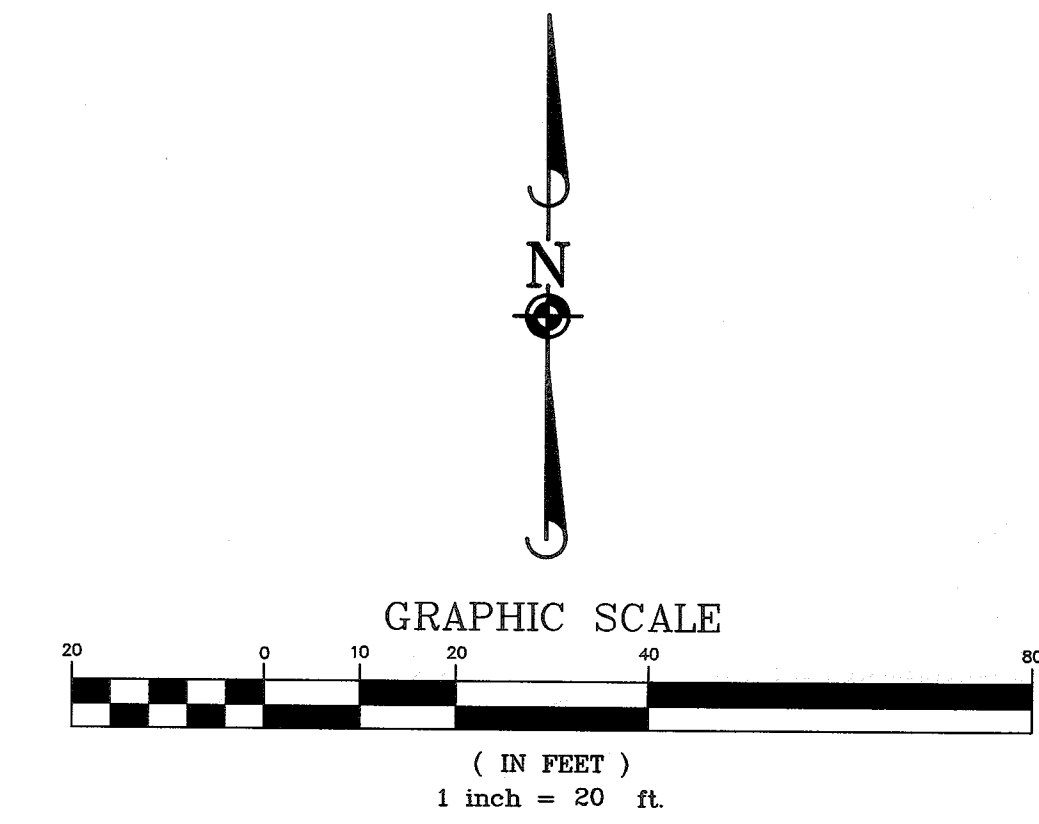
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- EX. PROPERTY LINE
- EX. SIDEWALK
- EX. CONCRETE CURB & GUTTER
- EX. DEPRESSED CURB
- EX. EDGE OF PAVEMENT
- EX. CHAIN-LINK FENCE
- EX. WOOD FENCE
- EX. WROUGHT IRON FENCE
- EX. WIRE FENCE
- EX. STORM LINE
- EX. SANITARY LINE
- EX. COMBINATION SEWER LINE
- EX. OVERHEAD WIRES
- ⊙ EX. STORM/OUTLET CONTROL MANHOLE
- ⊙ EX. STORM CATCH BASIN
- ⊙ EX. STORM INLET
- ⊙ EX. DOWNSPOUT DRAIN
- ⊙ EX. FIRE HYDRANT
- ⊙ EX. VALVE VAULT
- ⊙ EX. VALVE BOX
- ⊙ EX. WELL HEAD
- ⊙ EX. BUFFALO BOX
- ⊙ EX. WATER METER
- ⊙ EX. GAS VALVE
- ⊙ EX. GAS METER
- ⊙ EX. GAS MANHOLE
- ⊙ EX. ELECTRIC METER
- ⊙ EX. POWER POLE
- ⊙ EX. GUY WIRE
- ⊙ EX. PARKING METER
- ⊙ EX. HANDHOLE
- ⊙ EX. SPOT ELEVATION
- ⊙ EX. DECIDUOUS TREE WITH TRUNK DIAMETER IN INCHES
- ⊙ EX. CONIFEROUS TREE WITH HEIGHT IN FEET
- ⊙ EX. CONIFEROUS BUSH
- ⊙ EX. TREE/BRUSH LINE
- ⊙ EX. LIGHT STANDARD
- ⊙ EX. STREET LIGHT
- ⊙ EX. SIGN
- EX. 1 FOOT CONTOURS
- ⊙ EX. RIM ELEVATION
- ⊙ EX. INVERT ELEVATION
- EX. PAVEMENT HATCH
- EX. CONCRETE HATCH
- EX. BRICK HATCH
- EX. AGGREGATE HATCH

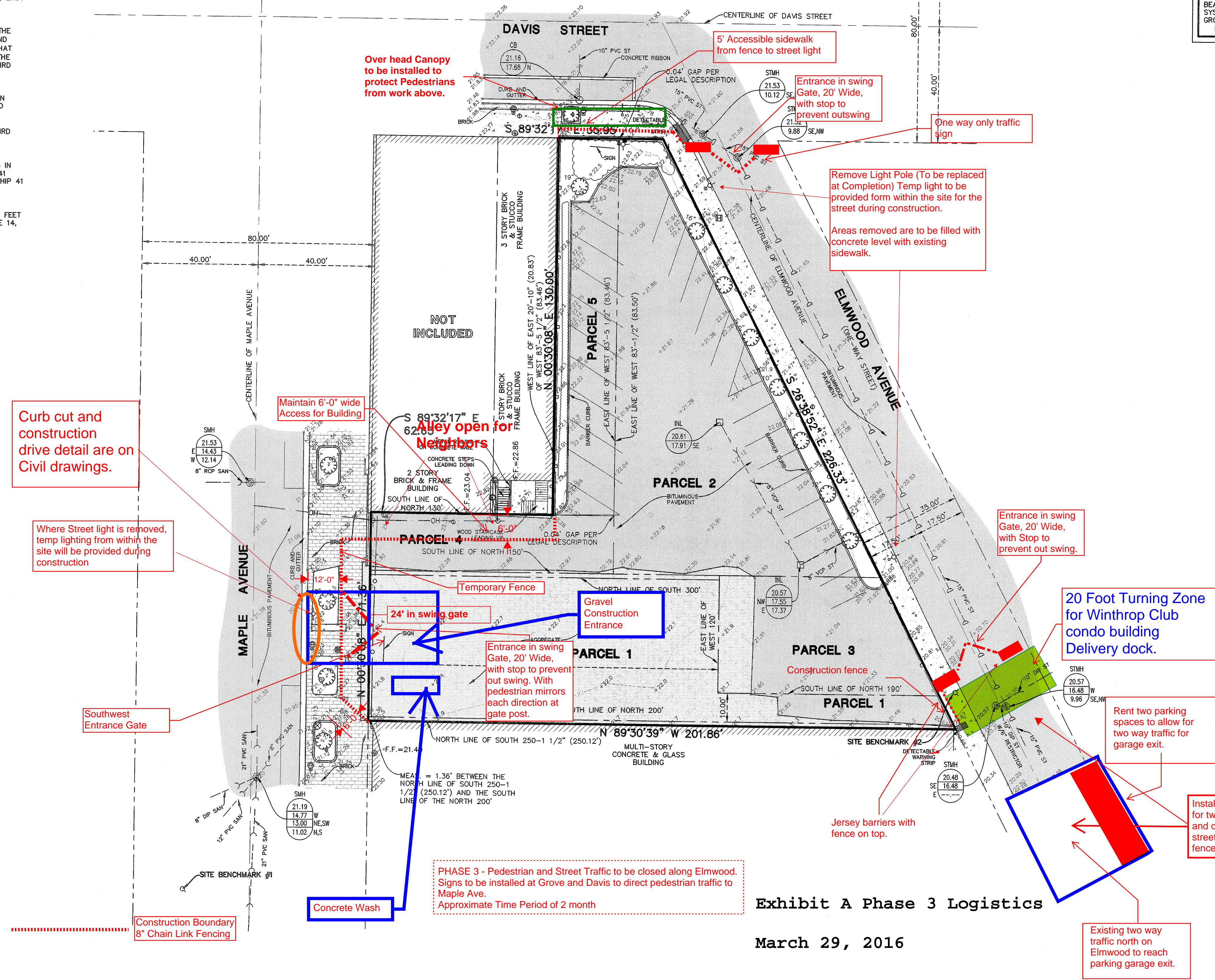
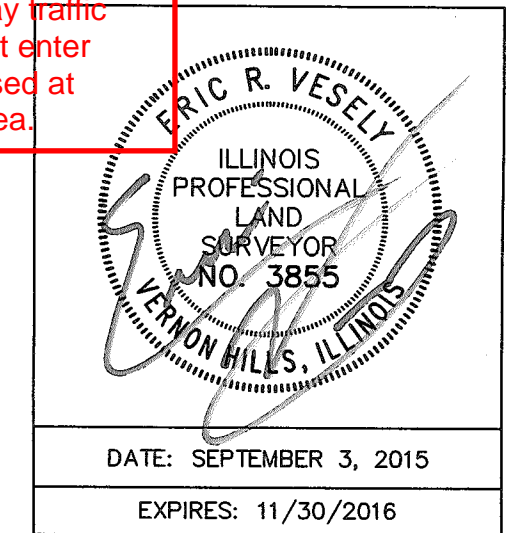


Exhibit A Phase 3 Logistics

March 29, 2016

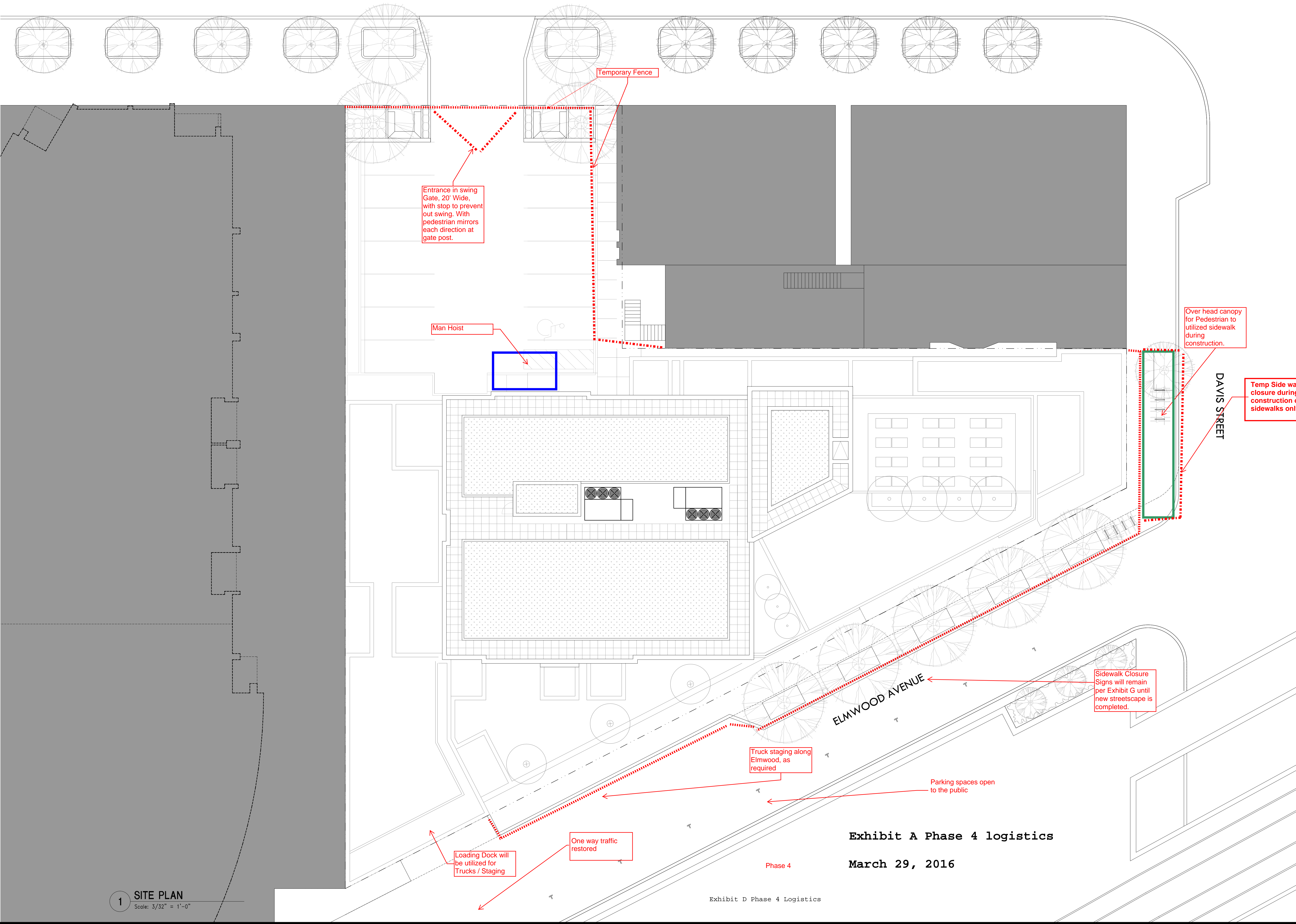


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1571 MAPLE AVENUE
 EVANSTON, ILLINOIS
 TOPOGRAPHIC SURVEY

PROJ. MGR.: FF
 PROJ. ASSOC.: ERV
 DRAWN BY: SJK
 DATE: 08/31/15
 SCALE: 1" = 20'
 SHEET
1 OF 1
 CEI.EV101

MAPLE AVENUE



**H
A**

Hirsch Associates LLC
 Architecture + Planning
 225 W Hubbard Street, 5th Floor
 Chicago, Illinois 60654-4916
 T 312.836.0011 W www.hirschassociates.com
 F 312.836.0599 E hhirsch@hirschassociates.com

**FOR
REFERENCE
ONLY**

NO.	DATE	FOUNDATION PERMIT	DESCRIPTION
01	2015-09-10	FOUNDATION PERMIT	

CERTIFICATION:
 I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH GOVERNING CODES AND ORDINANCES.

SIGNATURE:

LICENSE NO: 001-012452	SEAL:
EXPIRATION DATE: 11-30-2016	SCALE: 3/32" = 1'-0"
DRAWN BY:	PROJECT NO.: 13041
CHECKED BY:	SHEET TITLE: SITE PLAN

PROJECT TITLE:
1571 N MAPLE AVENUE

PROJECT LOCATION:
EVANSTON, IL

DRAWING NO.
A1.01

1 SITE PLAN
Scale: 3/32" = 1'-0"

Exhibit A Phase 4 logistics

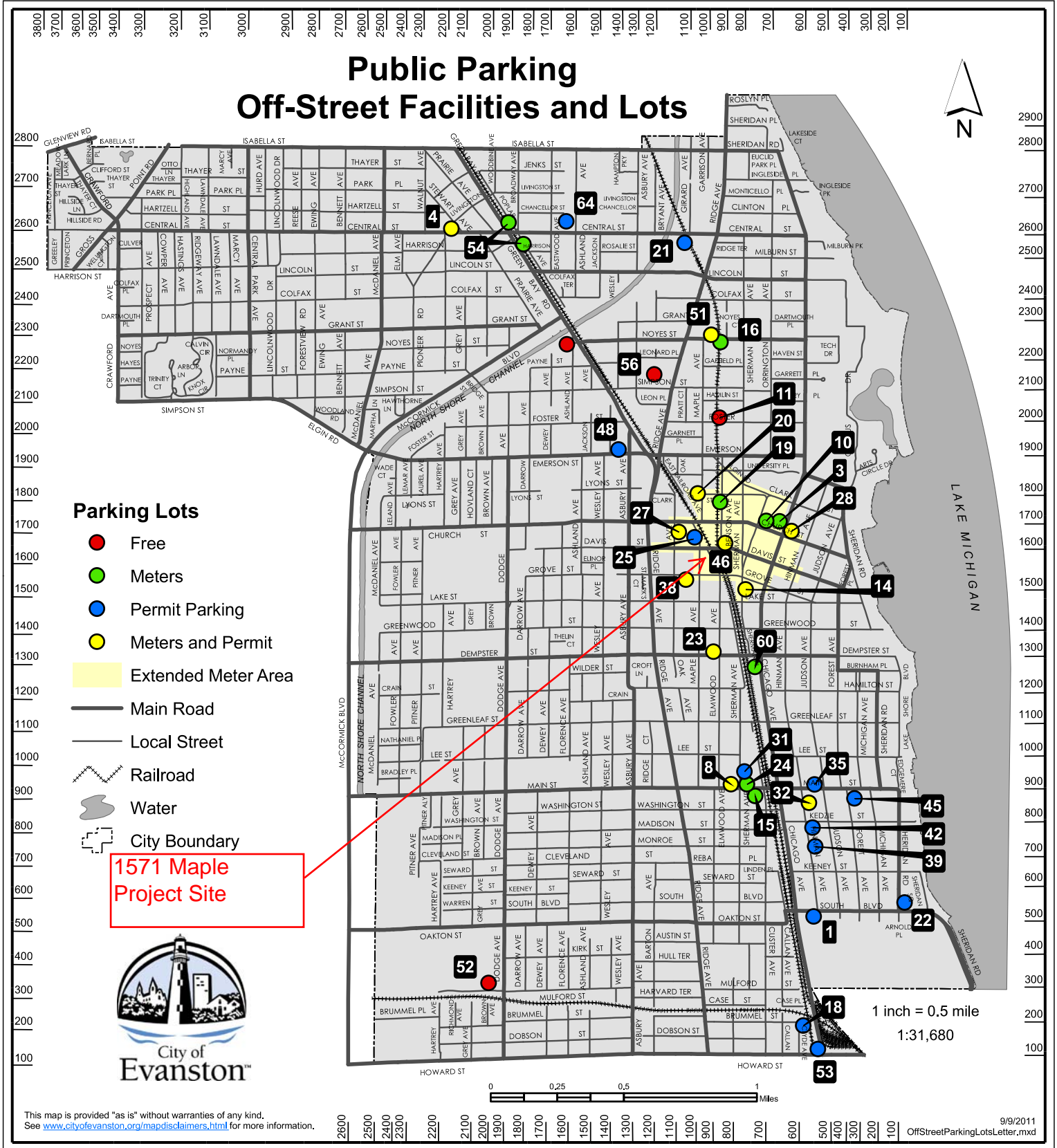
March 29, 2016

Phase 4

Exhibit D Phase 4 Logistics

P:\Maple\1571 N Maple Avenue\1571 N Maple Avenue\1571 N Maple Avenue.dwg

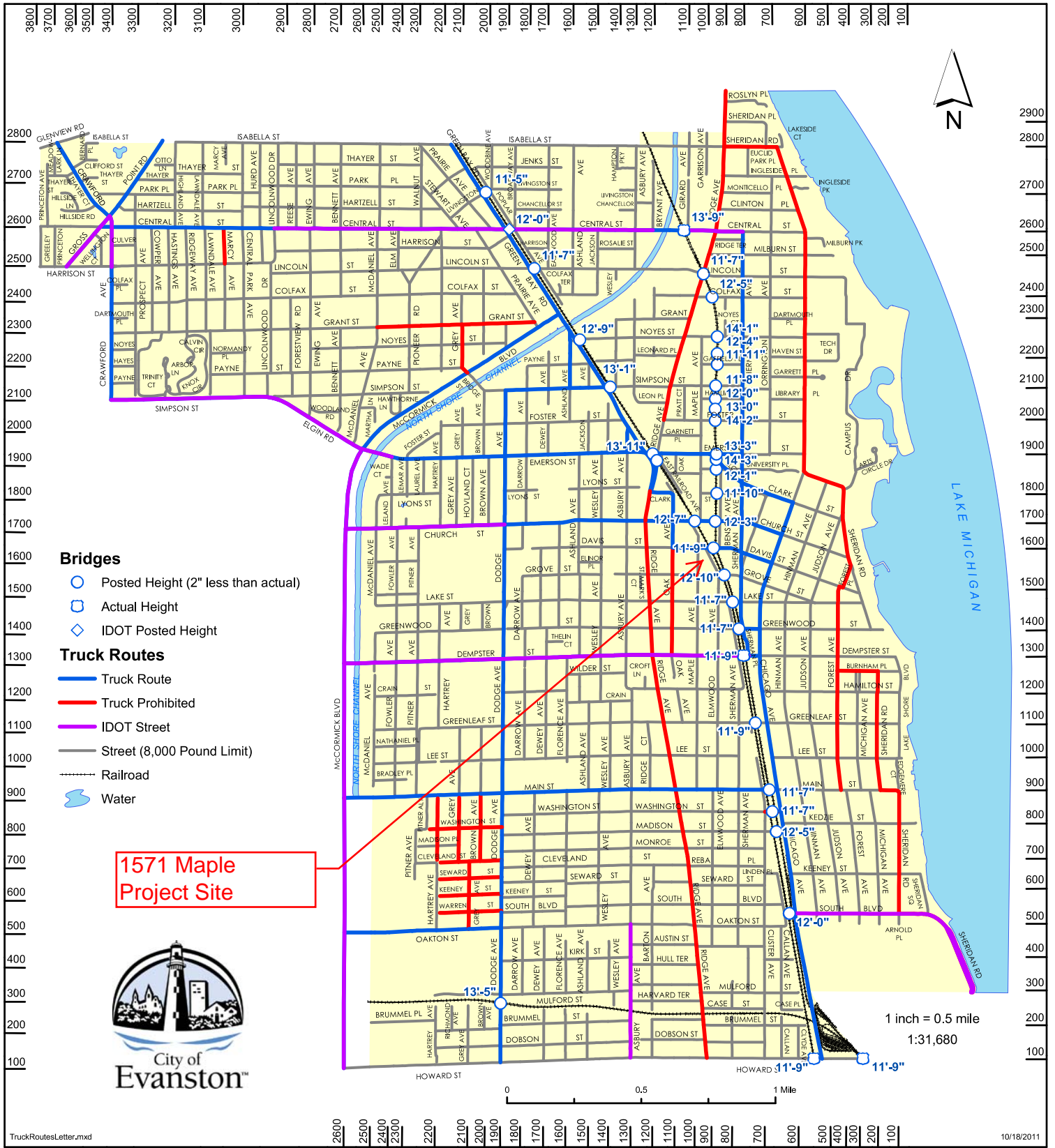
Public Parking Off-Street Facilities and Lots



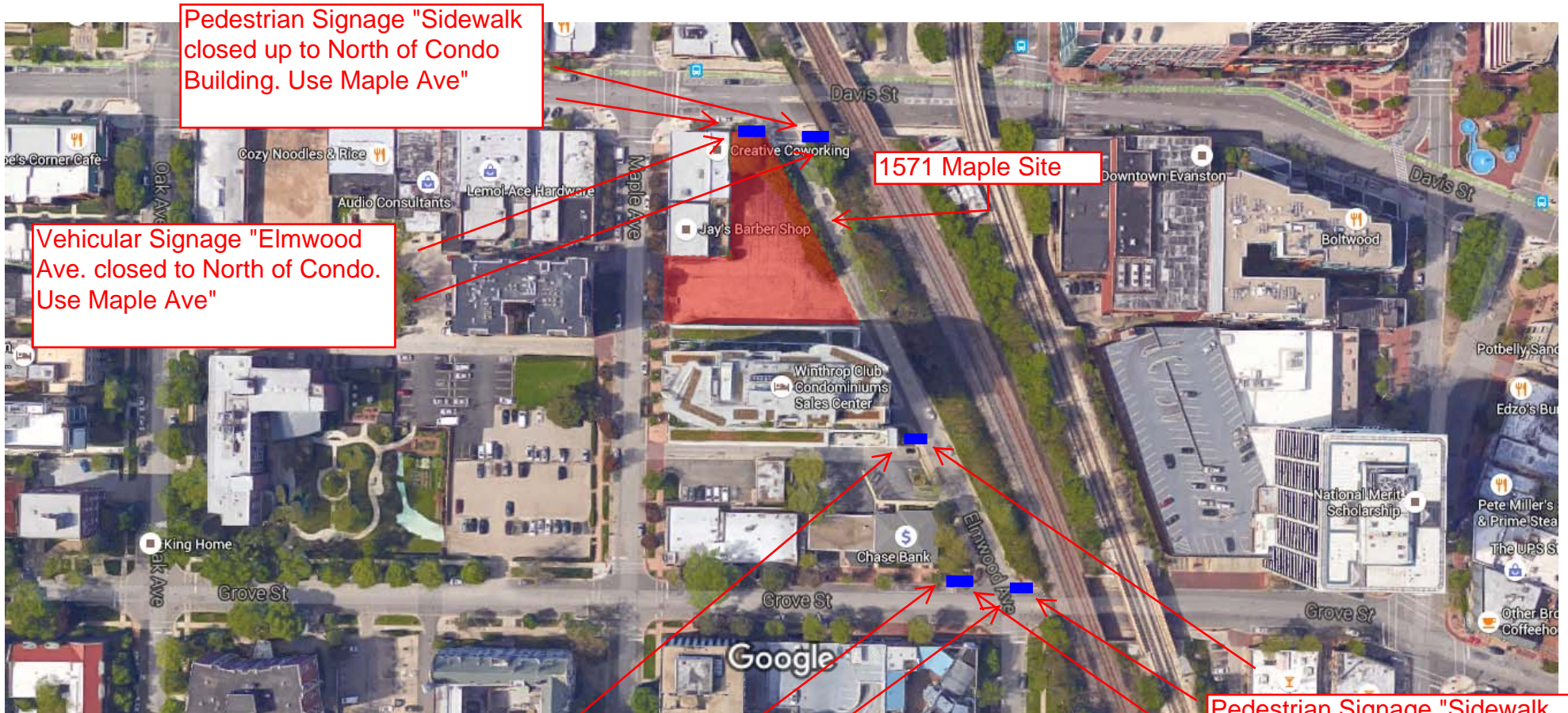
- | | | | |
|--|--|---|---|
| 1: South Blvd & Hinman, 66 spaces [P] | 16: 800/900 Noyes - @ "L", 22 spaces [M] | 27: 621 Oak Ave. - a cross from Post Office, 36 spaces [M,P] | 48: 1315 Emerson St., 13 spaces [P] |
| 3: 1700 Bk Chicago Ave (behind library), 74 spaces [M] | 18: Clyde & Brummel, 50 spaces [P] | 28: Church & Chicago Self Park, 600 spaces [M,P] | 51: 927 Noyes - Noyes Center Lot, 23 spaces [M,P] |
| 4: Central St. & Stewart, 66 spaces [M,P] | 19: 1700/1800 Benson (west side), 69 spaces [M] | 31: 925 Sherman, 20 spaces [P] | 52: James Park Lots, 240 spaces |
| 8: 811 Main Street, 49 spaces [M,P] | 20: 1800 Maple Ave. Self Park, 1400 spaces [M,P] | 32: 825 Hinman Avenue, 77 spaces [M,P] | 53: 100 Chicago Avenue, 24 spaces [P] |
| 10: 1701 Orrington Ave (under library), 53 spaces [M] | 21: Chandler Center - 1100 Central Street, 92 spaces [P] | 35: NW Main & Judson, 56 spaces [P] | 54: Central Street Metra Station, 139 spaces [M] |
| 11: 800/900 Foster at "E" (gravel lot), 44 spaces | 22: Sheridan Rd. & South Blvd., 50 spaces [P] | 38: 10 10 Grove St. - west side of YMCA, 39 spaces [P] | 56: Civic Center - 2100 Ridge Ave., 232 spaces |
| 14: 1505 Sherman Ave (Best Western Lower Level), 98 spaces [M,P] | 23: NW Dempster & Elmwood, 38 spaces [M,P] | 39: 711 Hinman Ave., 48 spaces [P] | 60: 1234 Chicago Avenue, 35 spaces [M] |
| 15: Rear of 716 Main - (behind Goods and Vogue), 33 spaces [M] | 24: 727 Main St., 32 spaces [M] | 42: 743 Hinman Ave., 24 spaces [P] | 64: Ryan Field West Lot, 100 spaces [P] |
| | 25: 1614 Maple Ave., 8 spaces [P] | 46: Sherman Plaza Self Park - Davis & Benson, 1250 spaces [M,P] | |
- [M]=Metered, [P]=Permit Parking

Exhibit E Offsite Parking

City of Evanston Truck Routes



This map is provided "as is" without warranties of any kind. See www.cityofevanston.org/mapdisclaimers.html for more information.



Pedestrian Signage "Sidewalk closed up to North of Condo Building. Use Maple Ave"

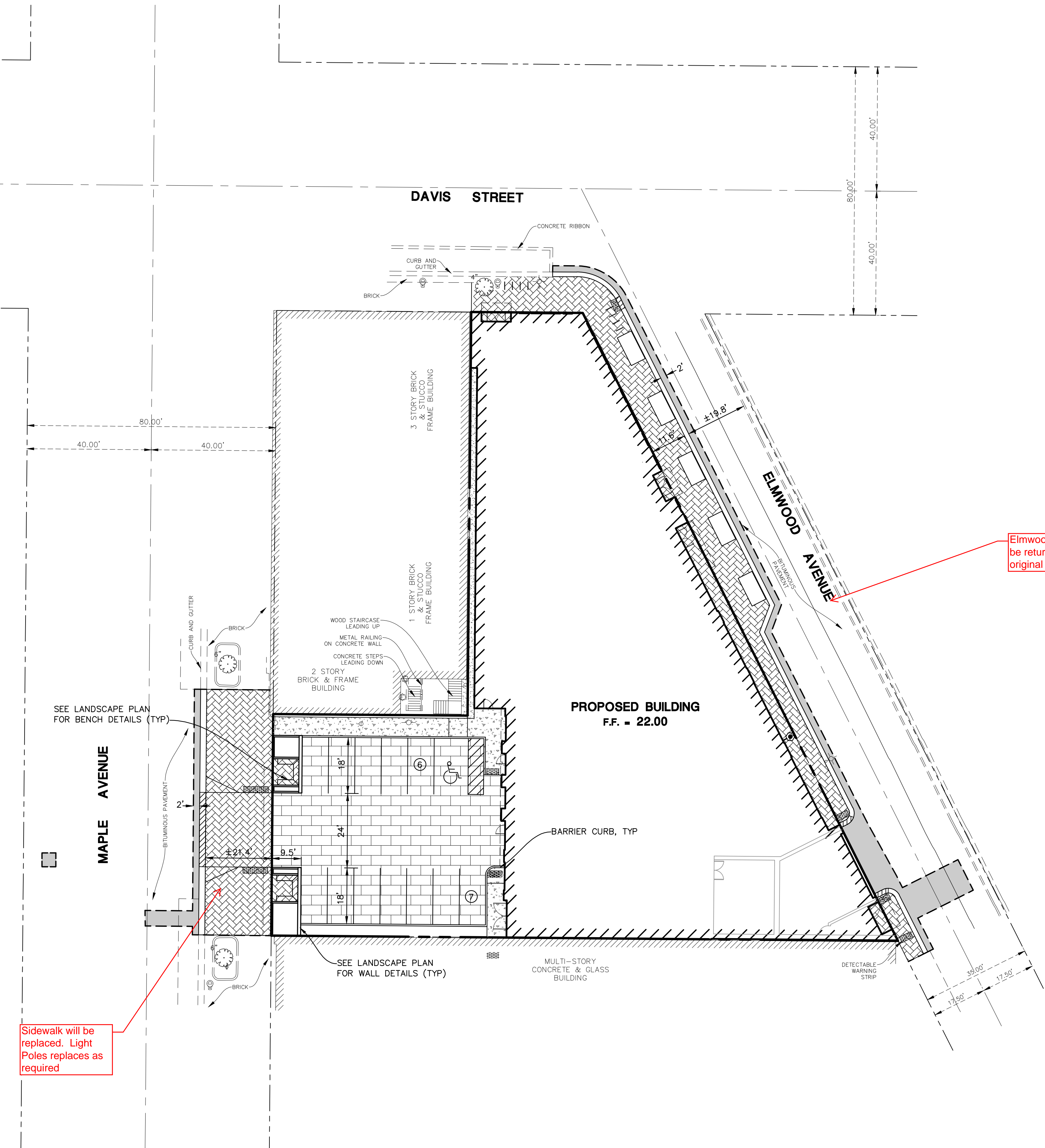
Vehicular Signage "Elmwood Ave. closed to North of Condo. Use Maple Ave"

1571 Maple Site

Pedestrian Signage "Sidewalk closed North of Condo Building. No Access to Davis Street. Use Maple Ave"

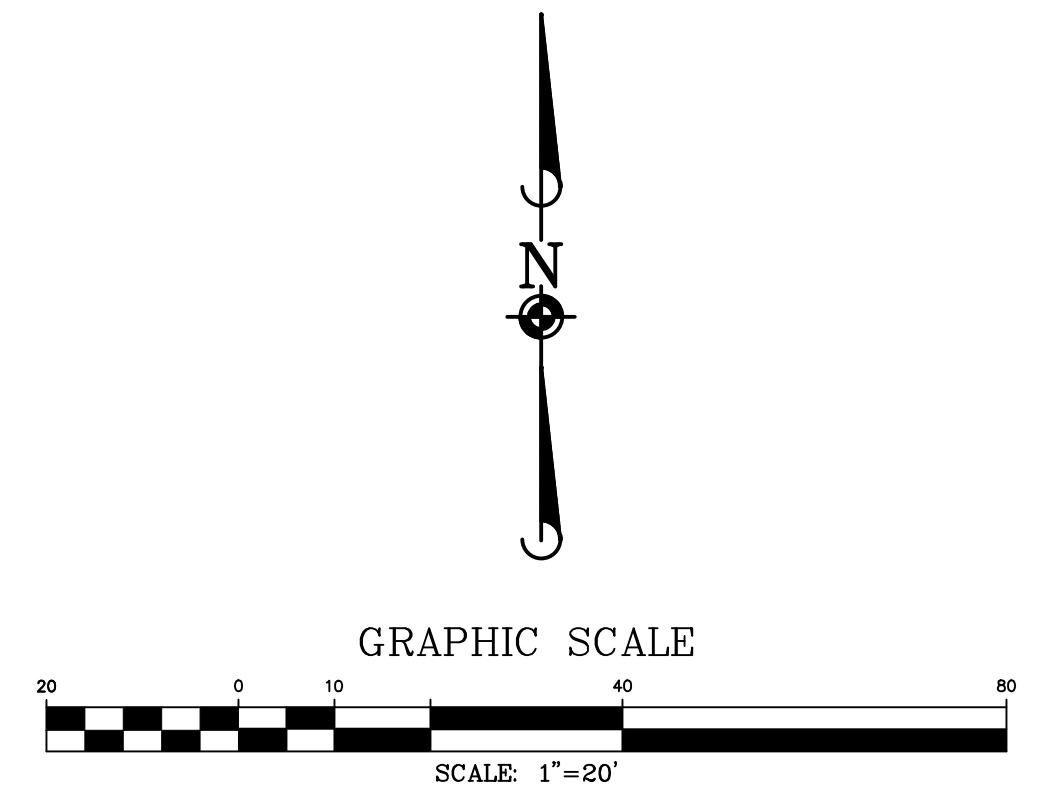
Vehicular Signage "Elmwood Ave closed North of Condo Building. No Access to Davis Street. Use Maple Ave"

Imagery ©2015 Google, Map data ©



Sidewalk will be replaced. Light Poles replaces as required

Elmwood Ave will be returned to its original condition



- SITE DIMENSIONAL AND PAVING NOTES:**
1. ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE.
 2. ALL PROPOSED CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.
 3. ALL CURB RADII SHALL BE 3' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 4. TIE ALL PROPOSED CURB AND GUTTER TO EXISTING CURB AND GUTTER WITH 2-#6 BARS x 18" LONG DOWELED INTO EXISTING CURB.
 5. BUILDING DIMENSIONS AND ADJACENT PARKING HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 6. IMPROVEMENTS ADJACENT TO BUILDING, IF SHOWN, SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, GARDIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
 7. LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DRIVEWAY. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 8. ALL ROADWAY AND PARKING LOT SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST JURISDICTIONAL GOVERNMENTAL ENTITY DETAILS.
 9. SOME EXISTING ITEMS TO BE REMOVED HAVE BEEN DELETED FROM THIS PLAN FOR CLARITY. SEE DEMOLITION PLAN FOR ITEMS DELETED.
 10. DEPRESS CURB & GUTTER AT ALL SIDEWALK AND PATH LOCATIONS FOR HANDICAP ACCESS AS PER FEDERAL AND STATE STANDARDS.
 11. THE CONTRACTOR SHALL CONTACT J.U.L.I.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.

PAVEMENT LEGEND

	STREET PAVEMENT SECTION REPLACE IN KIND
	GRAVEL PAVEMENT SECTION 6" COMPACTED AGGREGATE BASE, TYPE B
	STREETSCAPE PAVING SECTION SEE LANDSCAPE PLANS FOR DETAILS
	PERMEABLE PAVER SECTION 3.1" PAVER (UNILOCK ECO-PRIOR OR AQUADRAIN PAVERS) 1 1/2" COMPACTED CA-16 AGGREGATE SETTING BED 4" COMPACTED CA-7 AGGREGATE 53" COMPACTED CA-1 AGGREGATE
	CONCRETE SIDEWALK 5" PORTLAND CEMENT CONCRETE PAVEMENT W/ 6 X 6 W1.4 WWF 4" COMPACTED AGGREGATE BASE, TYPE B

SITE DATA

SITE AREA	0.51 ACRES
PARKING PROVIDED	11 SPACES
HANDICAP PROVIDED	1 SPACES

REVISIONS

NO.	DATE	DESCRIPTION

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1571 MAPLE AVENUE
 EVANSTON, ILLINOIS
 SITE DIMENSIONAL AND PAVING PLAN

PROJ. MORL: F.F.
 PROJ. ASSOC.: SL
 DRAWN BY: REH
 DATE: 09-09-15
 SCALE: 1"=20'

SHEET
C4 OF 9
 CEI.EVIL.01

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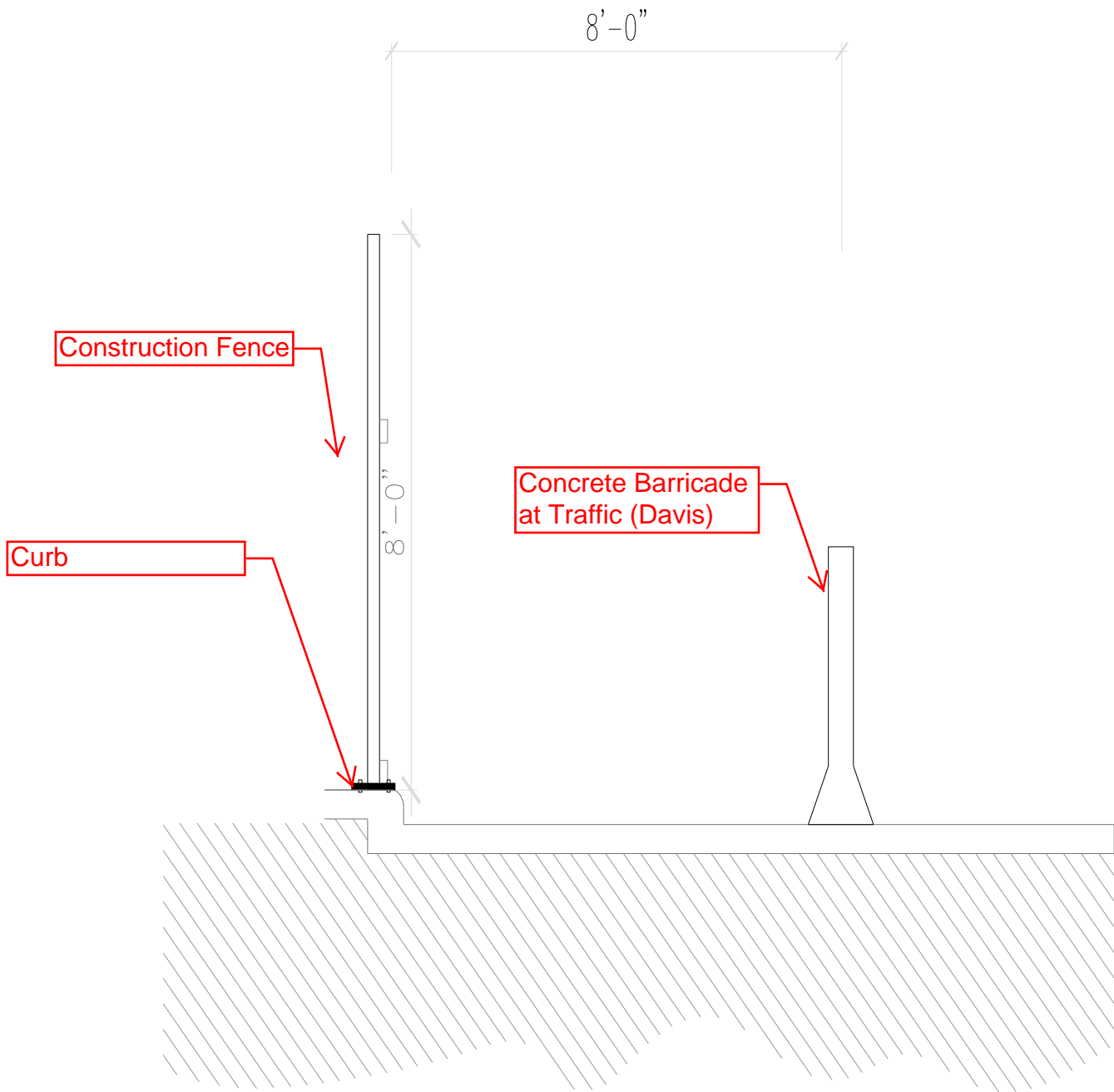


Exhibit H Sidewalk Cross Section